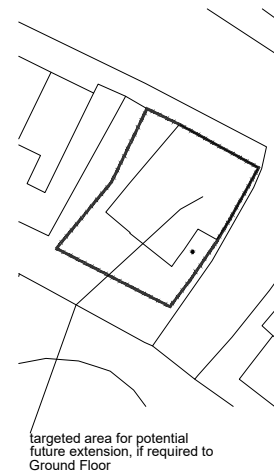




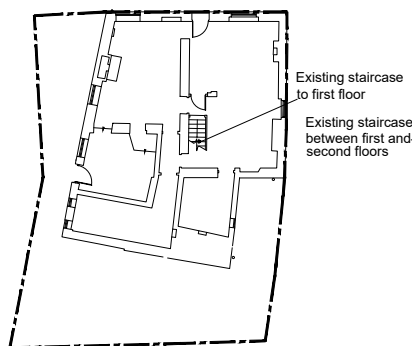
1 00_Site Plan - Existing

GENERAL NOTES :

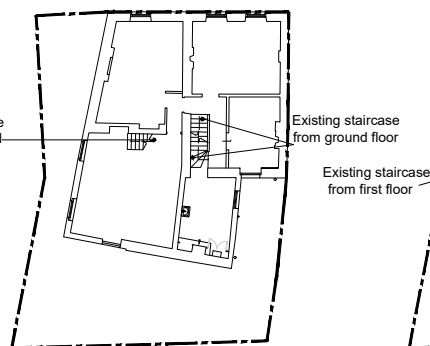
All dimensions to be checked on site prior to commencement of works– do not scale from this drawing. All works to comply with current Building Regulations, approved details and relevant British Standards. Structural Engineer to provide all required calculations, beam sizes and connection details where new structural elements are proposed. If total new glazing exceeds 25% of new floor area (excluding existing glazing removed), SAP Calculations may be required prior to Building Control approval.



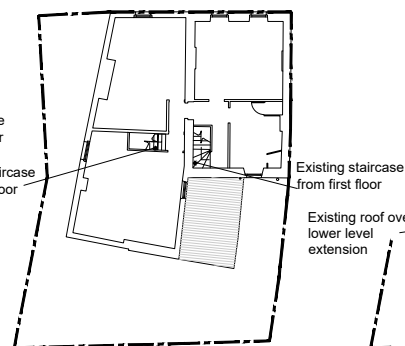
2 00_Site Plan - Existing



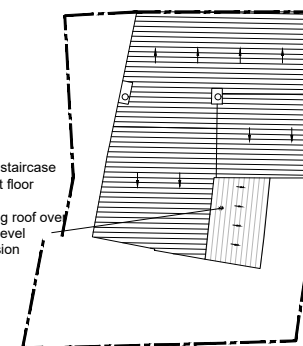
2 01_Ground Floor Plan - Existing
1 : 100



3 02_First Floor Plan - Existing
1 : 100



4 03_Second Floor Plan - Existing
1 : 100



4 04_Roof Plan Existing
1 : 100

No.	Description	Date

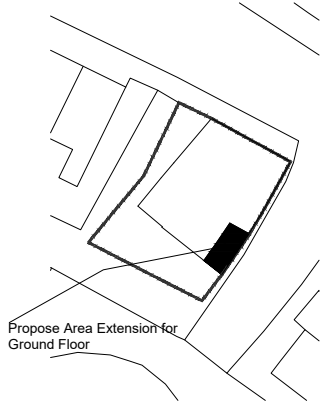
Project - Building Conversion into 4 Flats

Client Nadir Rashid
Designer - Yera Akinlade + Asqa
Date June 2026

Drawing Notes

A001

Scale As indicated



Building Regulations Statement 2010
In accordance with The Building Regulations 2010, all building works that fall within the scope of these regulations must be inspected and approved by either the Local Authority Building Control Department or an approved independent inspector registered under the Competent Person Scheme. These drawings have been prepared solely for the purpose of obtaining Building Regulation approval through either the Local Authority or an independent Building Control body. They are not intended for construction use and should not be relied upon as working drawings on site.

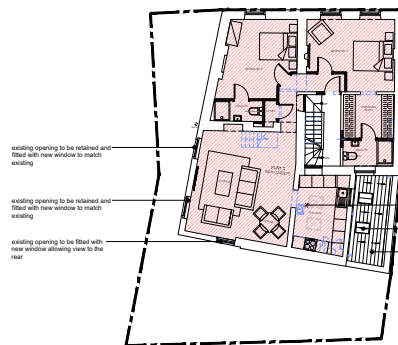


01_Ground Floor Plan - Proposed

1 : 100

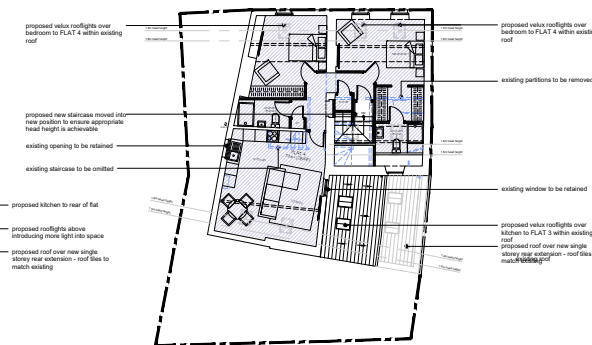
LEGEND	
	FLAT 1
	FLAT 2
	FLAT 3
	FLAT 4

BUILDING REGULATIONS SUMMARY –
Proposed conversion of existing building to form 4 Residential Flats. Minimal structural alteration; existing roof pitch "29°" retained. Nine new Skylights – installed per manufacturer's details with insulated linings and flashings. Stair access on altered on second floor to accommodate a separate residence. Dwarf walls form inaccessible eaves voids for insulation and service zones per Part L. Works to comply with Building Regulations Parts A, B, C, F, K, L & P, with daylight and ventilation provided via rooflights and existing east window. Structural Engineer to confirm adequacy of existing structure for new loads and openings



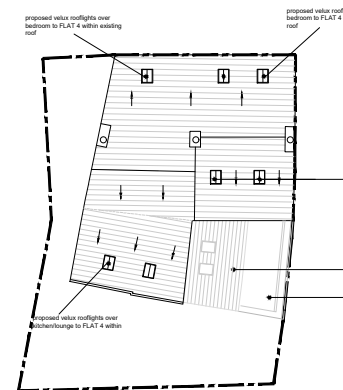
02_First Floor Plan - Proposed

1 : 100



03_Second Floor Plan - Proposed

1 : 100



04_Roof Plan Proposed

1 : 100

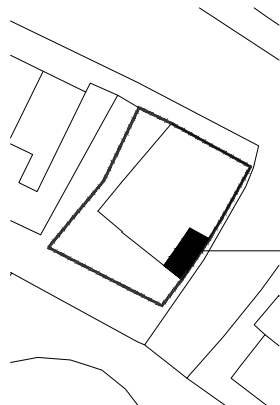
No.	Description	Date

Project - Building Conversion into 4 Flats

Client Nadir Rashid
Designer - Yera Akinlade + Asqa
Date June 2026
Drawing Notes

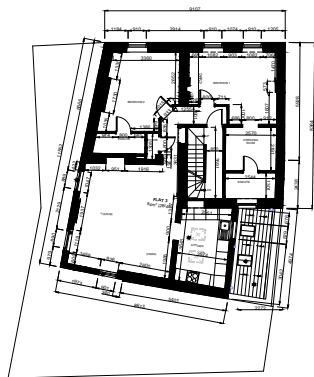
A002

Scale As indicated



Propose Area Extension for Ground Floor

2 00_Site Plan - Proposed



3 03_Dimension Plan--
Second Floor Plan
1 : 100

BUILDING REGULATIONS SUMMARY –
Proposed conversion of existing building to form 4 Residential Flats. Minimal structural alteration; existing roof pitch "29°" retained. Nine new Skylights – installed per manufacturer's details with insulated linings and flashings. Stair access on altered on second floor to accommodate a separate residence. Dwarf walls form inaccessible eaves voids for insulation and service zones per Part L.

All works to comply with the relevant provisions of:

- Part A - Structure
- Part B - Fire Safety (means of escape via stairwell)
- Part C - Moisture Resistance
- Part F - Ventilation
- Part K - Protection from Falling / Stair Design
- Part L - Conservation of Fuel and Power
- Part P - Electrical Safety

Natural daylight and ventilation will be provided via the new rooflights and the existing east-facing window, ensuring adequate internal environment and compliance with Building Regulations

Rooflights & roof structure: NINE new rooflights installed per manufacturer's details with approved flashings and insulated linings.

Ventilation (ad f): rooflights and windows to provide background and purge ventilation equivalent to 1/20 floor area min.

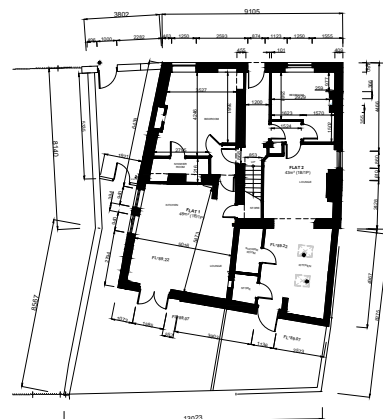
Acoustic performance (ad e): floor and partitions to achieve min 40 db sound reduction. Floor to include resilient layer and mineral insulation between joists.

Electrical safety (AD P): all electrical installation to bs 7671 iet wiring regs. New circuits to be certified by competent person.

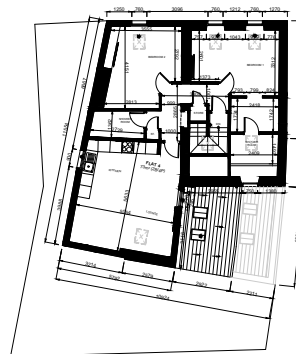
Sanitary and water efficiency (ad g): ensuite to include low-flow wc, washbasin and shower with insulated pipework and approved traps.

Light & ventilation: daylight to main room from rooflights and existing east window ensuring compliance with AD F AND AD L.

Materials & workmanship (AD 7): All works to comply with relevant BS and Eurocode standards and be carried out by competent persons



2 01_Dimension Plan--
Ground Floor Plan
1 : 100



4 04_Dimension Plan--
Second Floor Plan
1 : 100

No.	Description	Date

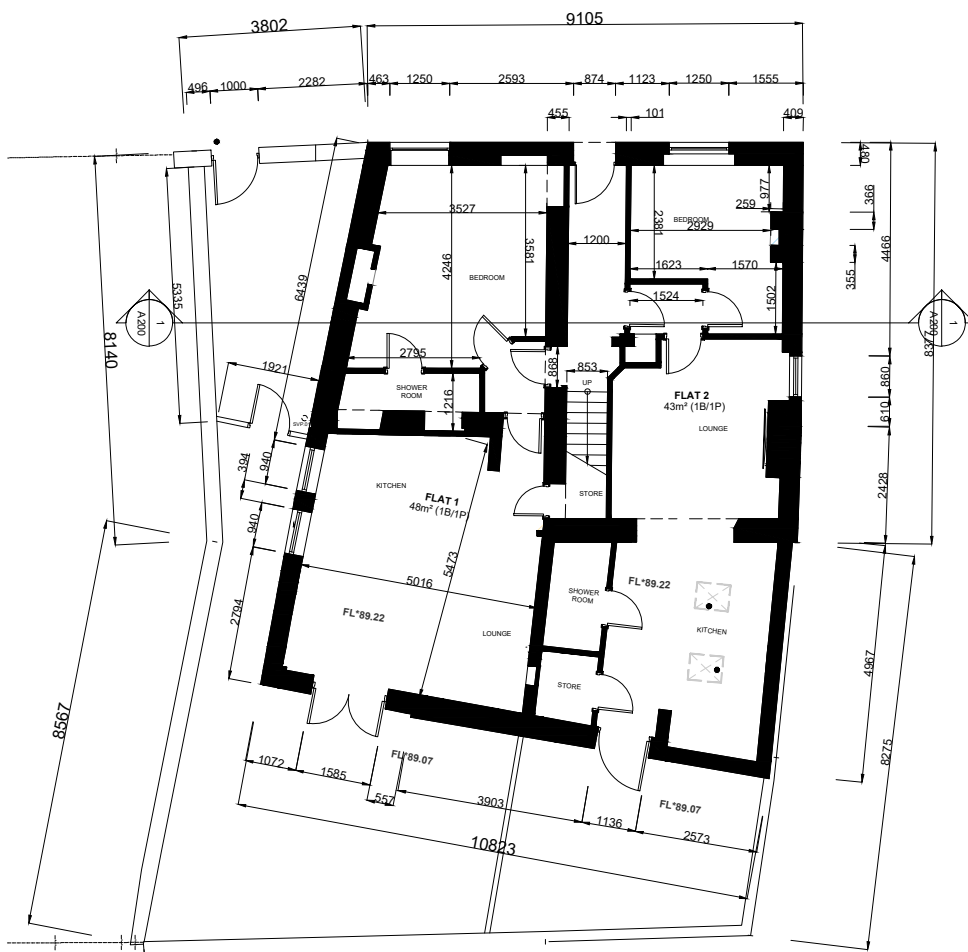
Project - Building Conversion into 4 Flats

Client Nadir Rashid
Designer - Yera Akinlade + Asqa
Date June 2026

Drawing Notes

A003

Scale As indicated



2

01_Dimension Plan-- Ground Floor Plan

1 : 100

Project - Building Conversion
into 4 Flats

Client Nadir Rashid

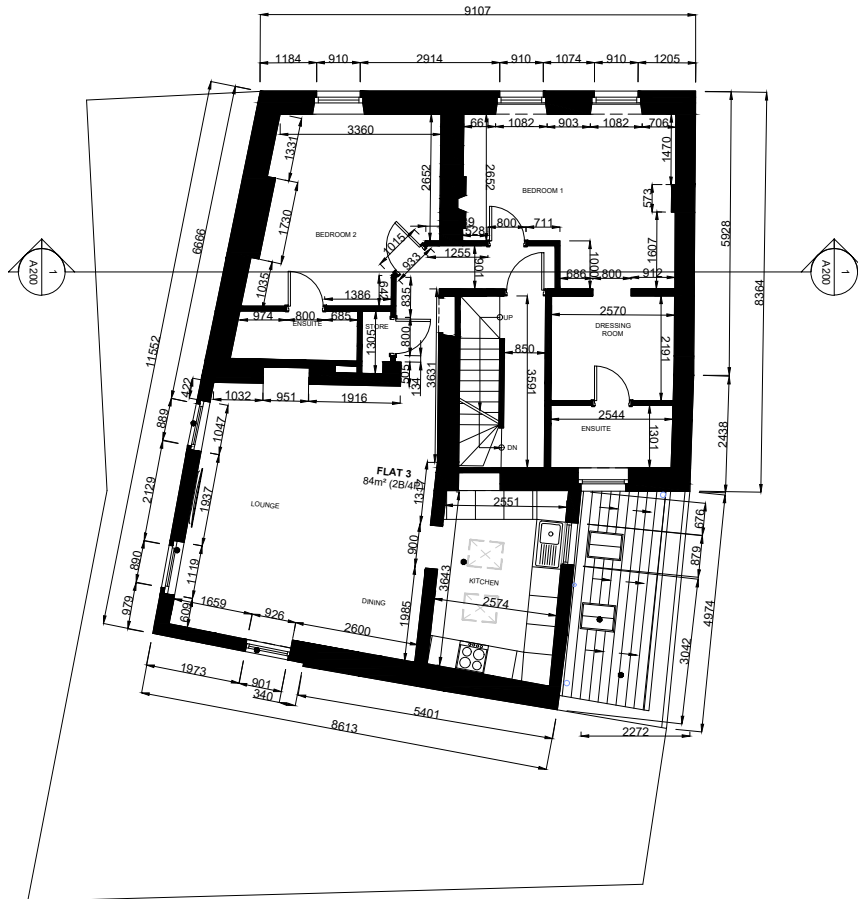
Designer - Yera Akinlade + Asqa

Date June 2026

Drawing Notes

A004

Scale



Project - Building Conversion
into 4 Flats

Client Nadir Rashid

Designer - Yera Akinlade + Asqa

Date June 2026

Drawing Notes

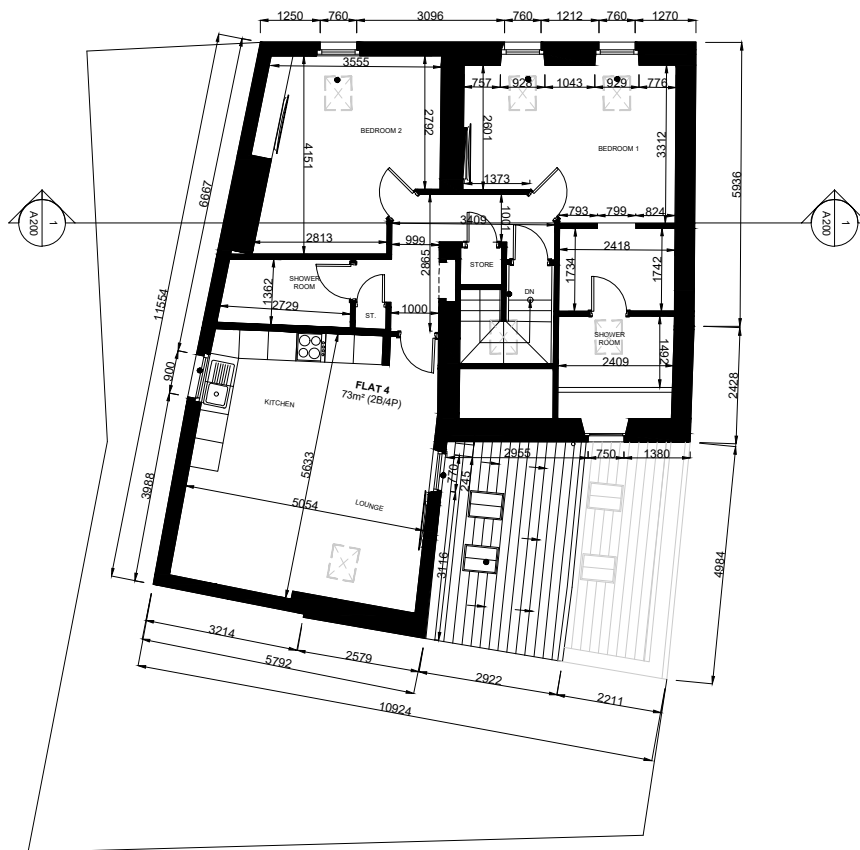
2

01_Dimension Plan-- First Floor Plan

1 : 100

A005

Scale



2

01_Dimension Plan-- Second Floor Plan

1 : 100

Project - Building Conversion
into 4 Flats

Client Nadir Rashid

Designer - Yera Akinlade + Asqa

Date June 2026

Drawing Notes

A006

Scale

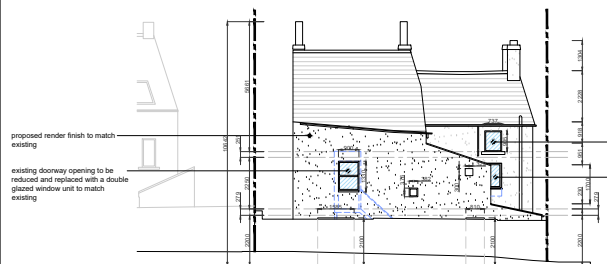


FRONTELEVATION

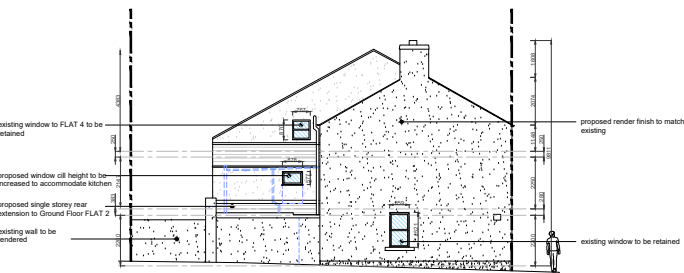
1 01_Front Elevation



2 02_Side Elevation



3 03_Rear Elevation



4 04_Side Elevation

- Legend
- 1x Data outlet
 - 2x Data outlet
 - Gas detector
 - Gas switch
 - GFI outlet
 - Shaver outlet
 - 1x outlet
 - 2x outlet
 - Power provision
 - 1x switch
 - 2x switch
 - 3x switch
 - Thermostat
 - Heat detector
 - Smoke alarm
 - OCM Carbon monoxide detector
 - VR Vertical radiator
 - Ceiling light
 - Pendant light
 - AP Internet access point
 - Security lighting
 - CCTV
 - WL Wall light

No.	Description	Date

Project - Building Conversion into 4 Flats

Client Nadir Rashid

Designer - Yera Akinlade + Asqa

Date June 2026

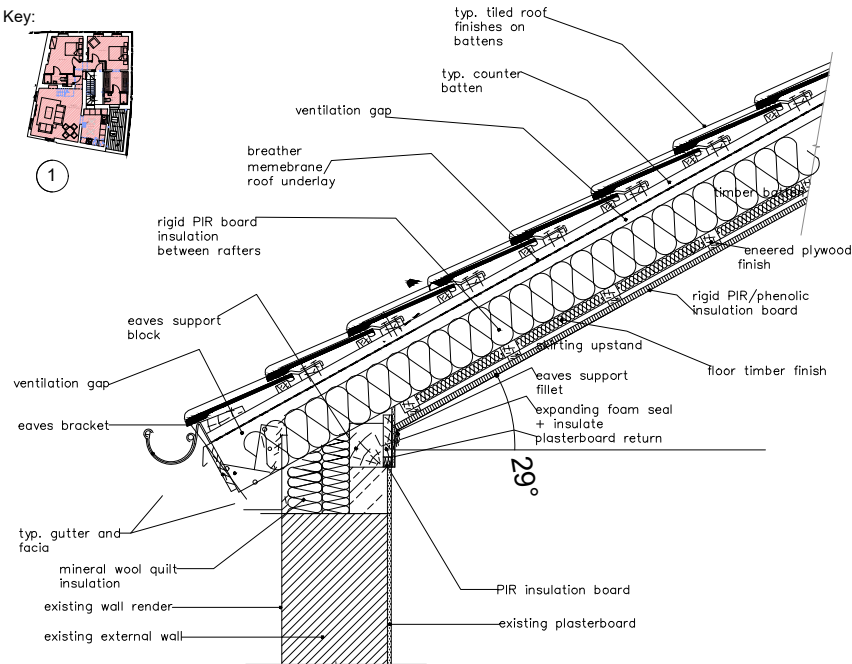
Drawing Notes

A007

Scale

As indicated

Key:



Building regulations notes

Existing roof structure retained where practicable. Roof pitch approx. 29°

existing stair is renovated on second floor and meets ad k requirements for rise, going and headroom. Ensuite located opposite stair landing with mechanical extract to AD F and waterproof finishes to AD G.

Structure (AD A): Existing joists and rafters to be assessed by structural engineer and upgraded as necessary to support new loads and rooflight openings.

New floor joists and beams to engineer's specification.

Fire safety (AD B): all new structural and loadbearing elements to achieve 30 min fire resistance.

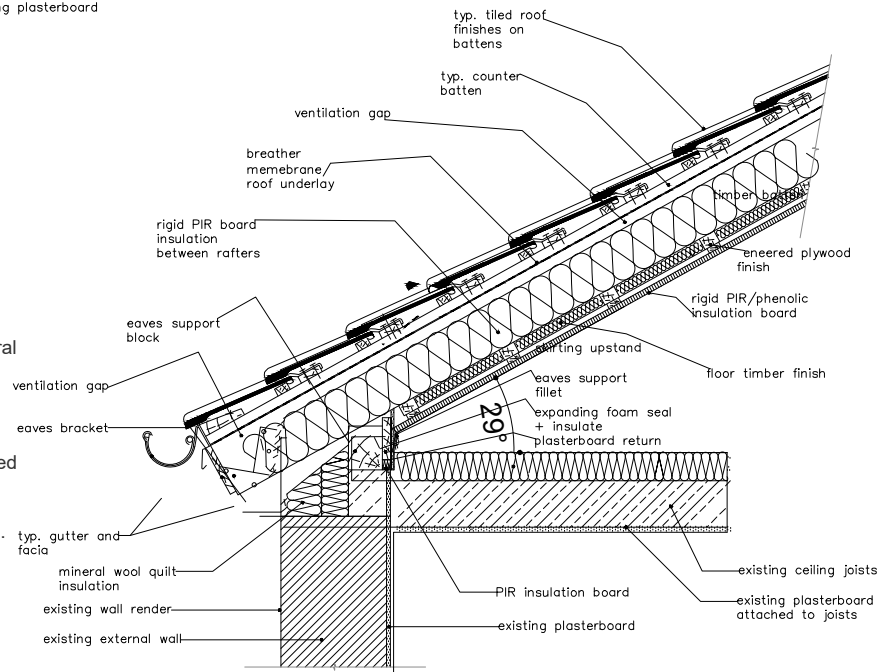
Mains-linked smoke/heat detectors to BS 5839-6 (grade D1 LD2).

Rooflights to be mechanically operated with chain actuators for controlled ventilation and smoke clearance.

Moisture & condensation (AD C): All external envelope elements to incorporate breather membrane, vapour control layer and damp-proof courses as appropriate.

Thermal performance (ad I): roof u-value $\leq 0.15 \text{ w/m}^2\text{k}$; walls $\leq 0.18 \text{ w/m}^2\text{k}$; floor $\leq 0.18 \text{ w/m}^2\text{k}$; rooflights double-glazed low-e units ($u \leq 1.4 \text{ w/m}^2\text{k}$). continuous

Insulation to eaves and void walls. Roof and wall finishes to match existing tiles and masonry for visual continuity and load compatibility.



Rooflights & roof structure: NINE new rooflights installed per manufacturer's details with approved flashings and insulated linings.

Ventilation (ad f): rooflights and windows to provide background and purge ventilation equivalent to 1/20 floor area min.

Acoustic performance (ad e): floor and partitions to achieve min 40 db sound reduction. Floor to include resilient layer and mineral insulation between joists.

Electrical safety (AD P): all electrical installation to bs 7671 iet wiring regs. New circuits to be certified by competent person.

Sanitary and water efficiency (ad g): ensuite to include low-flow wc, washbasin and shower with insulated pipework and approved traps.

Light & ventilation: daylight to main room from rooflights and existing east window ensuring compliance with AD F AND AD L.

Materials & workmanship (AD 7): All works to comply with relevant BS and Eurocode standards and be carried out by competent persons

Legend

- 1x Data outlet
- 2x Data outlet
- Gas detector
- Gas switch
- GFI outlet
- Shaver outlet
- 1x outlet
- 2x outlet
- Power provision
- 1x switch
- 2x switch
- 3x switch
- Thermostat
- Heat detector
- Smoke alarm
- OCM Carbon monoxide detector
- Vertical radiator
- Ceiling light
- Pendant light
- AP Internet access point
- Security lighting
- CCTV
- WL Wall light

No.	Description	Date

Project - Building Conversion into 4 Flats

Client Nadir Rashid

Designer - Yera Akinlade + Asqa

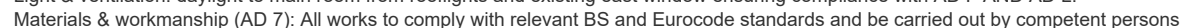
Date June 2026

Drawing Notes

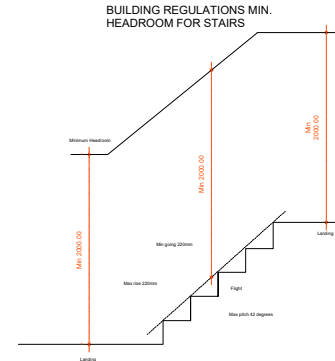
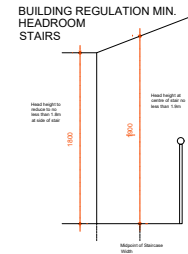
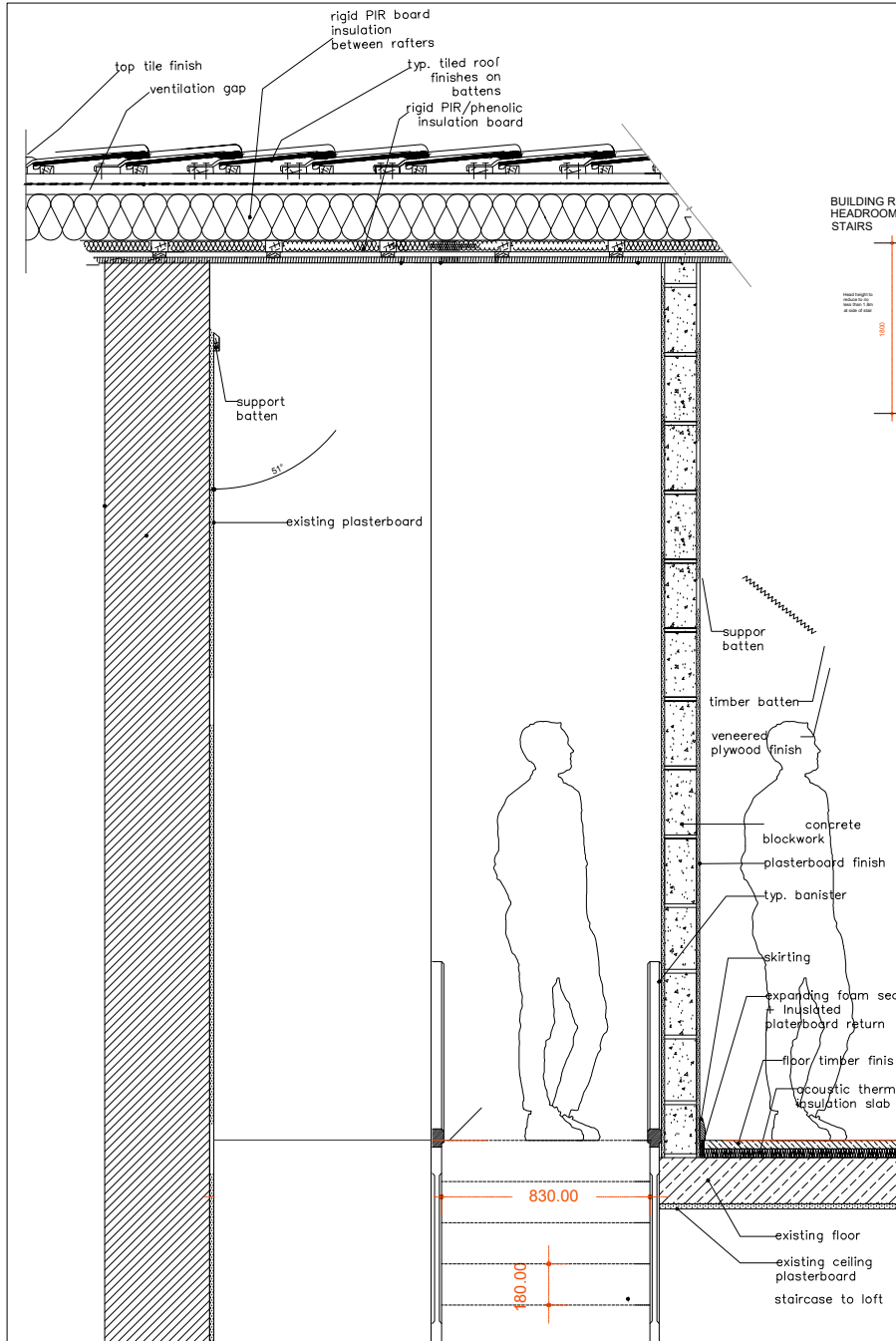
A008

Scale

As indicated



Scale	As indicated
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(5) STAIRCASE ACCESS DETAIL –

Stair width 830 mm with risers of 180 mm and goings of 220 mm, designed to achieve safe and comfortable ascent within approved document K requirements. clear headroom at entrance door measures approximately 2200 mm.

Mono-ridged roof supported on existing wall structure and formed using universal angled monoridge tile fixed over ventilated ridge roll set between ridge tile and ventilated ridge board. Midge board caps roof construction of rafters with rigid pir insulation between, maintaining a continuous 50 mm ventilation gap and breather membrane beneath tiling battens. Roof tiles fixed down from the apex below the monoridge tile to match existing roof covering. on the internal face, the roof build-up continues as before with rigid pir/phenolic insulation board, timber batten, and veneered plywood finish. Veneered finish supported along junctions with adjacent walls using continuous support battens fixed beneath. mineral wool insulation tightly packed within void between top of existing wall and underside of rafters to ensure acoustic and thermal continuity.

Staircase enclosure separated from adjacent bedroom passage by concrete upstanding wall finished with plasterboard both sides. Wall may alternatively be constructed as an insulated timber stud wall, subject to structural engineer's approval regarding load requirements. Staircase fitted with banisters fixed to both existing and proposed internal walls, and skirting and floor finishes to match the previously described eaves floor build-up (including acoustic insulation and timber floor decking).

All works to maintain continuity of thermal, air, and vapor control layers, ensure structural stability, and comply with relevant parts of approved documents A, K, L, and M

Legend

- 1x Data outlet
- 2x Data outlet
- Gas detector
- Gas switch
- GFI outlet
- Shower outlet
- 1x outlet
- 2x outlet
- Power provision
- 1x switch
- 2x switch
- 3x switch
- Thermostat
- Heat detector
- Smoke alarm
- Carbon monoxide detector
- Vertical radiator
- Ceiling light
- Pendant light
- Internet access point
- Security lighting
- CCTV
- Wall light

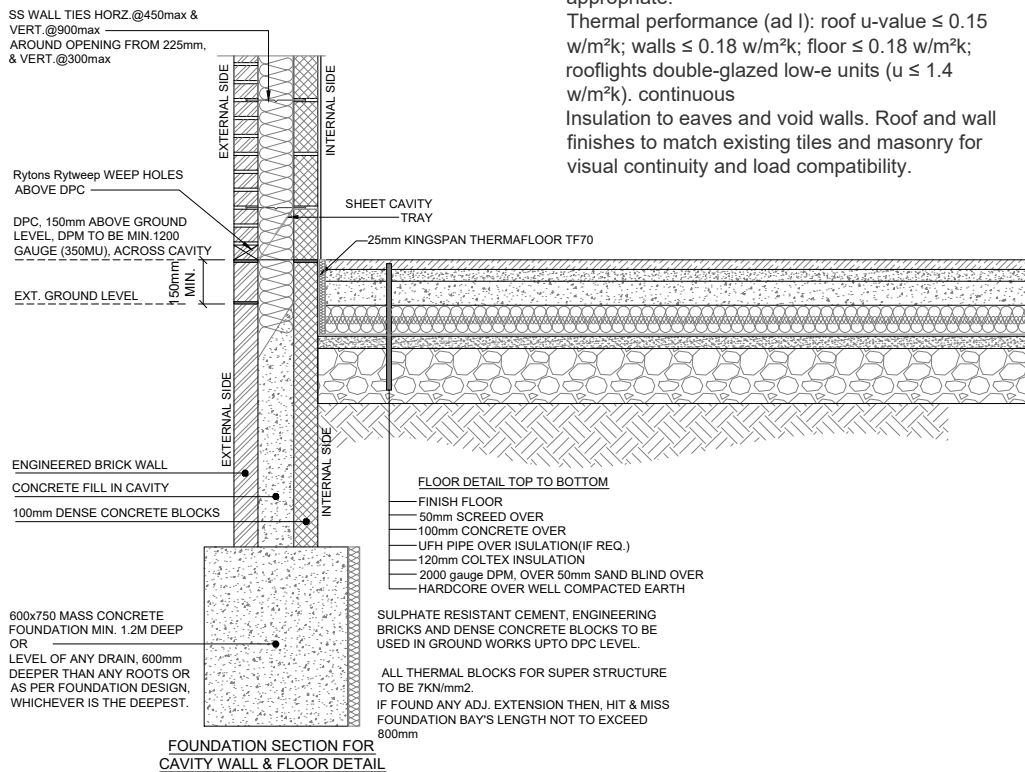
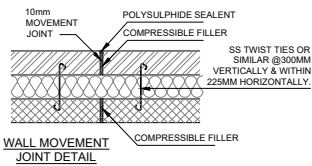
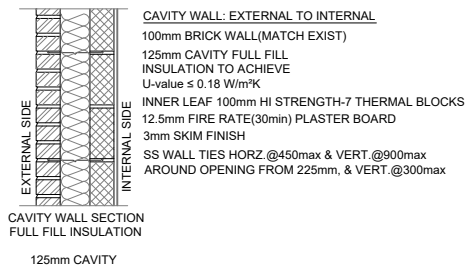
No.	Description	Date

Project - Building Conversion into 4 Flats

Client Nadir Rashid
 Designer - Yera Akinlade + Asqa
 Date June 2026
 Drawing Notes

A010

Scale As indicated



Building regulations notes
 Existing roof structure retained where practicable.
 Roof pitch approx. 29°
 existing stair is renovated on second floor and meets ad k requirements for rise, going and headroom. Ensuite located opposite stair landing with mechanical extract to AD F and waterproof finishes to AD G.
 Structure (AD A): Existing joists and rafters to be assessed by structural engineer and upgraded as necessary to support new loads and rooflight openings.
 New floor joists and beams to engineer's specification.
 Fire safety (AD B): all new structural and loadbearing elements to achieve 30 min fire resistance.
 Mains-linked smoke/heat detectors to BS 5839-6 (grade D1 LD2).
 Rooflights to be mechanically operated with chain actuators for controlled ventilation and smoke clearance.
 Moisture & condensation (AD C): All external envelope elements to incorporate breather membrane, vapour control layer and damp-proof courses as appropriate.
 Thermal performance (ad I): roof u-value $\leq 0.15 \text{ w/m}^2\text{k}$; walls $\leq 0.18 \text{ w/m}^2\text{k}$; floor $\leq 0.18 \text{ w/m}^2\text{k}$; rooflights double-glazed low-e units ($u \leq 1.4 \text{ w/m}^2\text{k}$). continuous
 Insulation to eaves and void walls. Roof and wall finishes to match existing tiles and masonry for visual continuity and load compatibility.

Project - Building Conversion into 4 Flats

Client Nadir Rashid

Designer - Yera Akinlade + Asqa

Date June 2026

Drawing Notes

1

01_Wall & Foundation Detils

A011

Scale



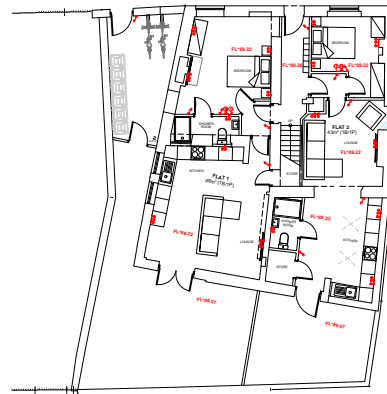
1 01_Ground Floor Reflected Ceiling Plan



2 01_First Floor Reflected Ceiling Plan

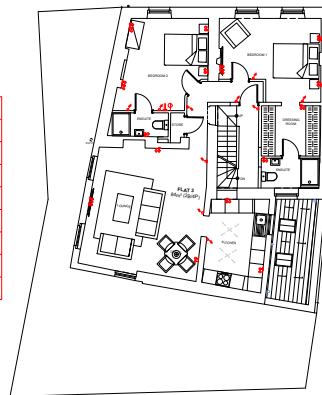


3 01_Second Floor Reflected Ceiling Plan



4 01_Ground Floor Electrical Plan

LEGEND	
	1x outlet
	2x outlet
	1x switch
	2x switch
	3x switch
	Wires
	Supply Line
	Main DB



5 01_First Floor Electrical Plan



6 01_Second Floor Electrical Plan

Legend	
	1x Data outlet
	2x Data outlet
	Gas detector
	Gas switch
	GFI outlet
	Shaver outlet
	1x outlet
	2x outlet
	Power provision
	1x switch
	2x switch
	3x switch
	Thermostat
	Heat detector
	Smoke alarm
	Carbon monoxide detector
	Vertical radiator
	Ceiling light
	Pendant light
	AP Internet access point
	Security lighting
	CCTV
	Wall light

No.	Description	Date

Project - Building Conversion into 4 Flats

Client Nadir Rashid

Designer - Yera Akinlade + Asqa

Date June 2026

Drawing Notes

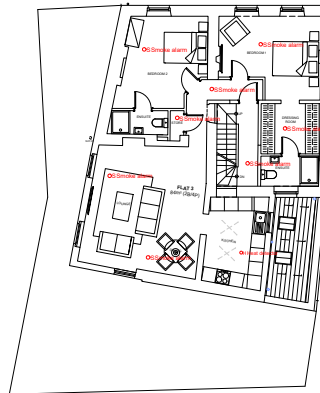
A012

Scale

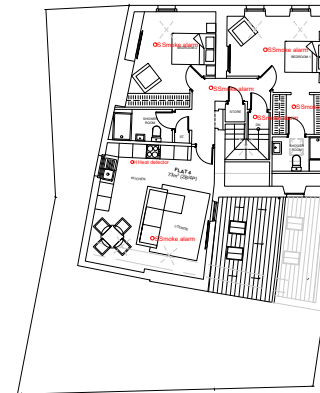
As indicated



1 01_Ground Floor Fire Safety Plan



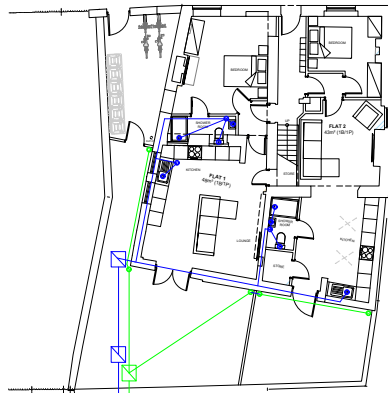
2 01_First Floor Fire Safety Plan



3 01_Second Floor Fire Safety Plan

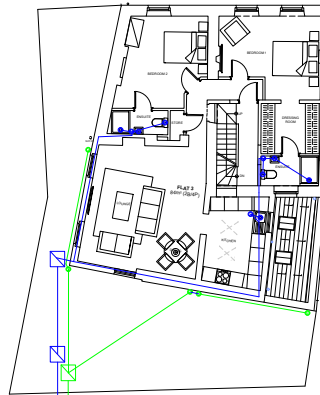
- Legend
- 1x Data outlet
 - 2x Data outlet
 - Gas detector
 - Gas switch
 - GFI outlet
 - Shower outlet
 - 1x outlet
 - 2x outlet
 - Power provision
 - 1x switch
 - 2x switch
 - 3x switch
 - Thermostat
 - Heat detector
 - Smoke alarm
 - OCM Carbon monoxide detector
 - VR Vertical radiator
 - Ceiling light
 - Pendant light
 - AP Internet access point
 - Security lighting
 - CCTV
 - WL Wall light

No.	Description	Date



4 01_Ground Floor Plumbing Plan

- LEGEND
- Drainage Line
 - Rainwater
 - Main hole



5 01_First Floor Plumbing Plan



6 01_Second Floor Plumbing Plan

Project - Building Conversion into 4 Flats

Client Nadir Rashid

Designer - Yera Akinlade + Asqa

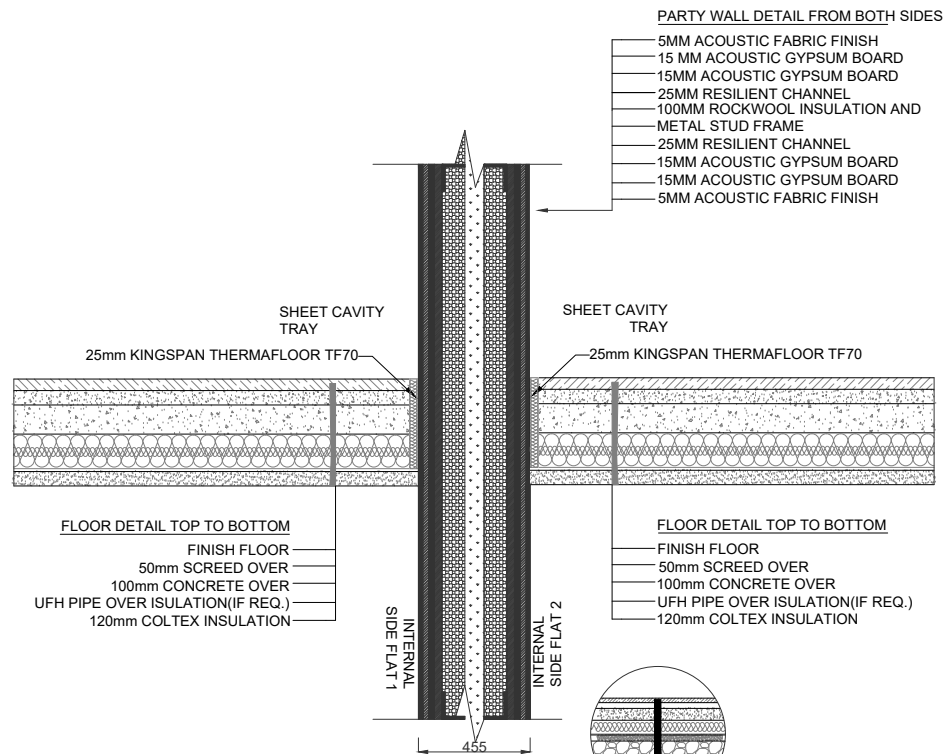
Date June 2026

Drawing Notes

A013

Scale

As indicated



2 PARTY WALL SECTION DETAIL

Project number

Date

Drawn by

Checked by

A014

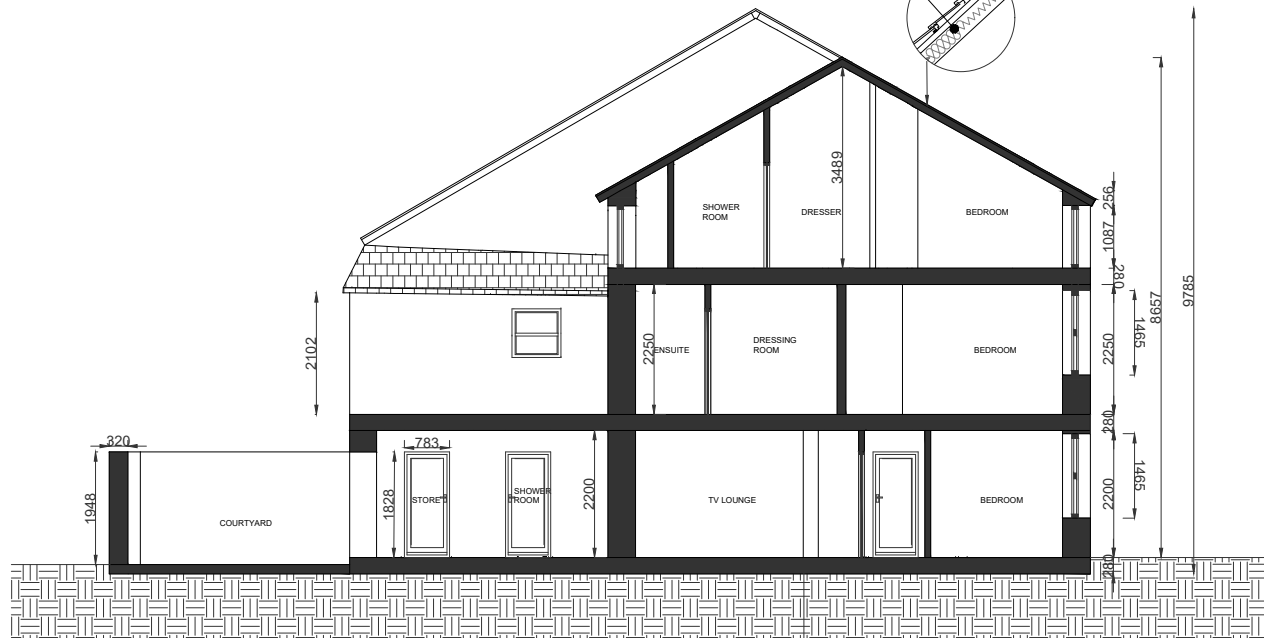
Scale

ALL RAFTERS & CEILING JOISTS, LID TOGETHER USING MILD STEEL STRAPS. & BOLTED TOGETHER.

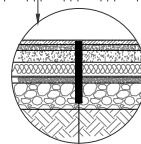
TILES (SUITABLE FOR LOW PITCH UNLESS SLOPE IS MORE THEN 12 DEGREE) OVER 38X25 BATTENS OVER BREATHABLE MEMBRANE OVER 50X200/C24@300 c/c RAFTERS.

140MM KINGSPAN THERMAPITCH TP10 INSULATION 150MM BETWEEN THE RAFTERS WITH 50MM AIR GAP ABOVE THE INSULATION AND 40MM ACROSS UNDER THE JOISTS.

U VALUE MAXIMUM - 0.15W/M2K.



1 01_Section AA'
1 : 100



- FINISH FLOOR
- 50mm SCREED OVER
- 100mm CONCRETE OVER
- UFH PIPE OVER INSULATION(IF REQ.)
- 120mm COLTEX INSULATION
- DPM OVER 50mm, SAND BLIND OVE
- hardcore OVER WELL COMPACTED

Project number

Date

Drawn by

Checked by

A015

Scale



LEGEND	
	1x outlet
	2x outlet
	1x switch
	2x switch
	3x switch
	Wires
	Supply Line
	Main DB



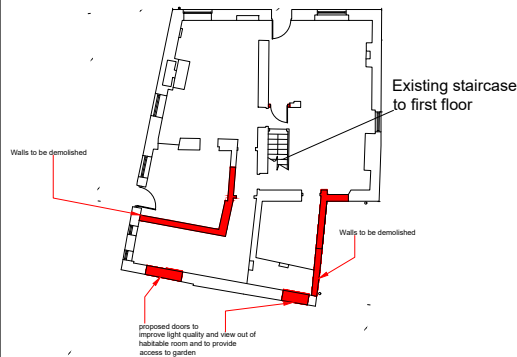
1 01_Ground Floor Electric Plan

2 01_First Floor Electric Plan

3 01_Second Floor Electric Plan

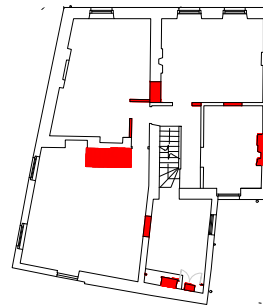
Legend	
	1x Data outlet
	2x Data outlet
	Gas detector
	Gas switch
	GFI outlet
	Shower outlet
	1x outlet
	2x outlet
	Power provision
	1x switch
	2x switch
	3x switch
	Thermostat
	Heat detector
	Smoke alarm
	Carbon monoxide detector
	Vertical radiator
	Ceiling light
	Pendant light
	AP Internet access point
	Security lighting
	CCTV
	Wall light

No.	Description	Date

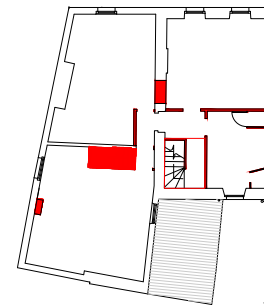


01_Ground Floor Demolition Plan

Sections to be Demolition



02_First Floor Demolition Plan



03_Third Floor Demolition Plan

Project - Building Conversion into 4 Flats

Client Nadir Rashid

Designer - Yera Akinlade + Asqa

Date June 2026

Drawing Notes

A016

Scale

As indicated