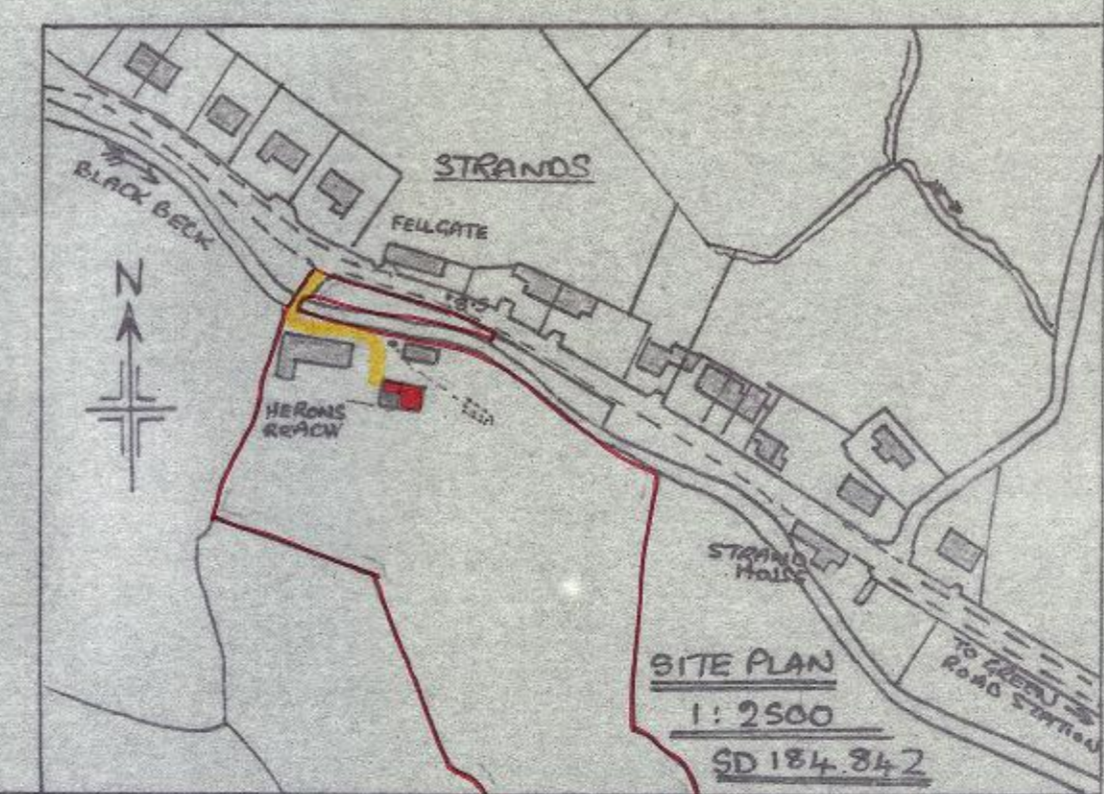


FOUL WATER TREATMENT / COMMENTS / ASSESSMENT

- i EXISTING 4000 LITRE CAPACITY SEPTIC TANK TO SERVE. CAPACITY REQ'D - EXIST BUNGALOW - 4 BEDROOMS, ANNEX - 1 BEDROOM
 ii 5 BEDROOMS = 10 PEOPLE x 180 LITRE = 1800 LITRE + 2000 LITRE = 3800 LITRE
- iii NEW SUB IRRIGATION DRAINAGE FIELD TO PROVIDE FINAL TREATMENT (AS NEW ANNEX INTERFERES WITH EXISTING SYSTEM)
- iv USING 'BRITISH WATER TABLES FOR DAILY FLOW'. 5 BEDROOMS = 7 PEOPLE x 150 LITRE = 1050 LITRE/DAY (LESS THAN 2000 LITRE LIMIT)
- v THERE ARE NO MAINS SEWER AVAILABLE.
- vi LENGTH OF SUB IRRIGATION, AS DETERMINED BY PERCOLATION TEST = MIN 25.04 M [O.S. POSITION... S.D. 1845.8417]
- vii AN INSPECTION CHAMBER TO BE PROVIDED AT DISTRIBUTION POINT, FOR SAMPLING PURPOSES.
- viii EXISTING SEPTIC TANK TO BE EMPTIED AT 12 MONTHLY INTERVALS BY RECOGNISED CONTRACTOR.
- ix RECORDS OF MAINTENANCE, SERVICING, EMPTYING ETC TO BE KEPT ON SITE, UP TO DATE, & RETAINED FOR UP TO 6 YEARS
- x THE GENERAL BINDING RULES FOR SMALL DISCHARGES (JANUARY 2015) APPLY. PROPOSAL IS EXEMPT FROM PERMITTING BY E.A.

- 1) ALL WINDOWS & DOORS TO BE DRAUGHT SEALED, & FRAMES SEALED INTO WALLS WITH MASTIC, & BE OF SECURE DESIGN TO B.S PAS 24:2012.
- 2) CAVITIES AROUND OPENINGS, INCLUDING LINTELS, TO BE INSULATED TO PREVENT COLO BRIDGING, & CLOSED WITH MIN 1/2 HOUR FIRE RESISTANT MATERIAL.
- 3) REINFORCING TO CONCRETE LINTELS TO BE MIN 2 OFF M.S. BARS IN LOWER PORTION.
- 4) ALL ELECTRICAL SOCKETS & SWITCHES TO BE LOCATED BETWEEN 450 + 1200 (1'4" + 3'11") ABOVE FLOOR (ALL AT 1200 MM GARAGE & WIRED TOP DOWN)
- 5) ALL ELECTRICAL WORK TO BE DESIGNED, INSTALLED, INSPECTED & TESTED IN ACCORDANCE WITH BS.7671 (IEE WIRING REGS - LATEST EDITION) & WORK UNDERTAKEN BY AN INSTALLER REGISTERED UNDER SUITABLE ELECTRICAL SELF CERTIFICATION SCHEME, OR QUALIFIED PERSON SUPPLYING A CERTIFICATE OF COMPLIANCE TO BUILDING CONTROL UPON COMPLETION.
- 6) PROVIDE INTERNAL LIGHT FITTINGS CAPABLE OF TAKING EFFICIENT LAMPS, MIN 75 LUMENS PER CIRCUIT WATT.
 EXTERNAL LIGHTS TO BE EITHER EFFICIENT AS ABOVE, OR ON A TIMER & AUTOMATICALLY EXTINGUISHED IN DAYLIGHT.
- 7) LIVING & BEDROOM TO HAVE OPENING WINDOWS/DOORS EQUAL TO 1/20 FLOOR AREA + 10000 mm² (150m²) TRICKLE VENTILATION.
 BATHROOM, ANY SIZE OPENING, 4000 mm² (6 1/2 m²) TRICKLE VENTILATION, + 15 LITRE/SEC CAPACITY EXTRACTION FAN.
- 8) ALL GLASS IN DOORS TO BE TOUGHENED/LAMINATED TO BS. 6206 (1981), & PANELS ADJACENT.
- 9) A MAINS OPERATED FIRE DETECTION/ALARM SYSTEM TO BE INSTALLED TO BS. 5837-6, 2006, GRADE 0, CATEGORY 'L05', WITH SMOKE ALARMS TO BS. EN 14604, SHOWN @, LOCATED ON CEILINGS, MIN 300 (12") FROM WALLS & LIGHT UNITS, & WITH SENSORS BETWEEN 25 + 600 (1' + 20") BELOW CEILINGS, ALL INTERCONNECTED SO ALL SOUND WITH DETECTION BY ANY ONE UNIT. MAINS SUPPLY TO BE A SINGLE INDEPENDANT CIRCUIT, & DETECTORS TO HAVE A STANDBY POWER SUPPLY - EG BATTERY.
- 10) TRUSS MANUFACTURER TO PROVIDE DETAILS/CALCS TO BUILDING CONTROL UPON REQUEST.
- 11) WATER HEATING TO BE BY ELECTRIC IMMERSION HEATER. HOT WATER CYLINDER TO HAVE MIN 50(2") FOAM INSULATION, & ALL PIPEWORK INSULATED. ANY COLD WATER HEADER TANK TO BE WITHIN GENERAL INSULATION.
- 12) HOT WATER SUPPLY TO BATH TO BE LIMITED TO 48°C BY USE OF AN INLINE BLENDING VALVE, OR OTHER TEMPERATURE CONTROL DEVICE.
- 13) SPACE HEATING TO BE VIA ELECTRIC WALL HEATERS, THERMOSTATICALLY CONTROLLED.
- 14) ALL DRY LINING BOARDS TO HAVE JOINTS & EDGES TAPE SEALED, ALL ELECTRICAL BACKBOXES, CONDUITS ETC TO BE SEALED WITH FOAM/MASTIC TO MAINTAIN AIR TIGHTNESS. INSULATION TO BE CONTINUOUS AT JUNCTIONS OF CEILING, WALLS & FLOOR.
- 15) ALL TIMBERWORK TO BE TREATED WITH A PRESERVATIVE.
- 16) ALL DRAINAGE TO BE TO SATISFACTION OF LOCAL AUTHORITY.
- 17) CONSERVATION OF ENERGY DETAILS. INTERNAL FLOOR AREA OF GRANNY FLAT = 54.4 M²
 AREA OF WINDOWS + FULLY GLAZED DOOR, U.P.V.C. 20mm GAP D/G. EG SYSTEM 3, 1, 1 NEUTRAL LOW'E. U VALUE 1.4 = 8.82 } 10.815 m² (= 19.88% F/A)
 AREA OF DOOR, U.P.V.C. COMPOSITE, PART D/G AS ABOVE. U VALUE 1.4 = 1.995 }
- 18) HOME OWNER TO BE PROVIDED WITH VENTILATION GUIDE, EXPLAINING HOW TO USE & VENTILATE EFFICIENTLY, BY BUILDER PRIOR TO COMPLETION.



PROPOSED "GRANNY FLAT ANNEX & GARAGE EXTENSION AT HERONS REACH", GREEN ROAD, MILLOM, CUMBRIA FOR MR A PARK.