

TA/2022/536.

NOTIFICATION OF PROPOSED CONSTRUCTION WORKS

Address: St Cleers, Drigg Road, Seascale
Name: Damien Brown
Tel:
email:

Planned works at the address are planned to start August 2022 and include the following:

- 1) Demolition of an existing conservatory on the rear elevation and construction of a kitchen extension.
- 2) Demolition of an existing garage on the side of the property and construction of a side extension.

The drawings and plans demonstrate that the overall footprint of the current buildings will remain relatively unchanged and have been designed using the current permitted development guidelines for the UK.

The link below shows the UK Permitted Development technical guidance followed:

[Permitted development rights for householders: technical guidance - GOV.UK \(www.gov.uk\)](https://www.gov.uk/permitted-development-rights-for-householders-technical-guidance)

The new build extensions will be constructed and finished in line with the building regulations and using materials to match the existing house and properties in Seascale. These primarily being concrete blockwork with a white rendered finish, UPVC doors, windows, fascias and soffits with a concrete or clay tile roof. The dormer will be constructed out of timber and cladded and is detailed set back of over 200mm from the rear wall as required.

The photos below show the front and rear of St Cleers as it stands today to provide an additional visual aid to the drawings provided.

FRONT ELEVATION FROM DRIGG ROAD



LOCATION PLAN

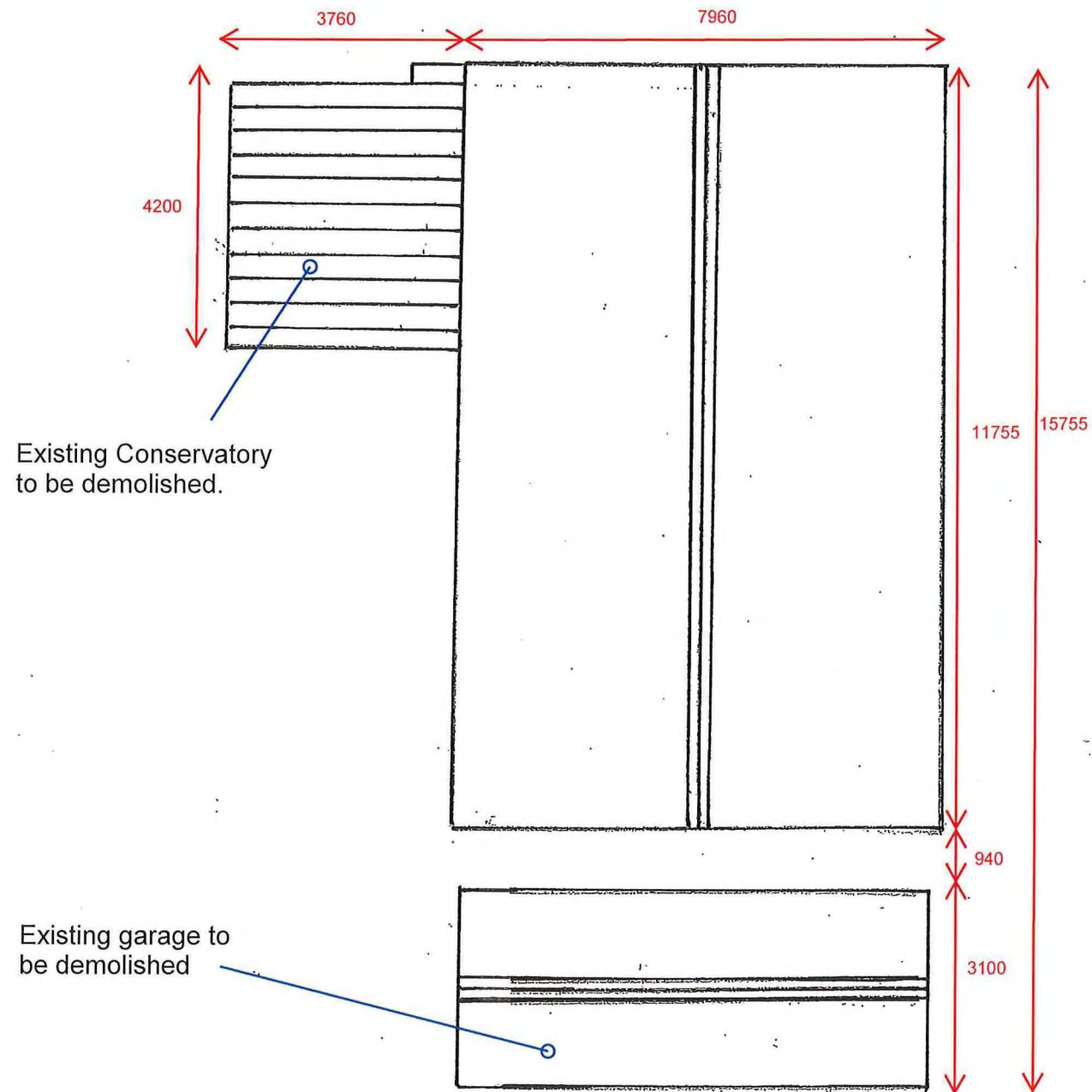


REAR ELEVATION

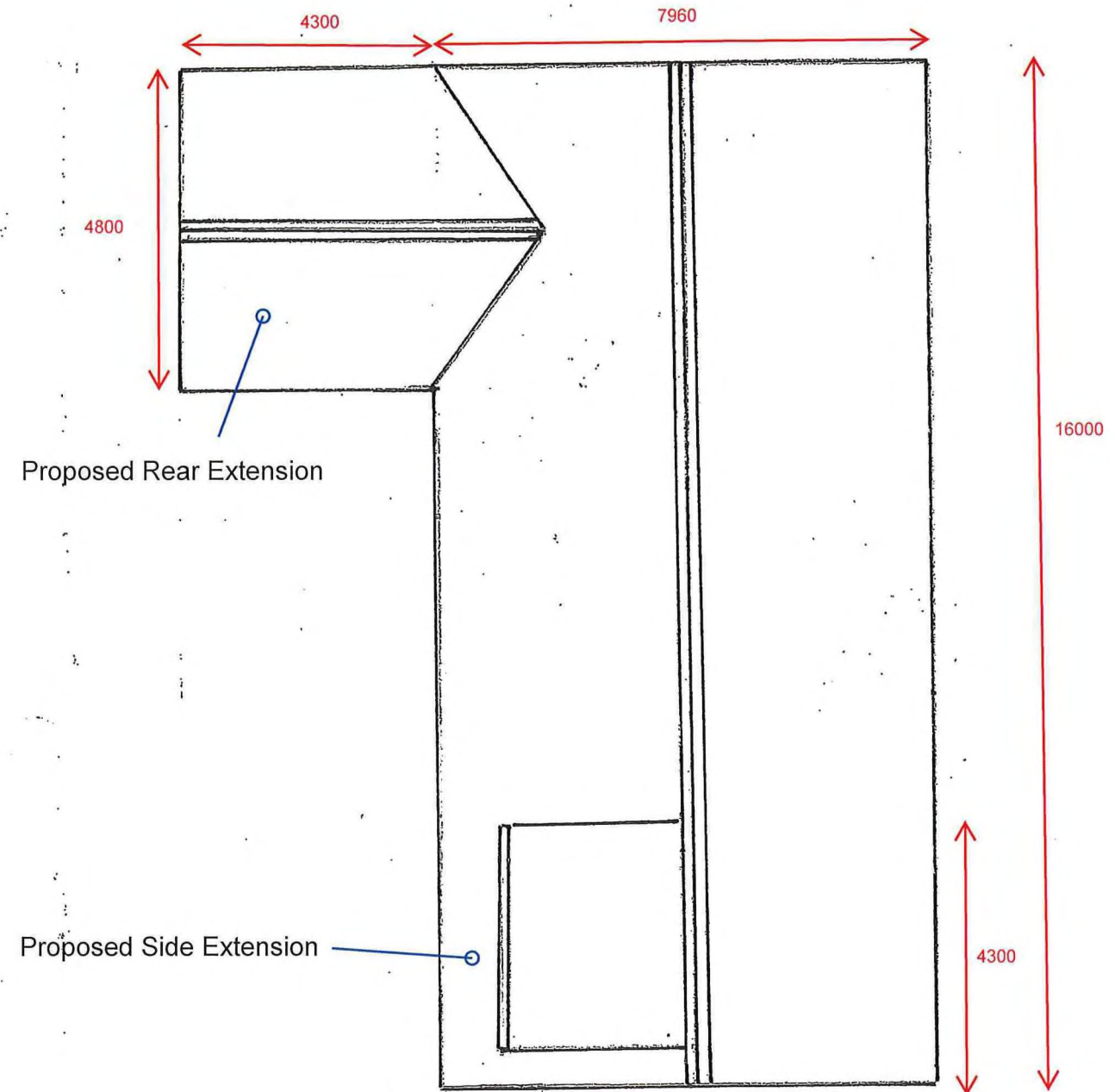


TA/2022/536.

EXISTING ROOF PLAN



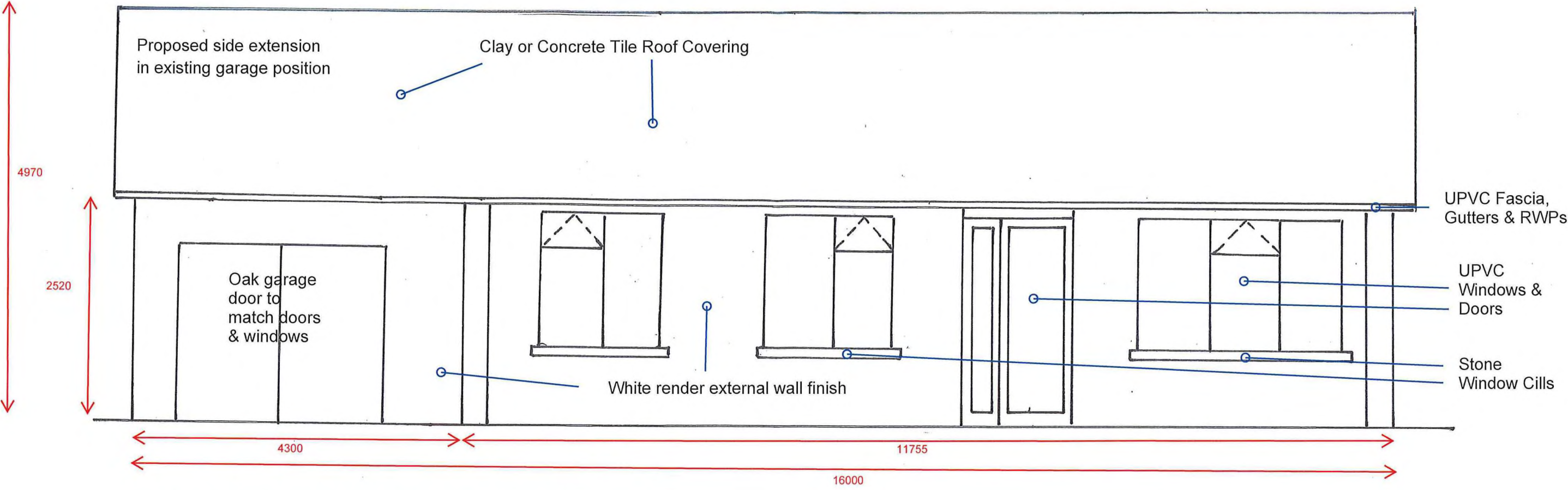
PROPOSED ROOF PLAN



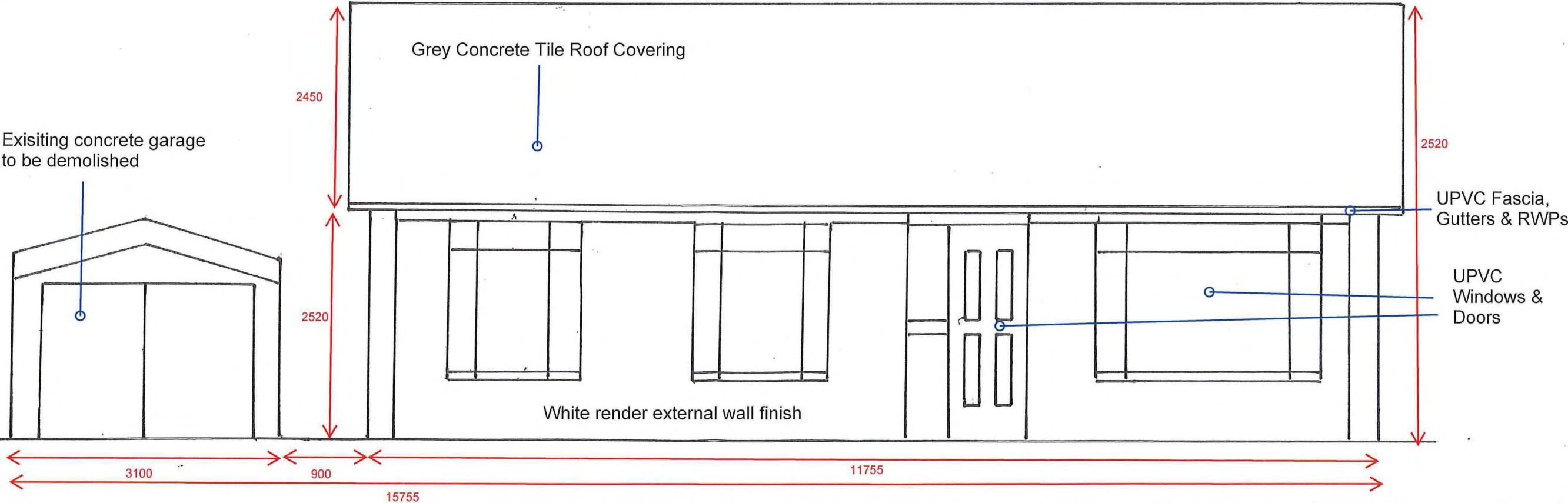
DRAWING No.	DATE:	DRAWING TITLE:	SCALE:	PROJECT
DB02	May-22	Existing & Proposed Roof Plan	1:40	St Cleers, Drigg Road, Seascale

TA/2022/536

PROPOSED FRONT ELEVATION (EAST ELEVATION)

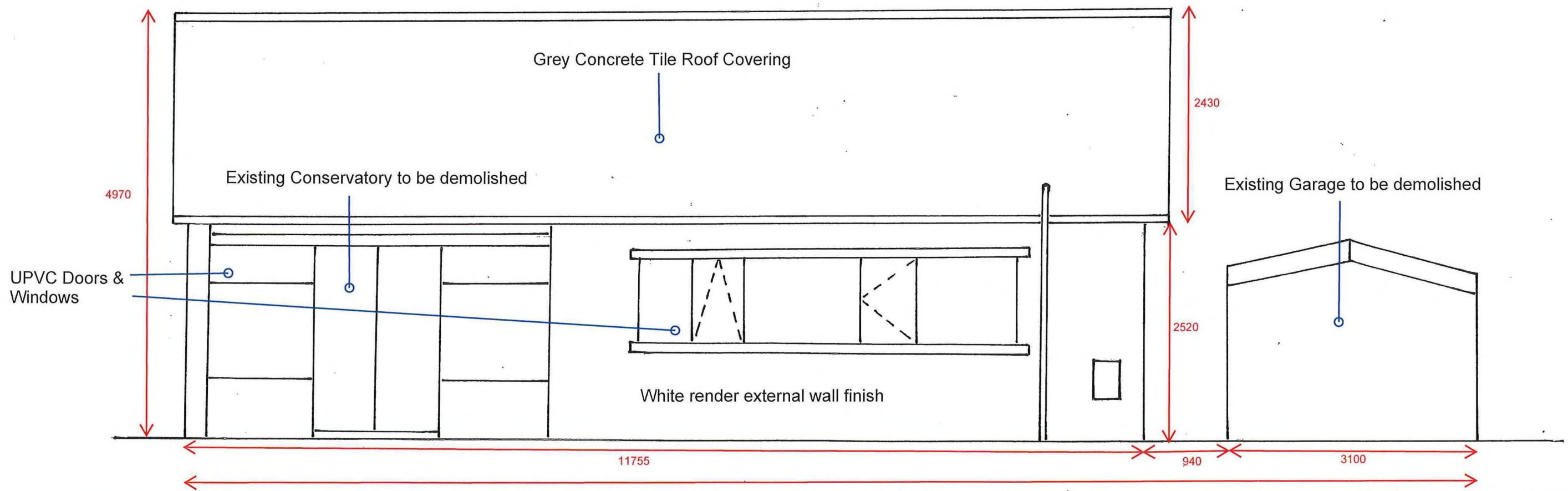
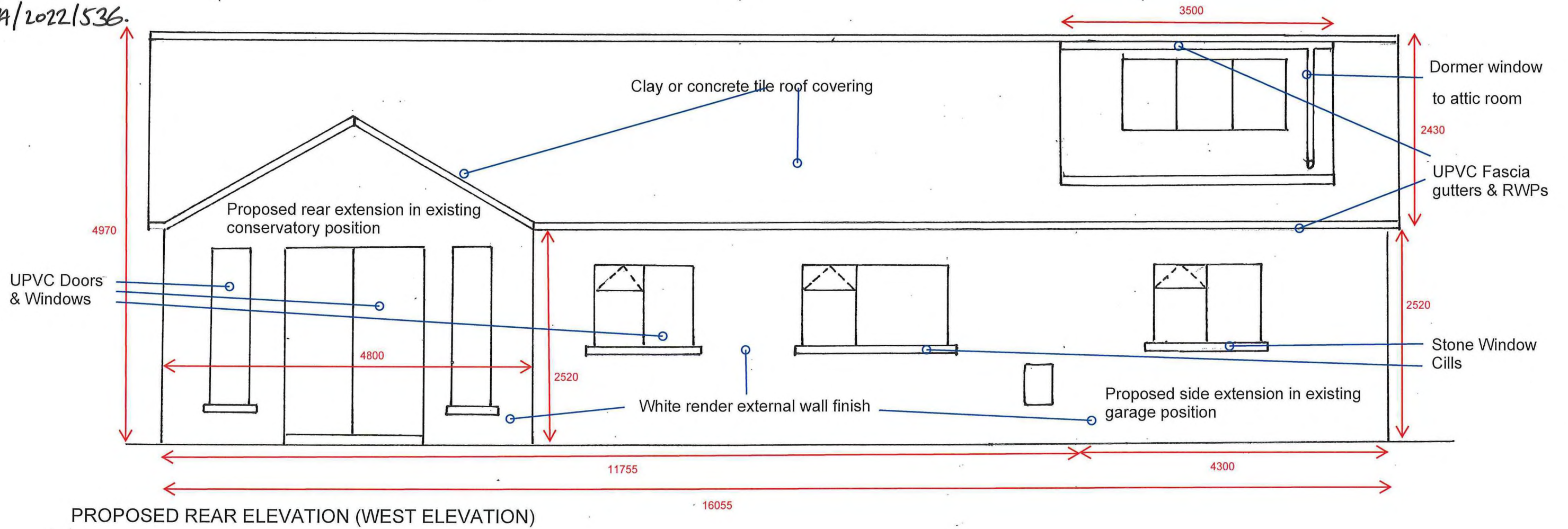


EXISTING FRONT ELEVATION (EAST ELEVATION)



DRAWING No.	DATE:	DRAWING TITLE:	SCALE:	PROJECT
DB03	May-22	Existing & Proposed East Elevation (Front)	1:50	St Cleers, Drigg Road, Seascale

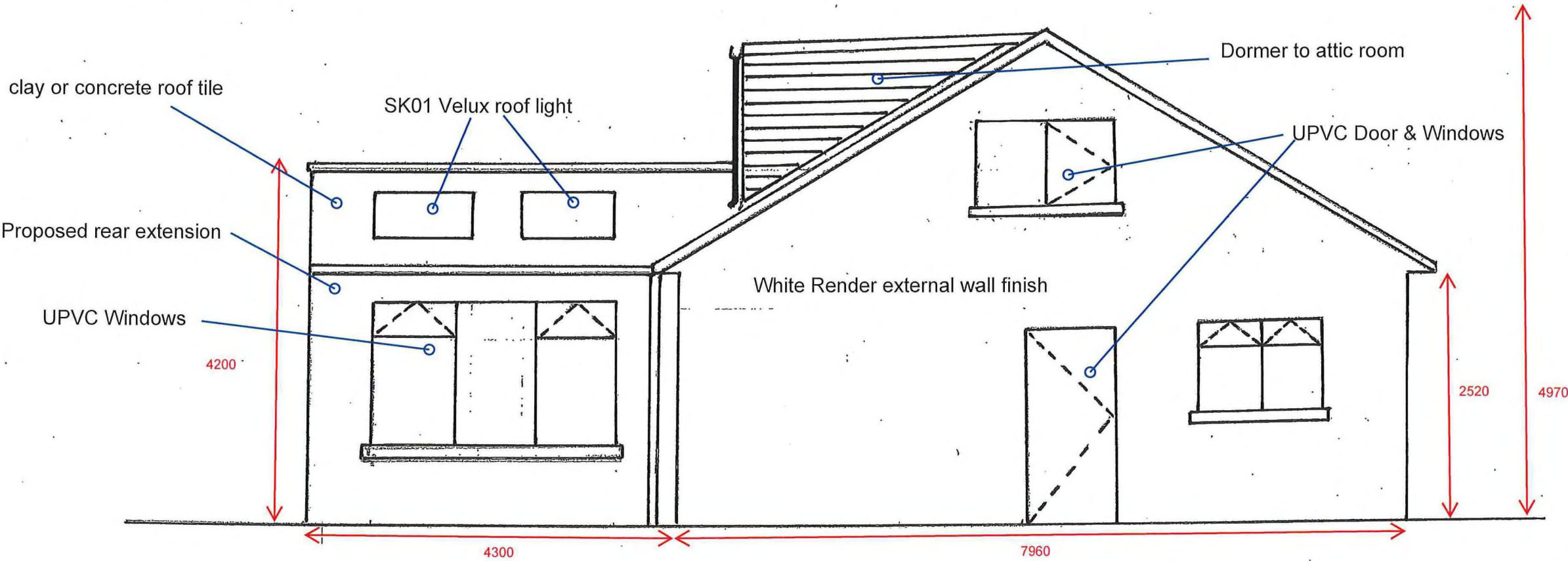
TA/2022/536



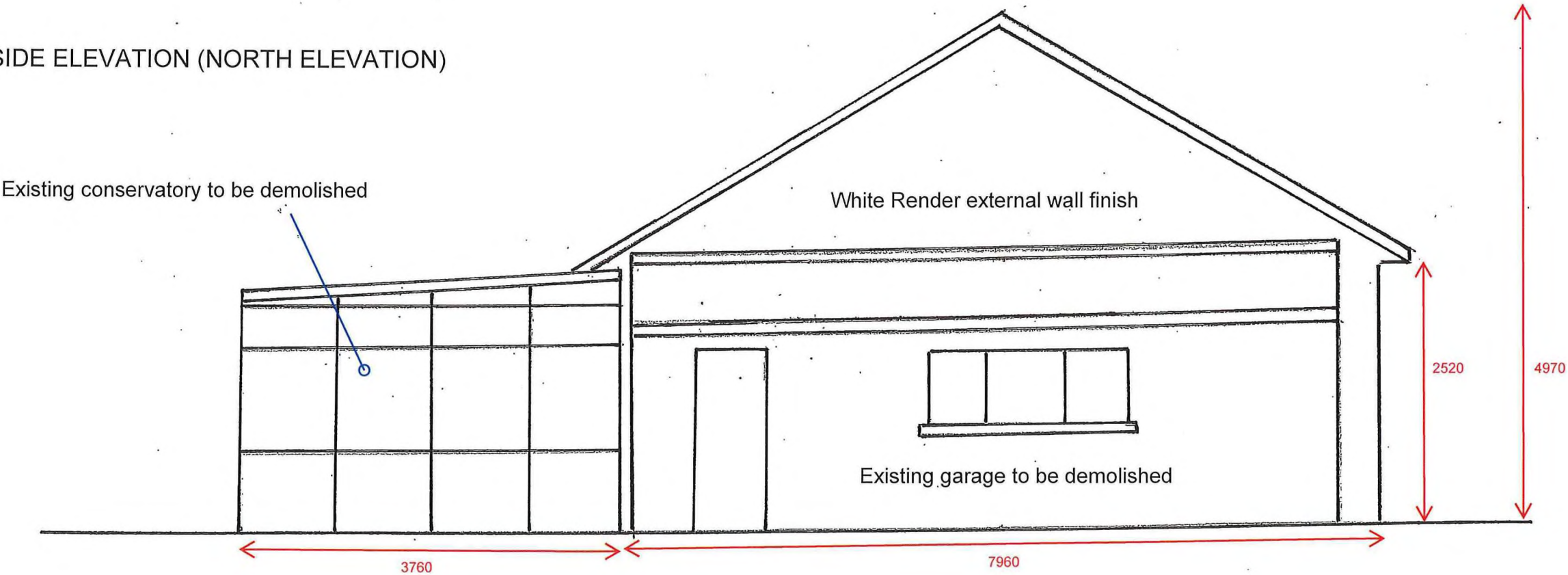
EXISTING REAR ELEVATION (WEST ELEVATION)

DRAWING No.	DATE:	DRAWING TITLE:	SCALE:	PROJECT
DB04	May-22	Existing & Proposed West Elevation (Rear)	1:50	St Cleers, Drigg Road, Seascale

PROPOSED SIDE ELEVATION (NORTH ELEVATION)

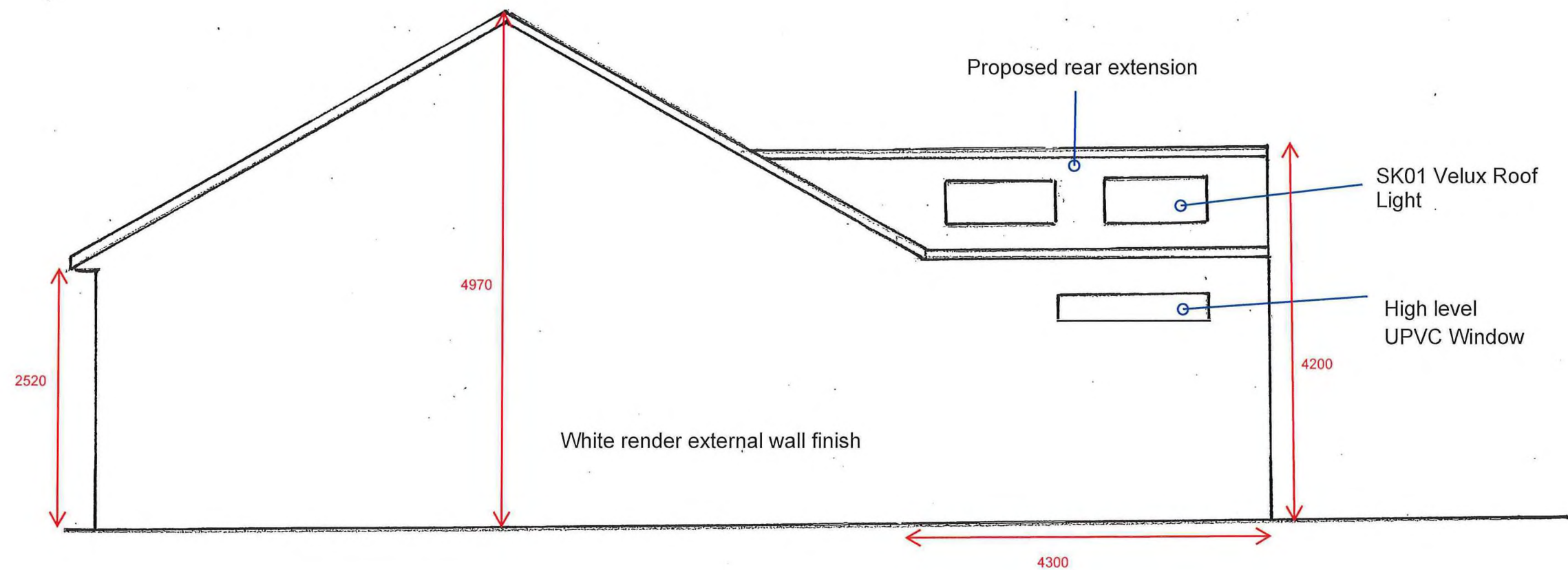


EXISTING SIDE ELEVATION (NORTH ELEVATION)

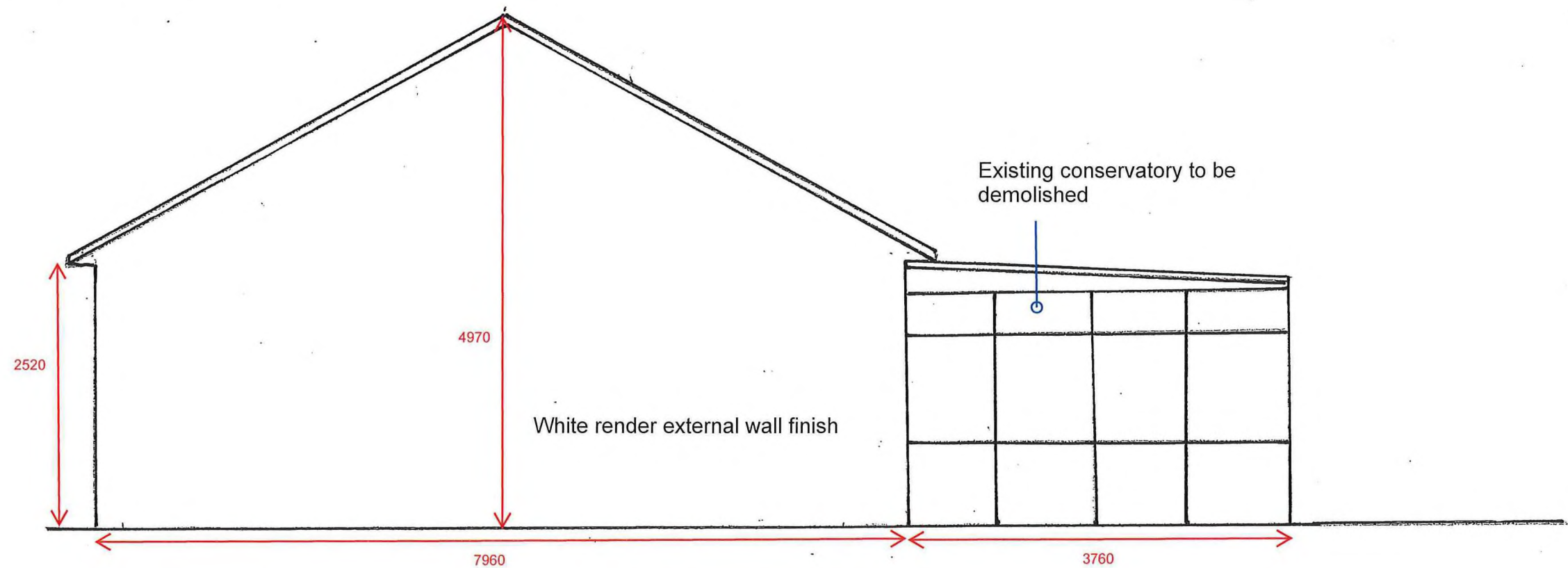


DRAWING No.	DATE:	DRAWING TITLE:	SCALE:	PROJECT
DB05	May-22	Existing & Proposed North Elevation (Side)	1:50	St Cleers, Drigg Road, Seascale

PROPOSED SIDE ELEVATION (SOUTH ELEVATION)



EXISTING SIDE ELEVATION (SOUTH ELEVATION)

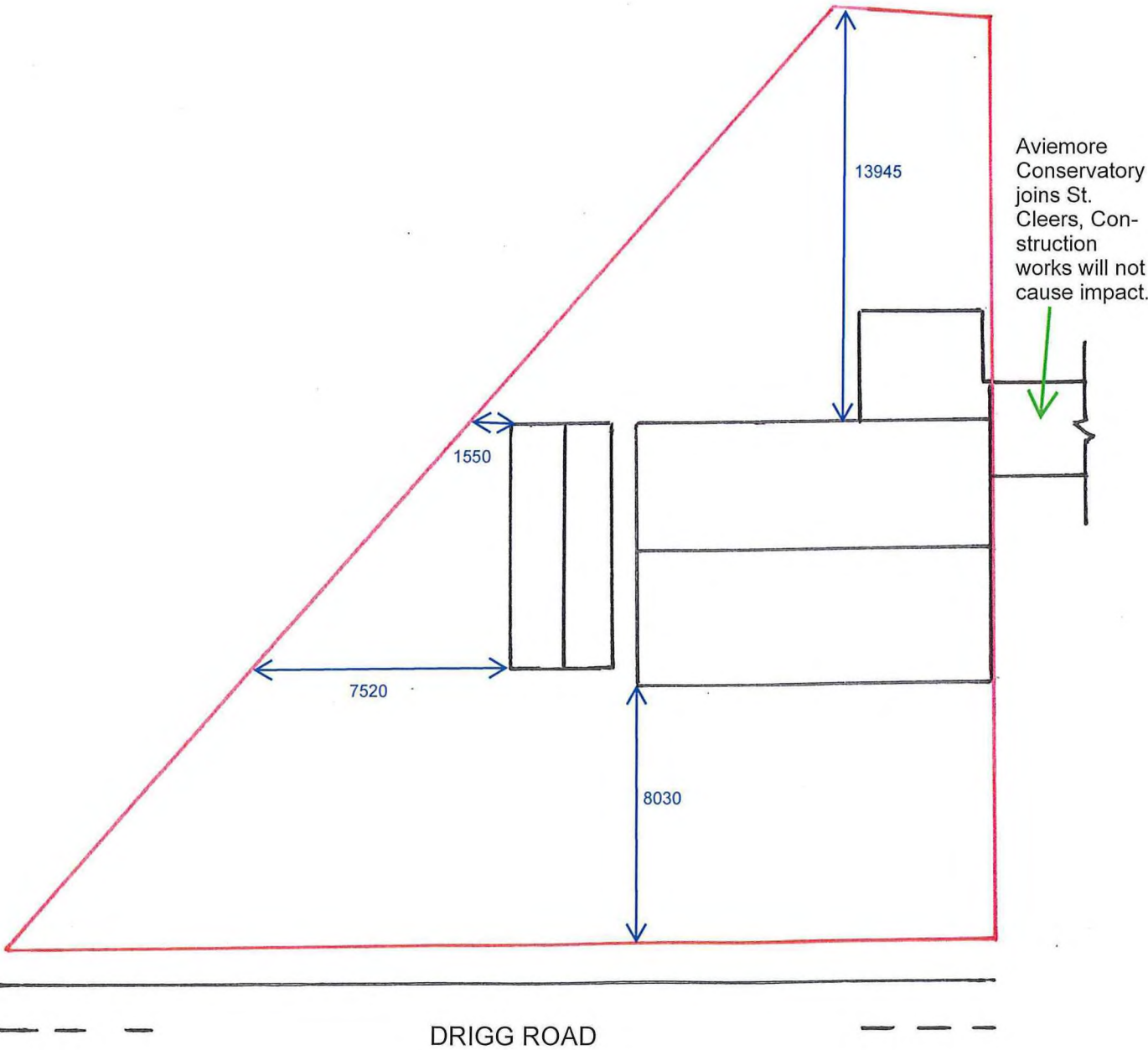


DRAWING No. DB06	DATE: May-22	DRAWING TITLE: Existing & Proposed South Elevation (Side)	SCALE: 1:50	PROJECT St Cleers, Drigg Road, Seascale
---------------------	-----------------	--	----------------	--

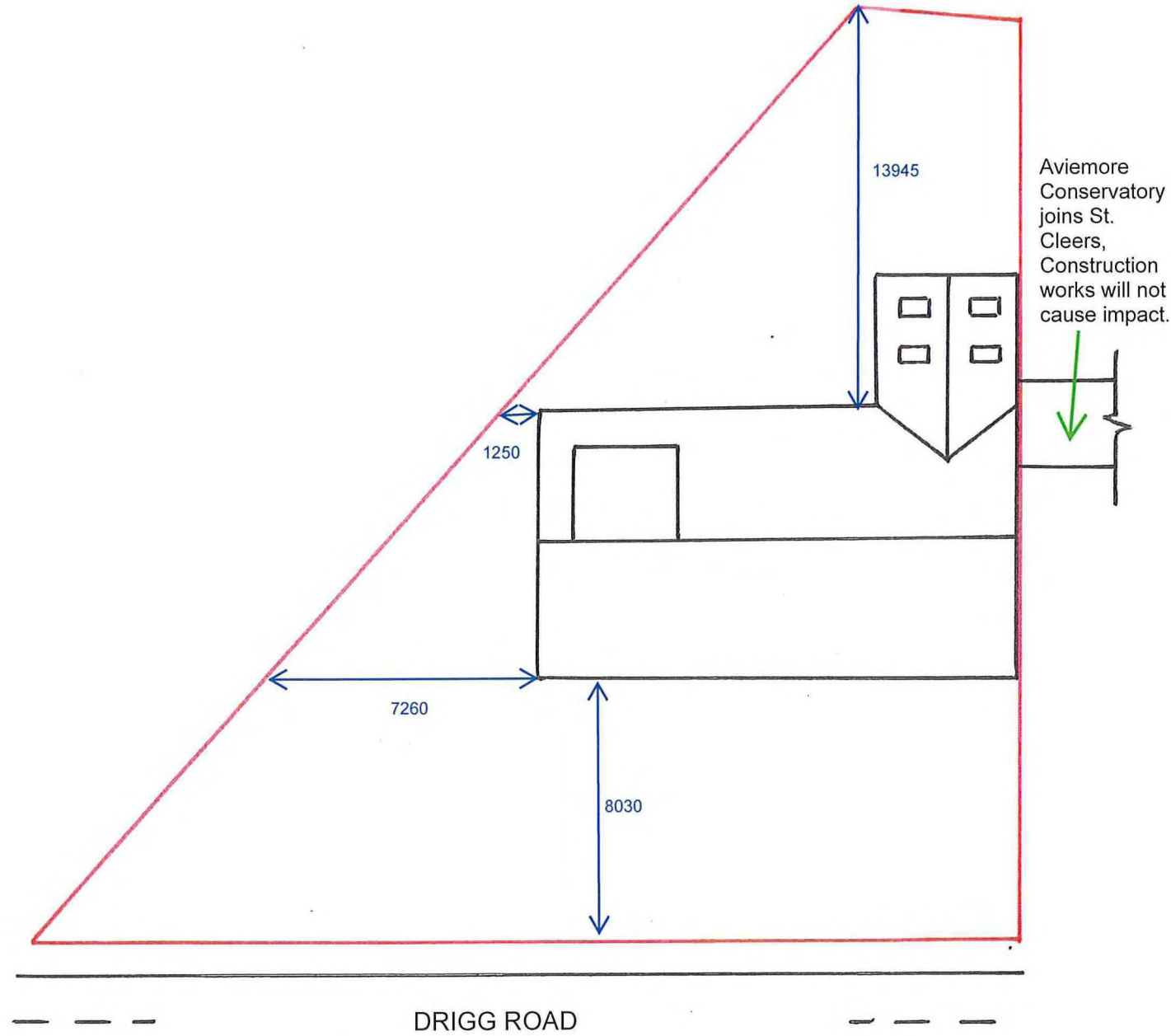
TA/2022/536.

DRAWING No.	DATE:	DRAWING TITLE:	SCALE:	PROJECT
DB07	Jun-22	Block Plan: Existing & Proposed inc. Boundaries	1:200	St Cleers, Drigg Road, Seascale

EXISTING



PROPOSED



DB08: Site Location Plan Scale: 1:1250 Date: Jun-22

St Cleers, Drigg Road, Seascale, Cumbria, CA20 1NX



Site Plan shows area bounded by: 304006.25, 500440.62 304206.25, 500640.62 (at a scale of 1:1250), OSGridRef: NY 410 54. The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.

Produced on 6th Jun 2022 from the Ordnance Survey National Geographic Database and incorporating surveyed revision available at this date. Reproduction in whole or part is prohibited without the prior permission of Ordnance Survey. © Crown copyright 2022. Supplied by <https://www.buyaplan.co.uk> digital mapping a licensed Ordnance Survey partner (100053143). Unique plan reference: #00737704-46098A

Ordnance Survey and the OS Symbol are registered trademarks of Ordnance Survey, the national mapping agency of Great Britain. Buy A Plan logo, pdf design and the www.buyaplan.co.uk website are Copyright © Pass Inc Ltd 2022