
Mr D Hayward
Story Homes Ltd.
Story House
Lords Way
Kingsmoor Business Park
Carlisle
CA6 4SL

Our Ref: JW/dc/ITM7059
Date: 11 November 2020

Dear David

Edgehill Park, Whitehaven – Reserve Matters Application

It is our understanding that you are submitting a Reserved Matters application for the balance of the Edgehill Park, Whitehaven site.

The site was originally granted planning permission for 570 dwellings under reference 4/13/2235/001. A Full approval was subsequently received which permitted an additional 9 dwellings at the site.

Your current Reserved Matters application is for the balance of the dwellings on the site, comprising 335 dwellings, with 244 dwellings currently built or have received planning permission. The masterplan for these remaining dwellings is shown on Design By Pod drawing No. 54D-STO/100 Rev A.

This current application for 335 dwellings results in the total number of dwellings being provided across the whole site remaining at 579 dwellings (i.e. a quantum of development that the LPA has already deemed acceptable).

The original Transport Assessment (i-Transport report ref: ITM7059-003A R), which has been fully considered by the Local Highway Authority, assessed 575 dwellings.

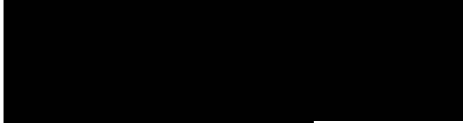
The small uplift in dwelling numbers (i.e. +4 units) compared to that which was assessed in the Transport Assessment would result in a total increase of only 2-3 two-way vehicular trips in both the weekday morning and evening peak hours, which is neither significant nor outside the usually accepted daily variation in traffic.

As this current application for the remaining 335 dwellings does not change this final development quantum of 579 dwellings we therefore maintain our conclusion in the Transport Assessment, that:

- The development generated traffic will not have severe impacts across the local or strategic road networks.
- The three site accesses will all operate satisfactorily, well below capacity and with minimal queuing.
- The development of the site will be consistent with the NPPF as well as local policy; and

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- There are no highways or transport issues that should preclude the granting of planning consent for the development proposals.

Yours sincerely,



JON WILKINSON

Associate

for i-Transport LLP

Email: jon.wilkinson@i-transport.co.uk

Enc: Drawing 54D-STO/100 Rev A