



Listed Building Consent Application
Proposed Alterations at:
8 Scotch St, Whitehaven, CA28 7BJ

Revision Record



1. This cover page is a record of all revisions of the document identified above by number and title. All previous cover pages are hereby superseded and are to be destroyed.

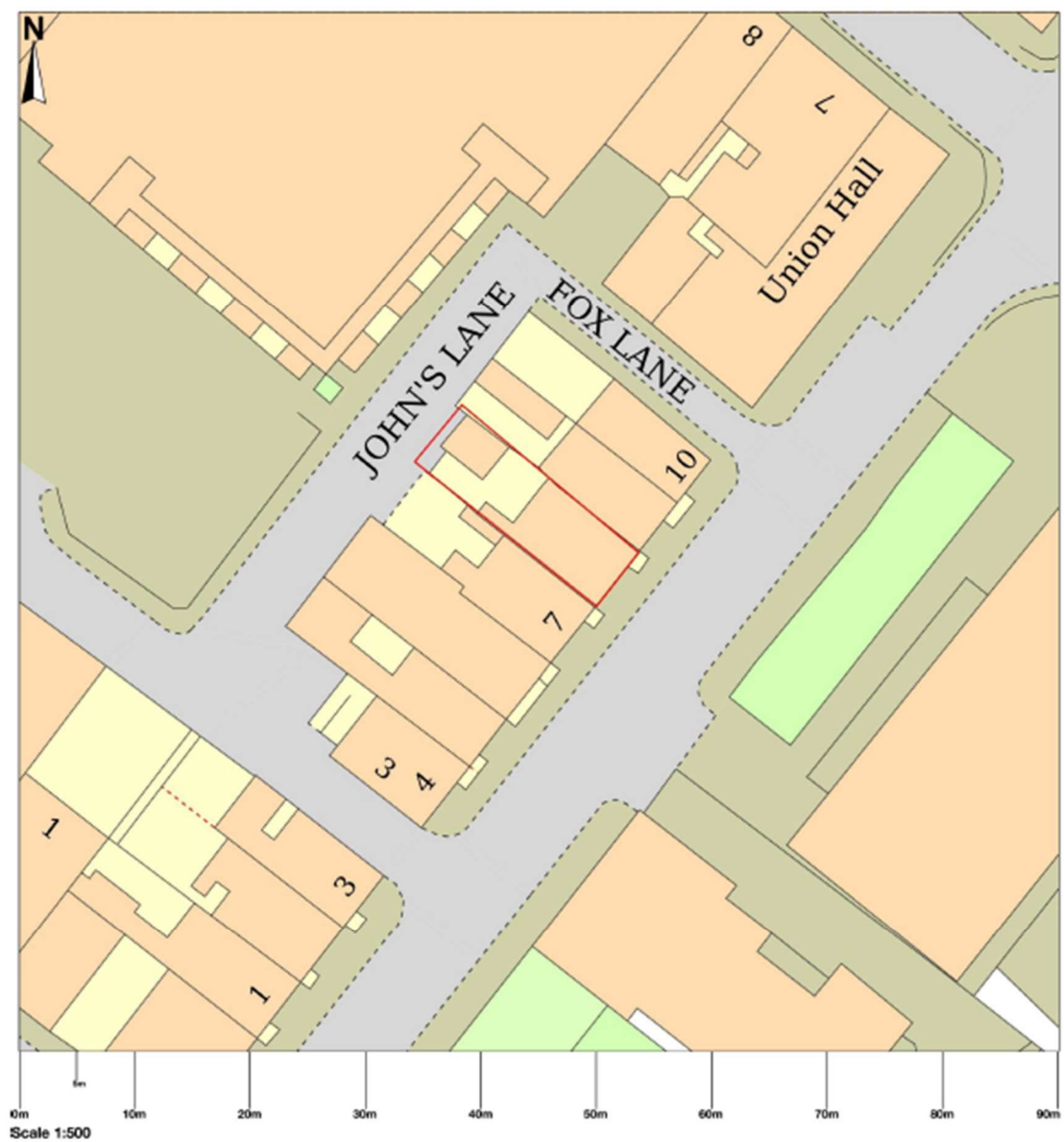
Rev	Date	Prepared By	Reviewed by	Approval for Issuance by	Description & page Number of Revision
1	25/8/25	Scott Gelsthorpe		Scott Gelsthorpe	First issue
2	31/8/25	Scott Gelsthorpe		Scott Gelsthorpe	LBC application information added and Document Reference file
3	06/09/25	Scott Gelsthorpe		Scott Gelsthorpe	Removed extraneous information and included embedded images/plans to assist evaluation. Document reference file removed.

Location:

<https://w3w.co/knee.buzz.trim>



8 Scotch Street, Whitehaven, CA28 7BJ



© Crown copyright and database rights 2025 OS 100054135. Map area bounded by: 297399,517951 297489,518041. Produced on 06 September 2025 from the OS National Geographic Database. Supplied by UKPlanningMaps.com. Unique plan reference: b90f/uk/1308366/1754010

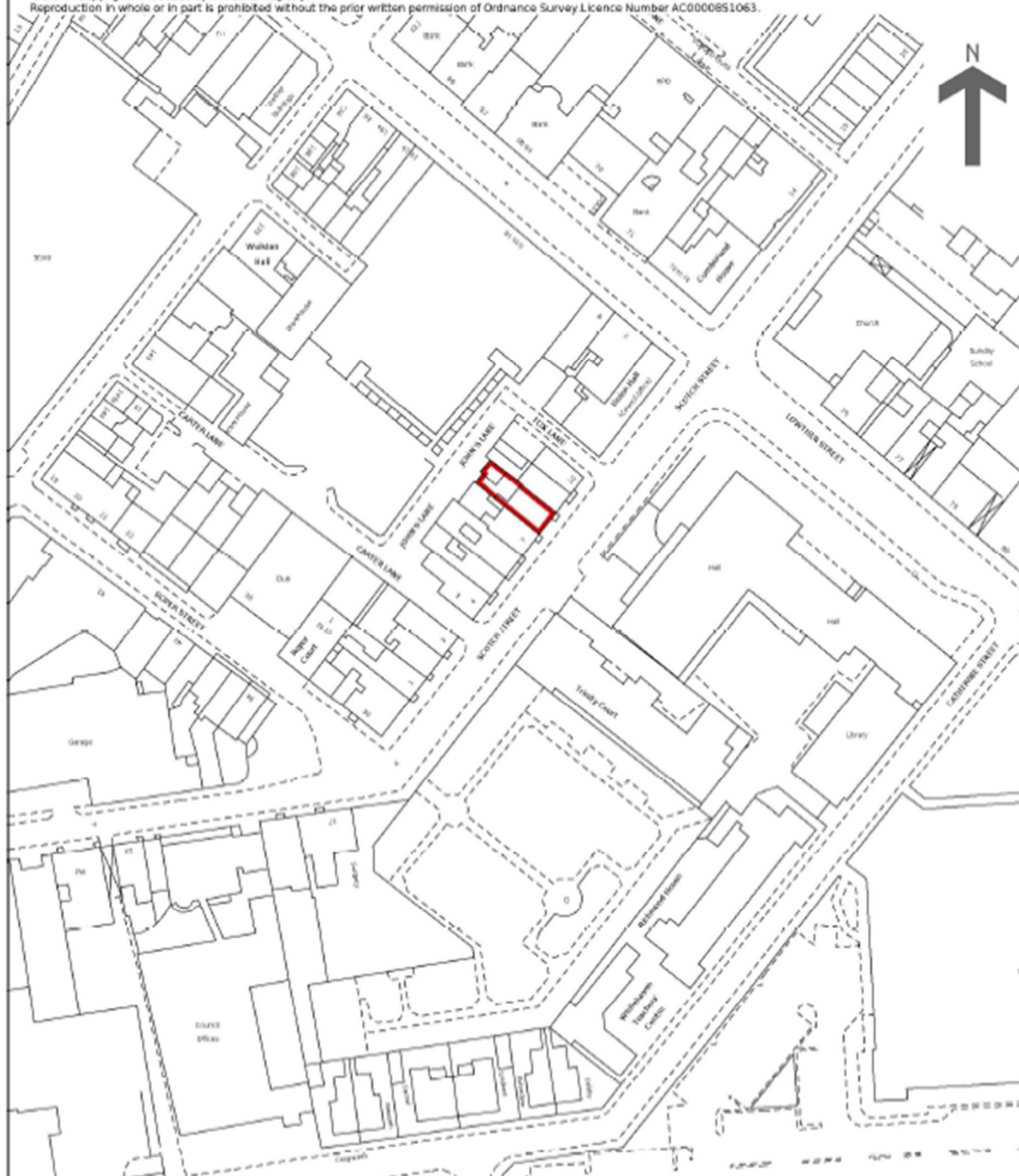


HM Land Registry
Official copy of
title plan

Title number **CU180808**
Ordnance Survey map reference **NX9717NW**
Scale **1:1250**
Administrative area **Cumberland**



© Crown Copyright. Produced by HM Land Registry.
Reproduction in whole or in part is prohibited without the prior written permission of Ordnance Survey Licence Number AC0000651063.



Listed Building Consent Application:

Proposed alterations: 8 Scotch St, Whitehaven, CA28 7BJ

Heritage Statement

8 Scotch St, Whitehaven, is a mid-terrace Georgian period town-house, built primarily from sandstone with a Buttermere slate roof. It comprises a cellar, ground floor and a further 3 upper floors including a utilised roof-space. It is a Grade II listed property, listed in 1949 (List entry number 1086744) in a conservation area (Designated 1969), constructed circa 1740/1750.

It is detailed within the historical reference book, *'Whitehaven, 1660-1800: A New Town of the Late Seventeenth Century - A Study of Its Buildings and Urban Development'* (Please see photograph of exert within the supporting photos album for mentions of 8 Scotch St in this and newspaper publications). It is a property with a particularly rich history having been owned by several notable figures spanning the 18th, 19th and 20th Century. Notably, William Gilpin, Merchant, lawyer and steward for Sir John Lowther. Mariner Richard Parker, Land Owner Agnes Armitstead (Nee Lewthwaite) and several more noteworthy personalities from the peak of its wealth to its diminishment, including the Whitehaven Coliery Company Pit Manager and its Chief Surgeon in the early 20th century.

The property itself appears largely original when viewing from Scotch St. A rear attached wash house that extended to John's Lane appears to have been demolished at some point after 1920 in and a more modern rudimentary garage placed in a similar position.

During the 1960's, a planning application was made by Architect Ronald P Gray (WHA 1725 refers) to convert the ground floor of the premises from use as a dwelling, to that of a Pharmacy and Dispensary for the local Pharmacist, W. Fare. W. Fare still exist and trade in the town's Market Square.

It received planning consent with the provision that it could not be used as a shop and it's external appearance would need to remain unchanged. Sadly, many

internal features that may have been original or certainly of historic significance, were removed, destroyed or altered in the pursuit of meeting the needs for its change of use (extracts of this application taken from the Whitehaven Records Office are included in the photo album detailing some of the key changes).

The proposals in this application seek to restore the structural integrity of the building, replace original elements of the fabric that were lost as a result of the 1966 application and resulting works, and renew elements that are at end-of-life with like-for-like replacements to improve its resistance to the elements. Internally, a number of changes are proposed to restore previously hidden features of internal panelling and reverse changes also made when it became a Pharmacy. The use of more traditional materials will also help preserve the building for several more decades and reverse its decline.

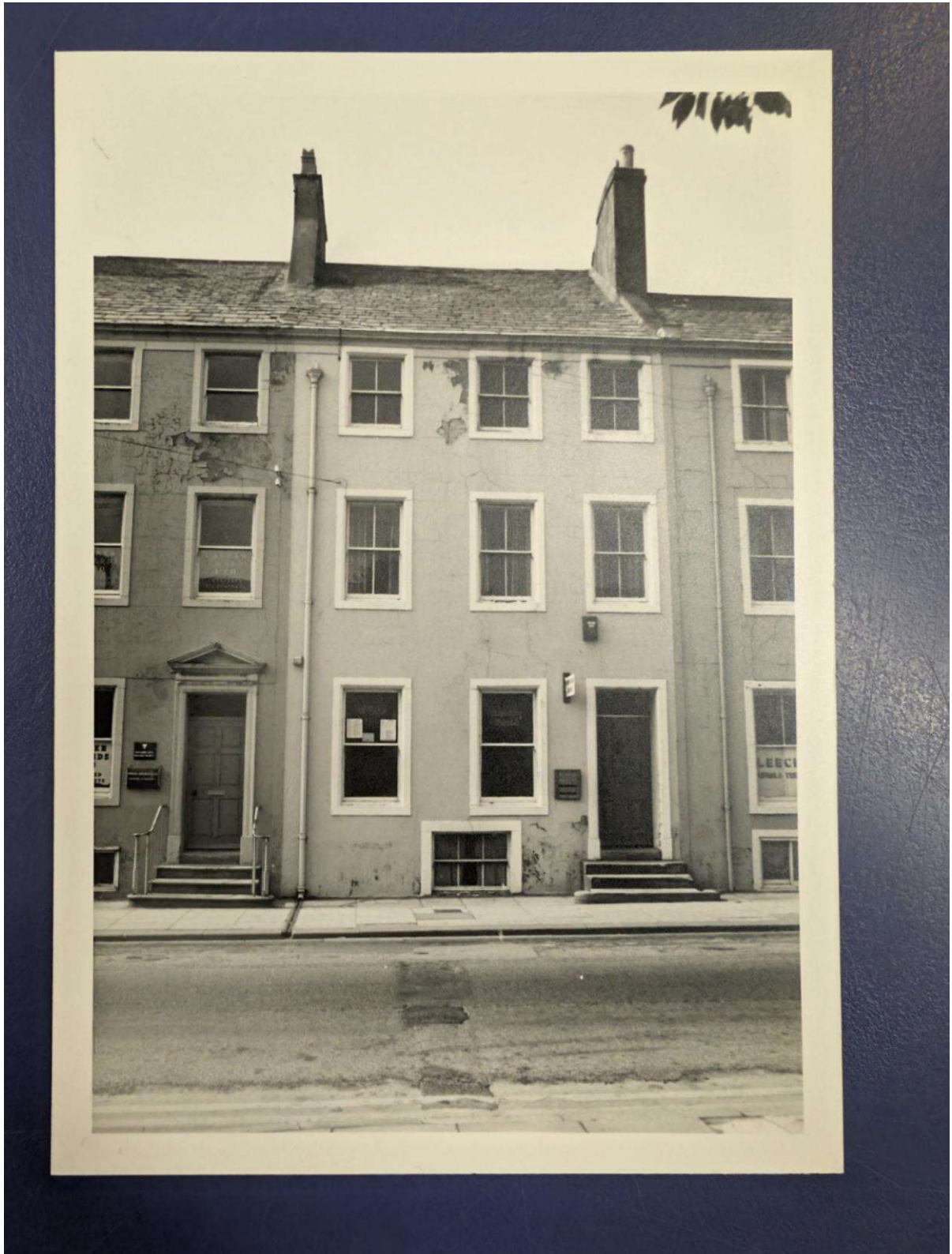
The applicant purchased the property in 2024 at auction, having been uninhabited since at least 2012. The condition had been allowed to deteriorate and both internal and external works were needed extensively. The applicant is both proud and mindful of the building's heritage and wishes to preserve it as a key priority whilst making it a family home. The applicant has noted that applications have been made in the past (and approved) to convert the property to 3 individual dwellings. The applicant feels that this would be the worst possible fate for such a building and is happy to have saved it from such a fate had it passed to another buyer.

As part of the works in 1966, a ground floor WC was created in the cellar access area, by the stairs, which necessitated a door being installed and panelling to the side of the stairs bannister for privacy purposes. These are non-original and are proposed to be removed in order to return to a more original state (See works detailed under 'Cellar').

Aerial photos taken in the 1920's

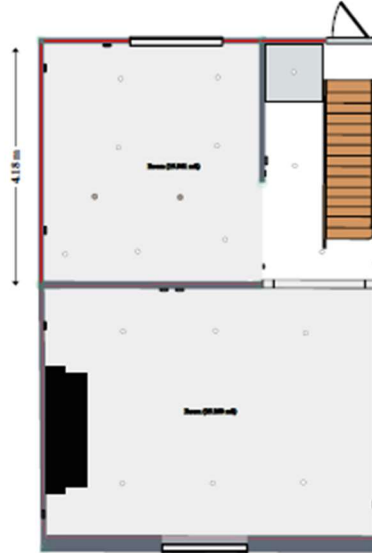


Photo from the 1960's when 8 Scotch St was used as a Pharmacy



End

Cellar:



- See method statement at the end of this document for proposed structural works to stabilise the front of the property at ground and cellar levels. **(Awaits structural engineer's report which will be submitted as soon as possible)**
- **Reinstate rear basement sash window.** Hardwood sash window to be made in the same style as other windows and be fully functional. Size is approximately 1.2m high and 1m wide. Create a void, below ground level space in front of window, install light grille or leave open (if both options could be granted) to allow light in and movement of air. Will require the removal of the current concrete at the rear face of the house as the 'window' is partially above ground level and approximately 80cm below the outer ground level.

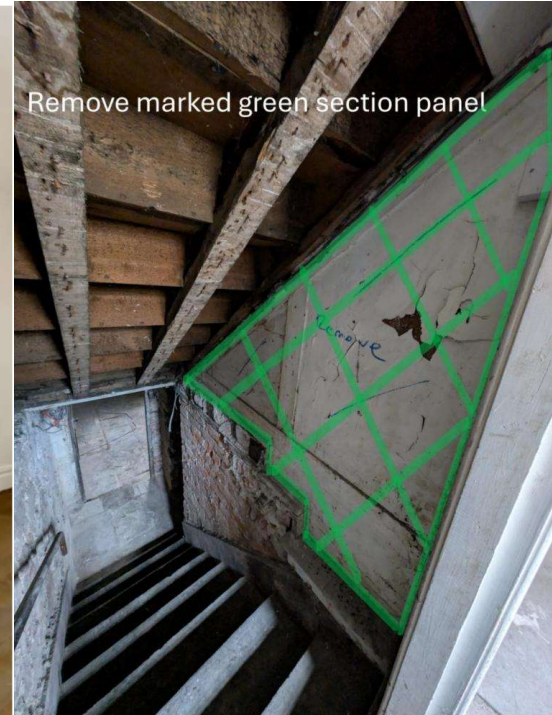


For guidance and illustration purposes.

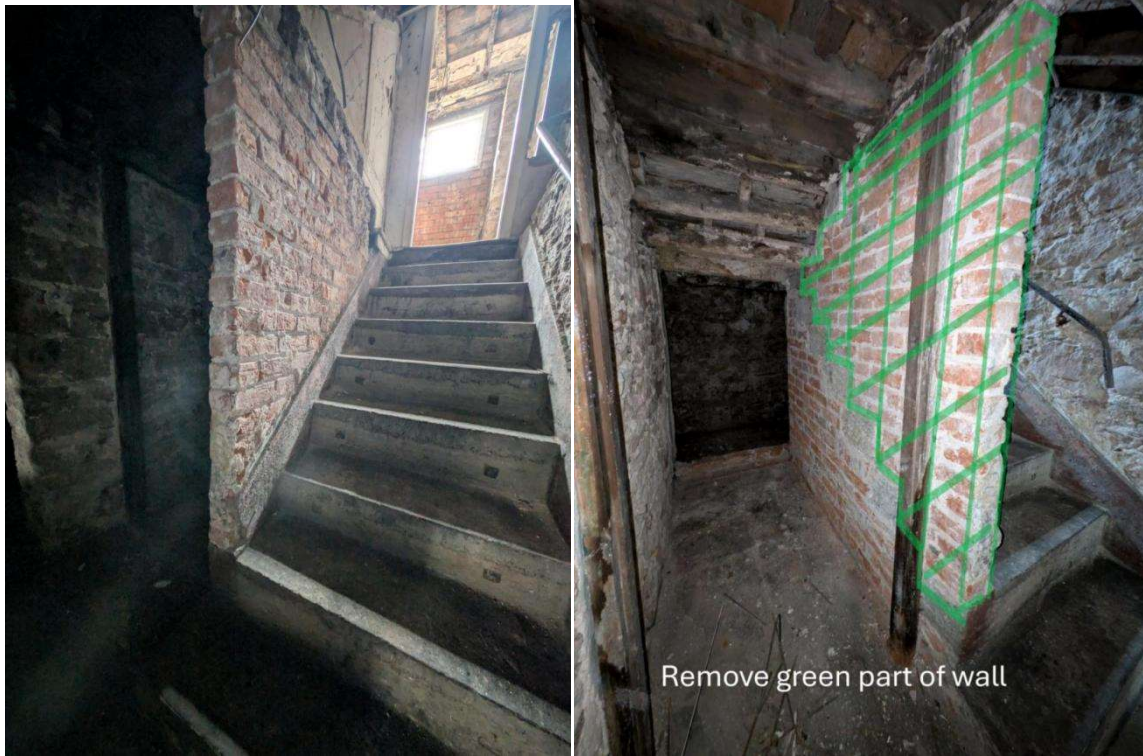


- **Removal of internal doorway** and related wooden partition to basement stairwell to reveal bannister spindles. Doorway installed as part of pharmacy conversion.

Illustration of intended outcome (left top):



- **Remove brick partition to right of basement stairs**, replace beams and joist as necessary, re-support and install wooden vertical supports to allow better movement of air and light to basement.

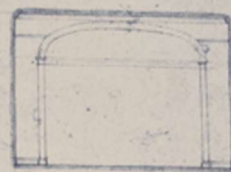
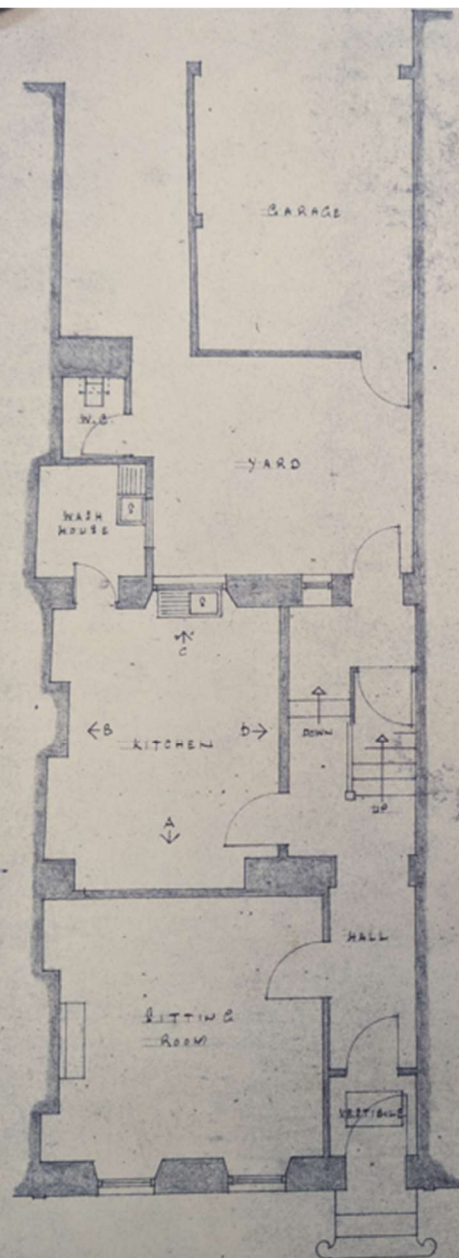


Proposed design for replacement (not bannister rail and shadow lighting, just the left portion.)

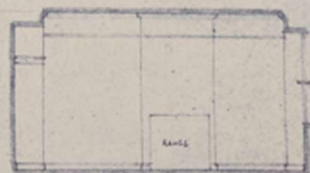


Ground Floor

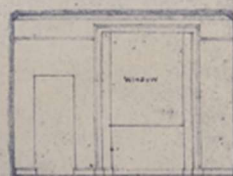
Planning sketch showing ground floor prior to change of use to Pharmacy. For reference only. A number of proposed changes in this application seek to return elements of this layout and features and so I have provided it here. 1) Rear door exit to yard. 2) Removal of inner door on access route to basement stairs. 3) Reinstall sitting room door (with surrounding wooden panelling) 4) Returning a window to the washroom (Utility Room) and remove door that was installed in its place.



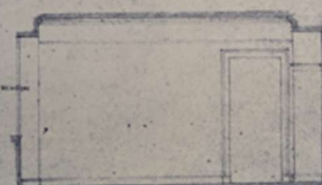
ELEVATION A



ELEVATION B



ELEVATION C



ELEVATION D

PLAN

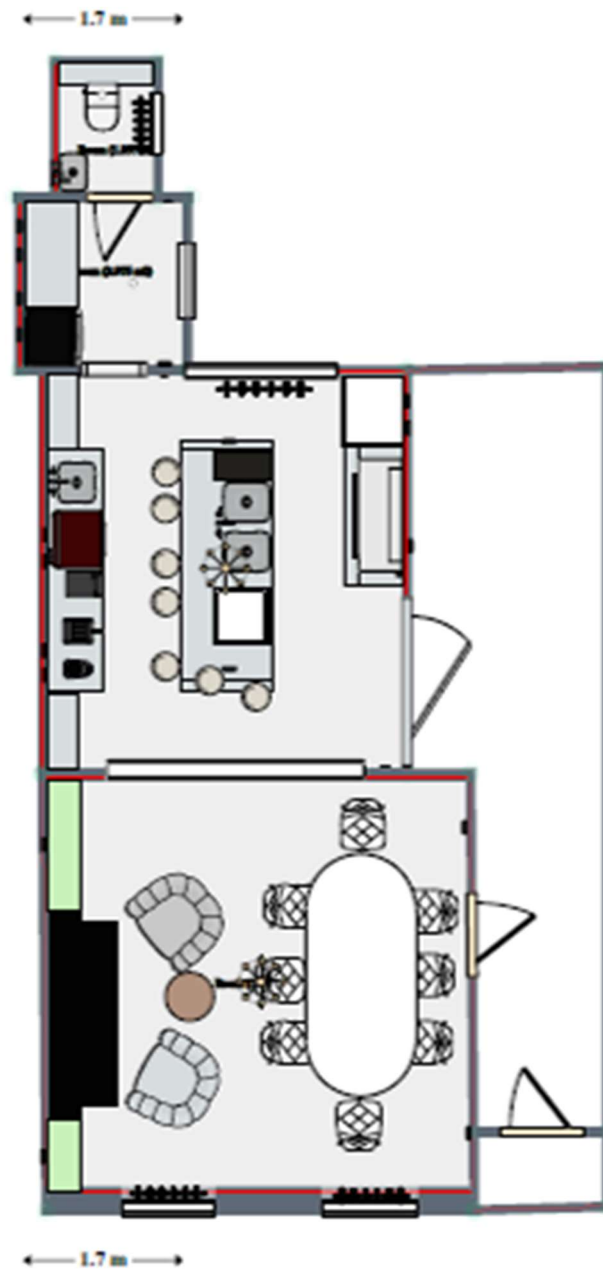
DRAWING W336/1
SCALE - 1/4" TO ONE FOOT
3RD JUNE 1905

8, SCOTCH STREET, WHITEHAVEN
SURVEY 'AS EXISTING' -

A. P. GRAY M.B.E., F.A.I.B.A., A.M.T.A.
CHARTERED ARCHITECT,
18, CHURCH STREET, WHITEHAVEN

Entrance and Corridor

Plan representation of desired layout.



Corridor leading to cellar stairs

- **Reinstate rear wooden exterior door** that was replaced with a small window and single skin layer of bricks in 1966. Door to be solid wood, outward opening, traditional style and partially glazed. Dark colour. (Style as below)



Kitchen

- **Internal kitchen door entrance to be extended upwards and sideways** to match height of hallway wood panelled feature. Fitting of partially glazed wooden internal double doors. Yellow line in photo marks the upper extremities of the proposed door frame. Existing door frame architrave to be used for front room door which is missing architrave (Same size, have checked). Architrave for widened and heightened door will be reproduced or purchased to match original style.



Proposed style of double door. Will have custom made and 5x2 or 6x2 equally spaced glazing bars, single pane glass



Front Room

- Wood panelling to the front wall around the sash windows was removed by the applicant in order to address damp-related issues and necessary structural inspection to lintels and joists. It was also split, rotten and mouldy, possibly due to the effect of cold bridging and leaks into the house. **A period reproduction should be reinstalled to the inner faces.** As was fitted to the first and second floor front rooms. It is proposed that the stonework on the face of the house be rendered up to the panel architraves, with lime and painted with casein distemper for breathability benefits and greater longevity of the property.

Photo prior to removal.



Proposed style to refit:



- Permission is also sought for the **removal of plaster cornicing** where necessary. Any replacement will be to the same style where the original is period correct, or to a period correct alternative.
- Permission is also sought for the **removal of skirting boards** where necessary. Any replacement will be to the same style where the original is period correct, or to a period correct alternative.

Utility Room (Former Wash Room)

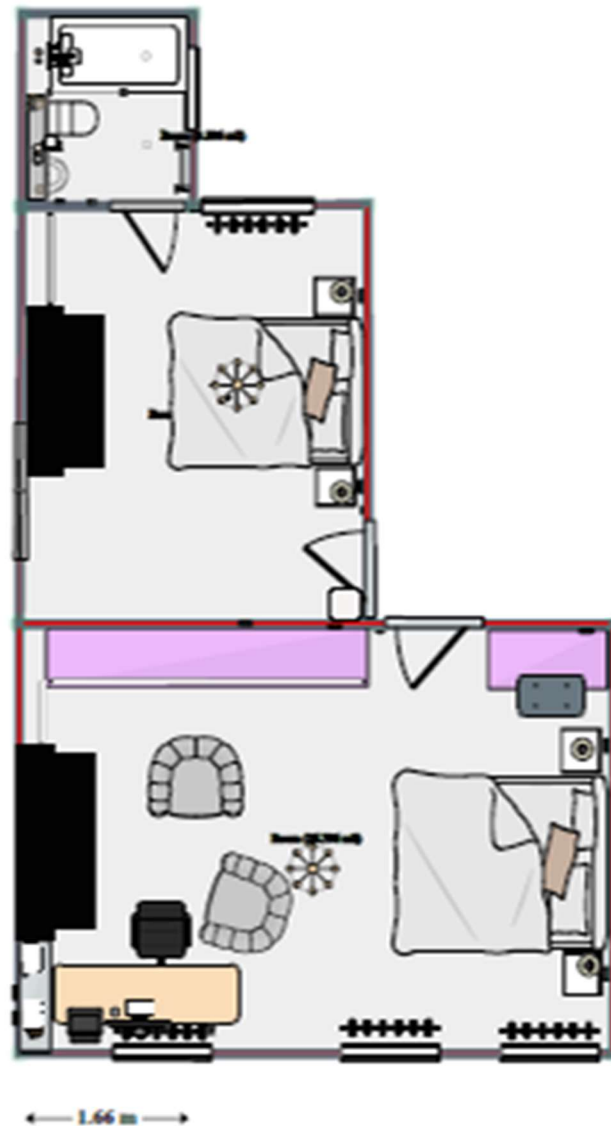
- **Brick up current rear door opening to yard**, returning to the pre-1966 condition. Fit small window with top opener and matching protruding surrounds. Window to match window above in 1st floor en-suite. Both will be made in hardwood to the same style 3x2.



Existing door. Use door lintel and sides as window frame surrounds. Create new stone sill below window so it is 'framed' to match other windows.



1st Floor Front Room



- **Repair original wooden flooring** so that all boards match, using boards from 2nd floor bathroom where appropriate.
- **Wood panelling to the front wall around the sash windows** was removed by the applicant in order to address damp-related issues and necessary structural inspection to lintels and joists. It was also split, rotten and mouldy, possibly due to the effect of cold bridging and leaks into the house. A period reproduction should be reinstalled to the inner faces. As was fitted originally to this floor and the second floor front windows. The stonework on the face of the house will be rendered up to the panel architraves, with lime

and painted with casein distemper for breathability benefits and greater longevity of the property.



Poor condition of removed panelling. Not believed to have been original. Inner bead and profile differs to what appears older, possibly original panelling in the house.



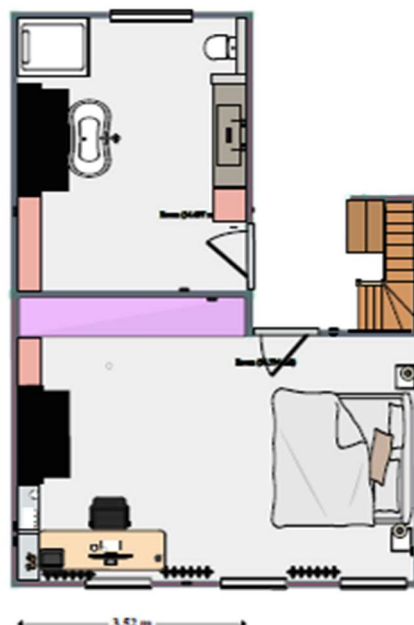
- Permission is also sought for the **removal of plaster cornicing** where necessary. Any replacement will be to the same style where the original is period correct, or to a period correct alternative.
- Permission is also sought for the **removal of skirting boards** where necessary. Any replacement will be to the same style where the original is period correct, or to a period correct alternative.

1st Floor Rear bedroom

- **Repair original wooden flooring** so that all boards match, using boards from 2nd floor bathroom where appropriate.
- Permission is also sought for the **removal of plaster cornicing** where necessary. Any replacement will be to the same style where the original is period correct, or to a period correct alternative.
- Permission is also sought for the **removal of skirting boards** where necessary. Any replacement will be to the same style where the original is period correct, or to a period correct alternative.

2nd Floor Front Room

N.B Disregard stairbox position and design as it is not correct in plan below. No changes to stairbox proposed.



- Remove MDF boards patched into floors and replace with older boards from 2nd floor bathroom where appropriate.



- Wood panelling to the front wall around the sash windows was removed by the applicant in order to address damp-related issues and necessary structural inspection to lintels and joists. It was also split, rotten and mouldy, possibly due to the effect of cold bridging and leaks into the house. **A period reproduction should be reinstalled to the inner faces.** As was fitted to the this floor and the first floor. It is proposed that the stonework on the face of the house be rendered up to the panel architraves, with lime and painted with casein distemper for breathability benefits and greater longevity of the property.

Photo taken prior to removal

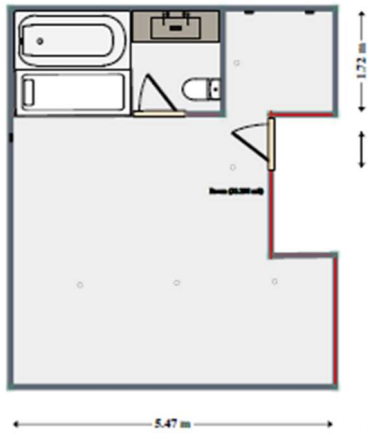


- Permission is also sought for the **removal of plaster cornicing** where necessary. Any replacement will be to the same style where the original is period correct, or to a period correct alternative.
- Permission is also sought for the **removal of skirting boards** where necessary. Any replacement will be to the same style where the original is period correct, or to a period correct alternative.

2nd Floor Rear Room Family Bathroom

- **Take out existing wooden floor board** and use for repairs to other rooms. Install new floor material suitable for a bathroom and tiles.

Current Attic space bedroom with proposed en-suite

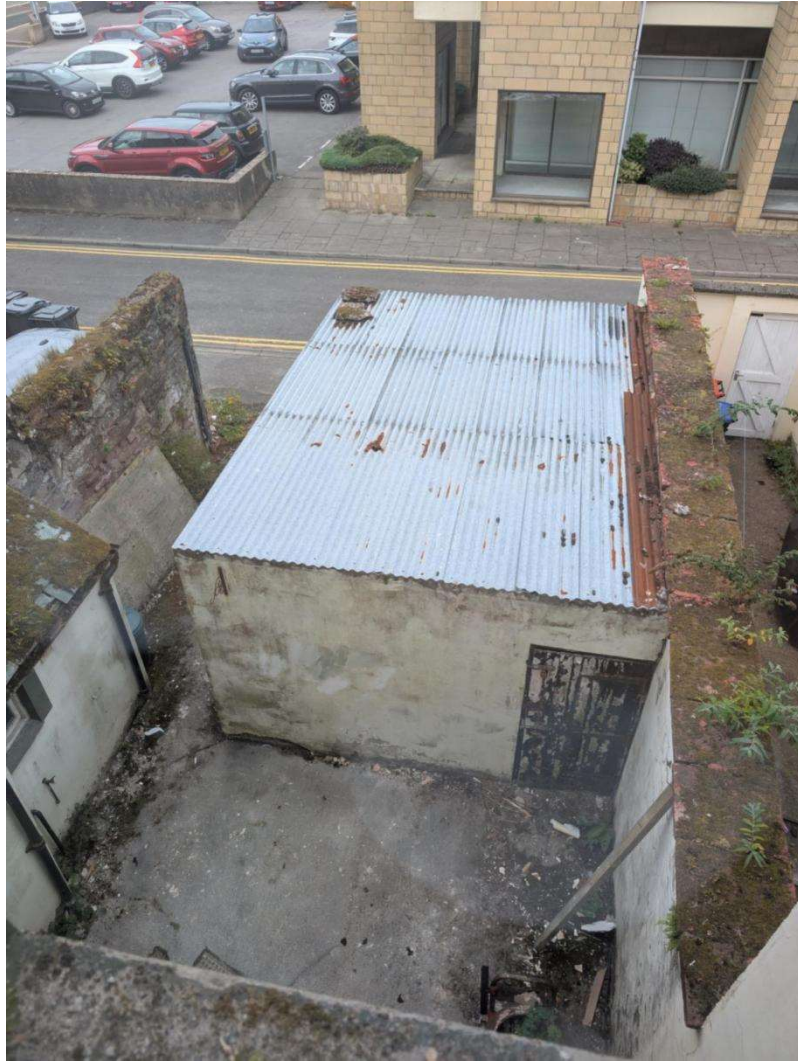


- **Install new stud partitions** to form En-Suite bathroom (See above plan. NB. Plan shows door where no door exists. Access is open at loft level)

Rear Yard

- Demolition of existing single brick skin garage with tin roof. (Detailed planning permission to be submitted at a later time. Careful consideration is needed)





End

Method Statement for proposed structural works to stabilise the front of the property at ground and cellar levels. (Awaits structural engineers report which will be submitted as soon as possible)

1.0 PURPOSE

The purpose of this method statement is to define why urgent repair works are necessary at the property of 8 Scotch St, and propose how they will be undertaken to meet requirements and guidance.

8 Scotch St is a mid-terrace Georgian period town-house comprising a basement, ground floor and a further 3 upper floors including a utilised roof-space. It is a Grade II listed property in a conservation area constructed circa 1740.

The property was recently inspected by Structural Engineer, Tom Short, who identified concerns with the stability of the front face of the property and offered advice on remediation to the Project Manager, Alan Cannan. This was communicated to Planning Officer, Sammy Woodfood who attended the property on the 18th August 2025 to discuss the concerns with the PM and owner of the property.

2.0 SCOPE

This method statement covers the procedure to be followed for the installation of bricks to the front and internal basement wall of the property to replace a structurally compromised basement sash window and lintel. The purpose is to close up the related pavement level opening in order to sufficiently support the front of the property and its associated beam supports. The brickwork will extend vertically into the basement space where it will be laid and joined to the existing sandstone walls.

Upon satisfactory inspection, the whole front of the property will be re-rendered to meet the necessary historically correct appearance. Internally, once all renovation works are complete, the internal surfaces will be rendered in an appropriate lime finish and lime wash, again making any inconsistency between brickwork and stone un-seen and hidden from view.

3.0 DEFINITIONS & ABBREVIATIONS

PM:	Project Manager
PPE:	Personal Protective Equipment
H&S:	Health & Safety

4.0 RESPONSIBILITIES

The Project Manager (Alan Cannan) is responsible for overall project execution, quality and safety. The PM is responsible for the overall implementation of this method statement. The Project Manager shall ensure that all personnel are well aware of the specifications and method statement.

5.0 MATERIALS

Bricks, Sand, Cement, Lime, Admix, Waterproofing, Concrete Lintels

6.0 EQUIPMENT & TOOLS

General builder's tools, support props, Cement mixer / whisk, Still saw cutter.

7.0 HEALTH & SAFETY

SECURITY – HEALTH AND SAFETY CHECKLIST AT PLACE OF WORK:

- Housekeeping – Keep place of work clean and tidy.
- Provide good access.
- Provide good lighting.
- Provide protection.
- Ensure goggles, gloves and masks are worn as appropriate.
- Ensure safety boots are worn all times.
- Ensure safety helmets, goggles, gloves and belts are provided and used if required.
- Ensure appropriate cones and tape in place to marshal pedestrians away from work area.

8.0 PROCEDURE

Prop up cellar beams.

Fit strong boys to living room outer wall inside and outside to allow lintels to be fitted.

Remove cellar window and build up from lintels to above living room floor to strengthen.

Cut reveals out where window was to make level with walls that will be rendered.

- PM shall check site conditions to ensure readiness for works to begin.

- All materials and tools necessary shall be on-site prior to commencement.
- Ensure propping and support is adequate and set up correctly. Care should be taken in propping not to lift the building elements being supported – only to take a proportion of the weight off of them.

See next page for supporting photographs

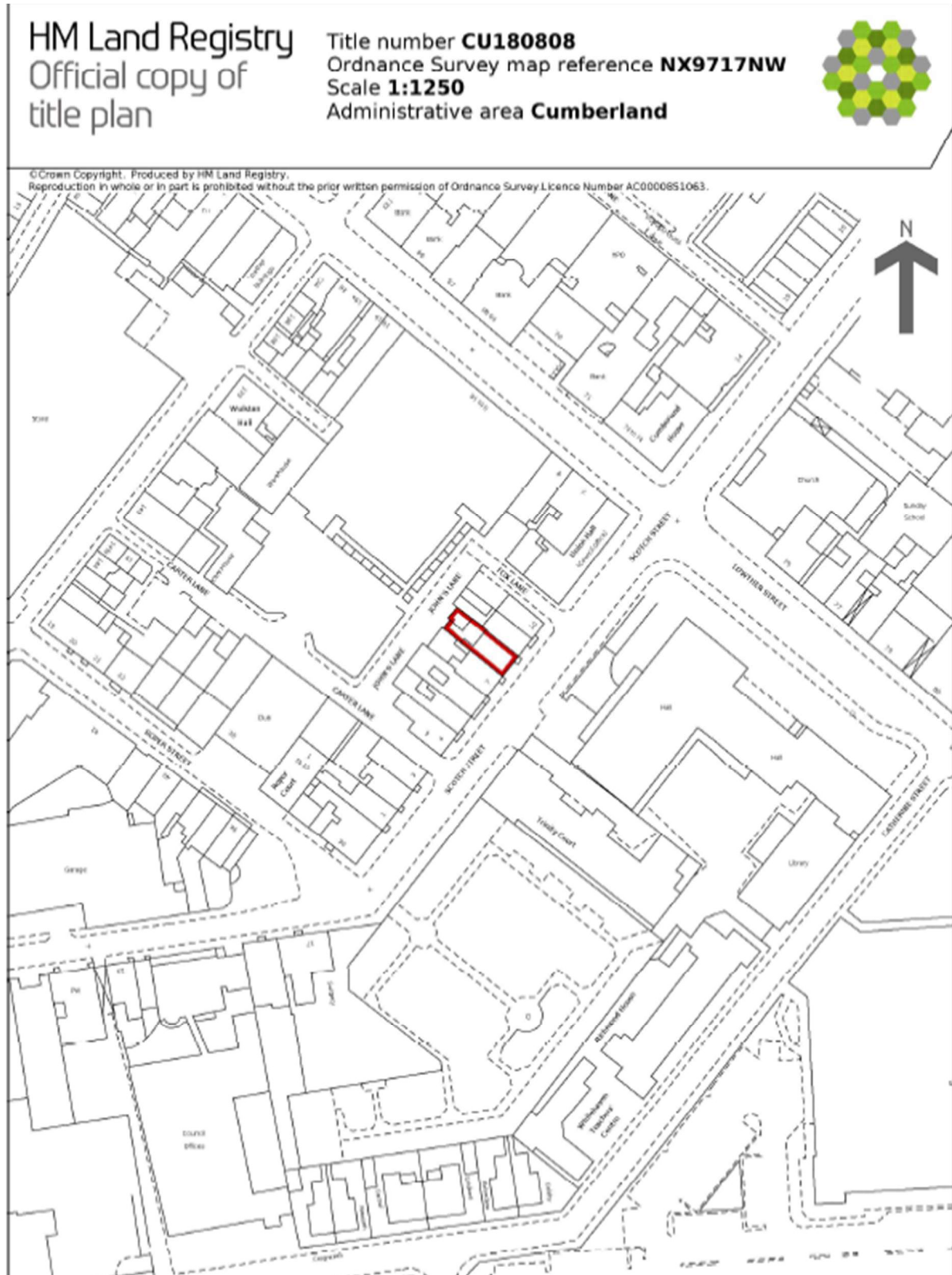


Photo 1: Basement Sash from street level pavement (Scotch St)



Photo 2: Wider view prior to render removal



Photo 3: Internal view of Inner front supported on beams placed on beams

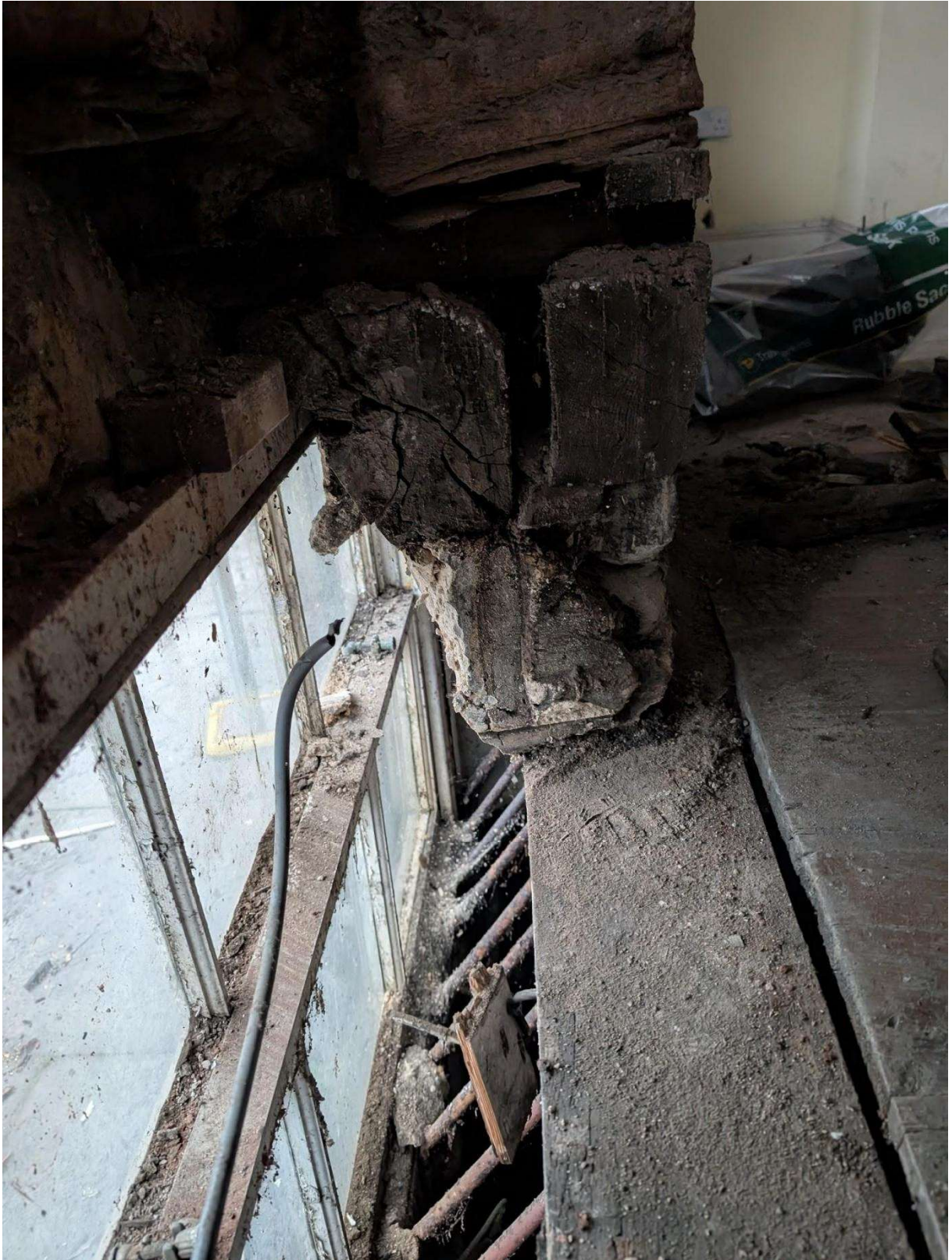


Photo 4: View of Basement sash and beam supports partially tied with metal rods.



End of Method Statement