

Proposed Residential Development @ Jacktrees Road.

Notes.

- Existing tree retained.
- Existing tree removed.
- Indicative planting.
- Red line submission boundary.
- Grass to front garden.
- Paving slab access to level threshold for principle entrance. Gradient not to exceed 1:12 for maximum 5m length.
- 1.8m high screen wall. to detail
- 1.8m high screen fence. to detail
- 600mm high plot division fence. to detail.
- House type code reference and plot number.
- Parking bays.
- Bin collection area for private drives only.

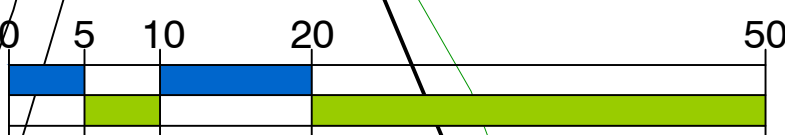
Elevation style.

- Render 21
- Urban 21

Schedule.

TYPE	OCCUPANCY	ARRANGEMENT	No.	GROSS INTERNAL FLOOR AREA (GIA)		GIA TOTALS PER TYPE		Mix %	Mix%	Bed Mix	Spaces Req	Spaces Del	
				sqft	sqm	sqft	sqm						
201	2B	semi/town	7	651	60.48	4,557	423.35	11%	11%		14.0	14.0	
204	2B	terr	4	616	56.94	3,824	343.77	3%	3%		9.0	9.0	
301	3B	semi/town	9	739	70.51	6,831	634.60	14%			22.5	44.0	
303	3B	semi/town	8	772	71.72	6,178	573.75	13%			20.0	29.0	
340	3B	semi/town	4	838	77.54	3,356	311.77	6%	33%		10.0	12.0	
304	3B	detached	4	772	71.72	3,088	286.88	6%			10.0	12.0	
354	3B	detached	4	904	83.98	3,616	335.93	6%			10.0	12.0	
309	3B	detached	10	904	91.41	9,840	914.14	16%	28%		25.0	28.0	
435	4B	detached	5	1221	113.43	6,105	567.15	8%			12.5	15.0	
401	4B	detached	6	1066	99.03	6,396	594.19	9%			15.0	18.0	
454	4B	detached	3	1149	106.74	3,447	320.23	5%	22%		7.5	9.0	
			64			54,004	5,005.74	100%	100%	0%	154.5	201.0	
Gross Site Area				5.12	acres	Red Line Boundary	2,286.13	sqm	ADOPTED VISITOR PARKING SPACES				16.0
POB Area				0.00	acres				TOTAL PARKING SPACES				217.0
Tree Belt				0.00	acres								
Nett Site Area				5.12	acres	Nett Site Area	2,286.13	sqm					
Density				10.94453	units/acre								
Density				1.01675	sqm/acre								
Density				12.80	units/acre								

Scale:



Client • Gleeson Homes Ltd.
Site • Jacktrees Road
Plan • Planning Layout 1:500.

Scale • 1:500 @ A1
Date • 15/11/22
Drg No • PL-02

