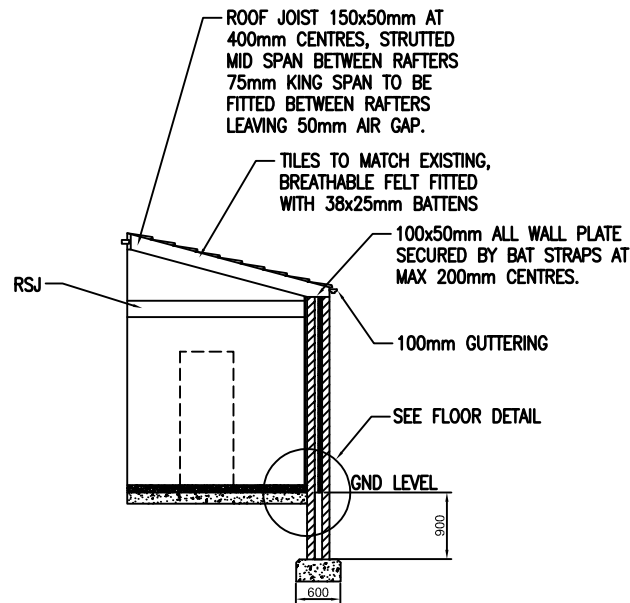
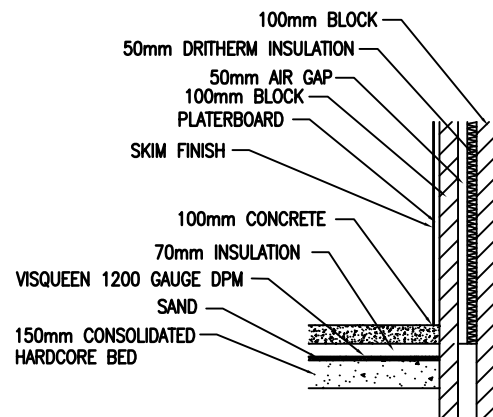


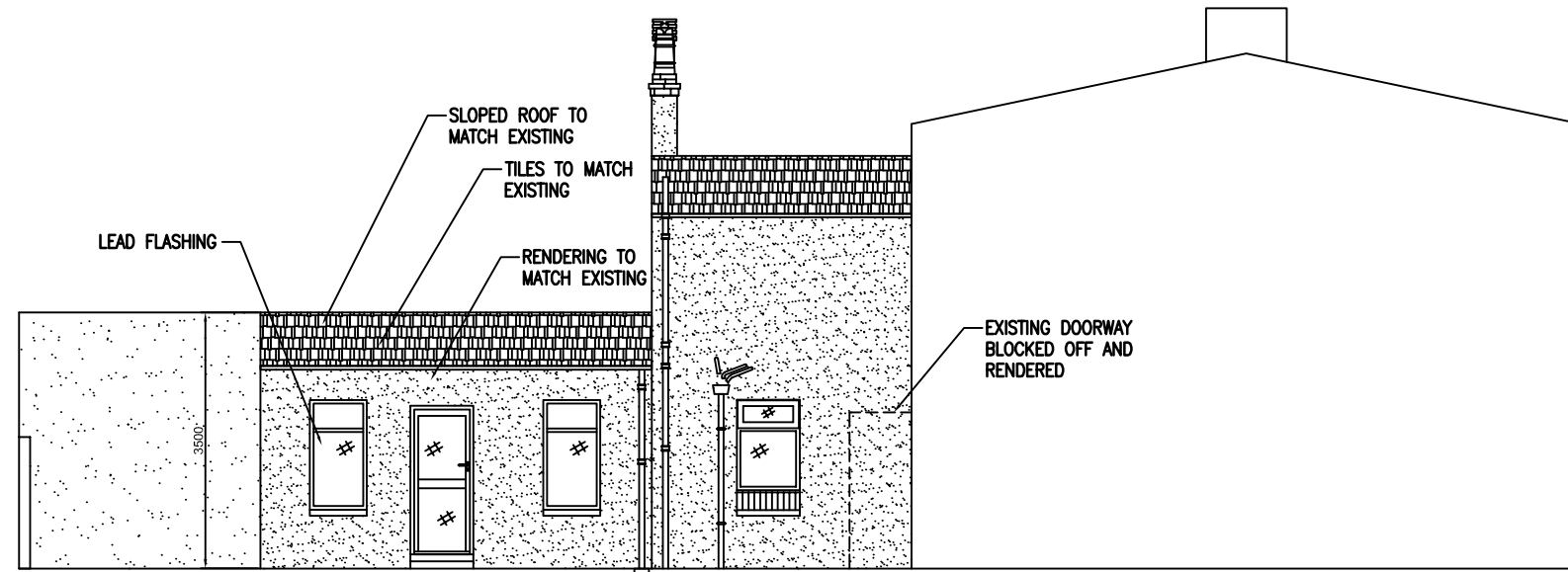
**PROPOSED REAR ELEVATION**



**ELEVATION VIEW ON 'A'-A'**



**FLOOR DETAIL**



**PROPOSED SIDE ELEVATION**

**SOLID FLOORS**

100mm concrete slab (float finish) 1:2:4 mix on 50mm Kingspan or Celotex insulation on 1200swg visqueen DPM on 50mm sand blinding on 100mm of well consolidated hardcore. Visqueen to be lapped up and tucked under DPC. Insulation to be returned vertically up walls to DPC level. Alternative floor insulation - 100mm Jabolite.

**FOUNDATIONS**

Depth of foundations shall be to Local Authority approval. All foundations shall be 600mm wide x 300mm deep strip type foundations in 1:3:6 concrete mix with depth to be not less than 100mm below outside finished ground level or top of foundation below invert level of any drain in the immediate vicinity of the foundations. Foundations beneath existing walls shall be exposed if required by Local Authority for structural inspection purposes.

**DPC/DPM**

Cavities shall be closed around all openings (horizontal and vertical) and perimeter by "Thermabate" cavity closers or similar. DPC's shall be a minimum of 150mm above outside ground level. DPC's shall be no higher than the internal finished floor level. All DPC's and DPM's shall be continuous.

**INSULATION**

Dritherm cavity wall insulation shall be used on all cavity walls to achieve a minimum U value of 0.35W/m<sup>2</sup>K. Cavity wall insulation shall extend below DPC level to level of underfloor insulation. 150mm minimum thickness of insulation shall be laid above ceilings in between ceiling joists. 100mm minimum thickness of insulation shall be laid above ceiling joists. Therefore total thickness of Rockwool insulation (or similar) shall be 250mm to achieve a minimum U value of 0.16W/m<sup>2</sup>K.

**WINDOWS/VENTILATION**

Windows shall be not less than 1/10 of floor area of room to which they are fitted. Not less than 1/20 to be opening windows. Glazing in critical areas shall be safety glazing to BS6206. New windows shall match the existing installation.

**SPACE HEATING**

A new radiator shall be fitted in the new bathroom and shall be connected into existing conventional vented hot water system fitted with TRV's.

**ROOF CONSTRUCTION**

Roof shall be constructed from C16/C24 grade timber preservative treated. Roof areas shall have 38mm x 25mm timber battens set on sarking felt above the rafters. Roof tiling shall match existing roof, e.g. Redland Renown range fitted with 100mm headlap. Wall plate connecting roof to main building shall be from 50mm x 100mm timber secured with metal straps. Roof and ceiling rafters shall be 150 x 50 secured to wall plate with metal straps. Code 5 lead flashing shall be fitted where tiled roof meets wall with a minimum vertical upstand of 150mm. Through ventilation shall be provided by 25mm continuous full screen eaves vents.

**DRAINS**

100mm half round plastic guttering shall be fitted to eaves c/w rainwater pipes to gulleys. Gutters shall fall 1:80 minimum. All underground drains shall be from 100mm clay or plastic pipe with flexible joints. Drains shall fall 1:40 minimum. Drains under the extension area shall have a 150mm minimum concrete surround and shall be fitted with bridging when passing through foundation walls. Existing drains shall be exposed if required by Local Authority for inspection purposes. All drains to comply with BS 8301 1985

**EXTERNAL APPEARANCE**

Tile roofs shall match existing tiled roof. External brickwork shall match existing brick of kitchen extension.

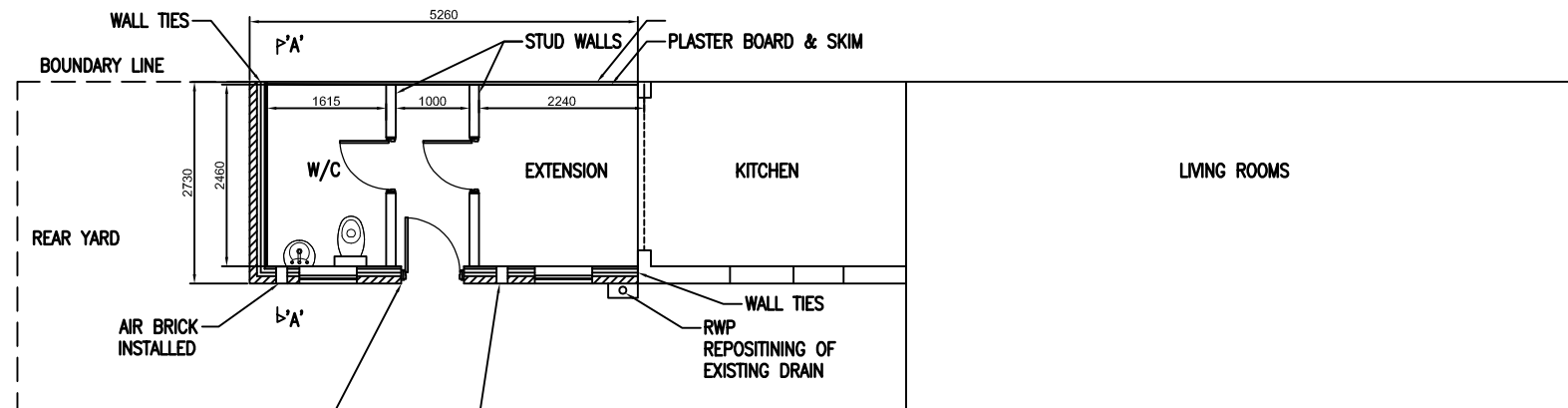
**ELECTRICAL**

All electrical work shall be designed, installed, inspected and tested in full compliance with part P of the building regulations by a competent person and a test certificate in compliance with BS7671 shall be issued.

**EXTERNAL WALLS**

Ventilation bricks shall be fitted to the external wall as shown.

**BUILDING CONTRACTOR SHALL CHECK SET OUT DIMENSIONS PRIOR TO WORK COMMENCING.**



**PROPOSED PLAN VIEW**

-	-	-	-
-	-	-	-
A	29.06.2021	For Planning	TPM
Rev.	Date	Details of Issue	Initials

Client	A. Dixon
Client Project No.	-
Client Drawing No.	-



TPM DESIGNS Ltd, 13 LOWTHER ROAD, MILLOM, CUMBRIA, LA18 4LN  
TEL: 01229 776606

**EXTENSION OF PROPERTY  
PROPOSED ELEVATION & PLAN VIEW**

Drg. No.	A1 TPM 0002	Rev.	A
Scale	1:50	Sheet 1 of 1	