

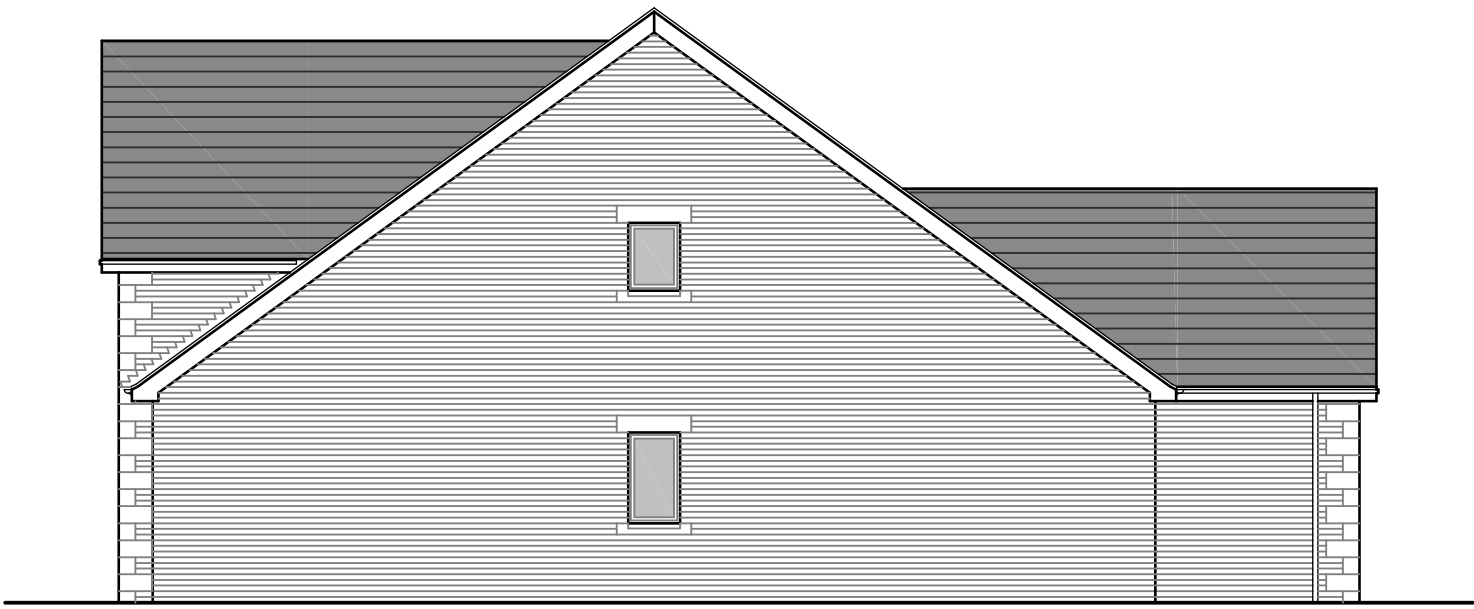
REAR ELEVATION



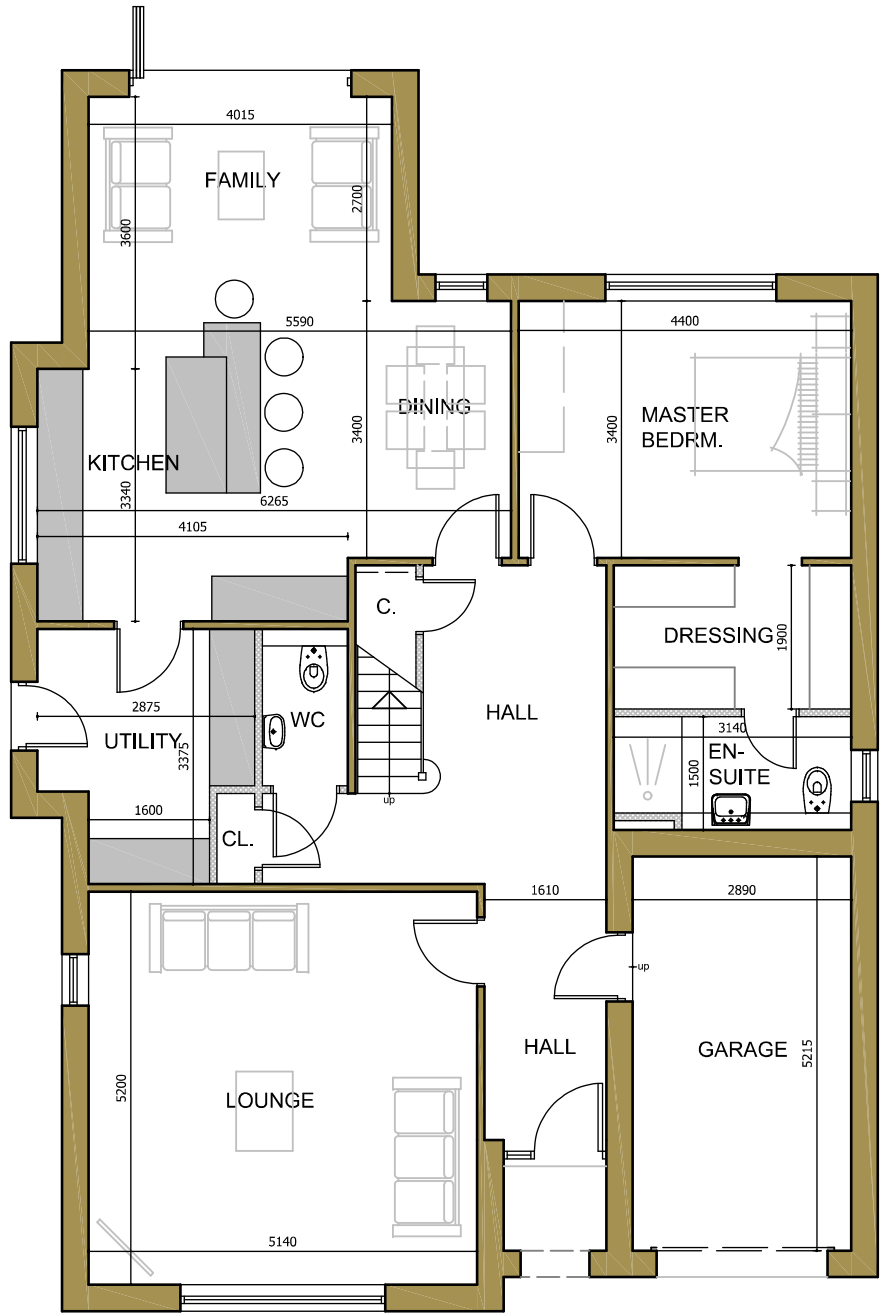
SIDE ELEVATION



FRONT ELEVATION



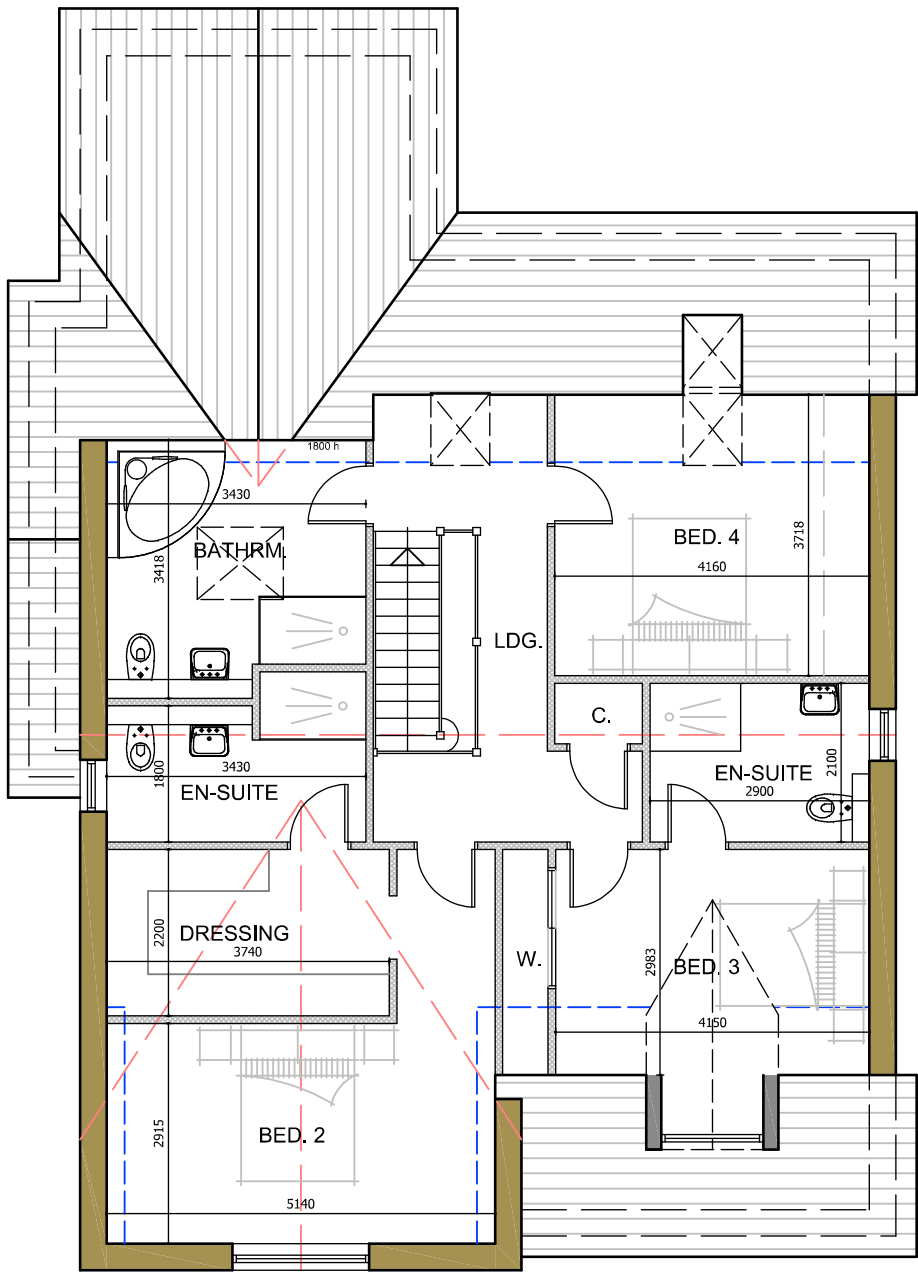
SIDE ELEVATION



GF PLAN

121.80m<sup>2</sup> G.I.A. plus  
garage @ 15.07m<sup>2</sup> G.I.A.

TOTAL G.I.A. 224.08m<sup>2</sup> excluding  
integral garage @ 15.07m<sup>2</sup>.



FF PLAN

102.28m<sup>2</sup> G.I.A.

A	04/12/24	Side elevation gable projection altered from brickwork to stone.	GB
No.	Date	Revision	Initial

## ALPHA DESIGN

Architectural Services  
Member of the Chartered Institute of  
Architectural Technologists

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Project

RESIDENTIAL DEVELOPMENT,  
DALZELL STREET,  
MOOR ROW

Client

NIGEL KAY HOMES LTD.

Drawing

THE BOWNESS -  
PLANS & ELEVATIONS

Scale 1:100 @ A1 (L) Drawn GB

Checked Date APRIL 2024

Drawing No.

22/07/1026 - 12 a)

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