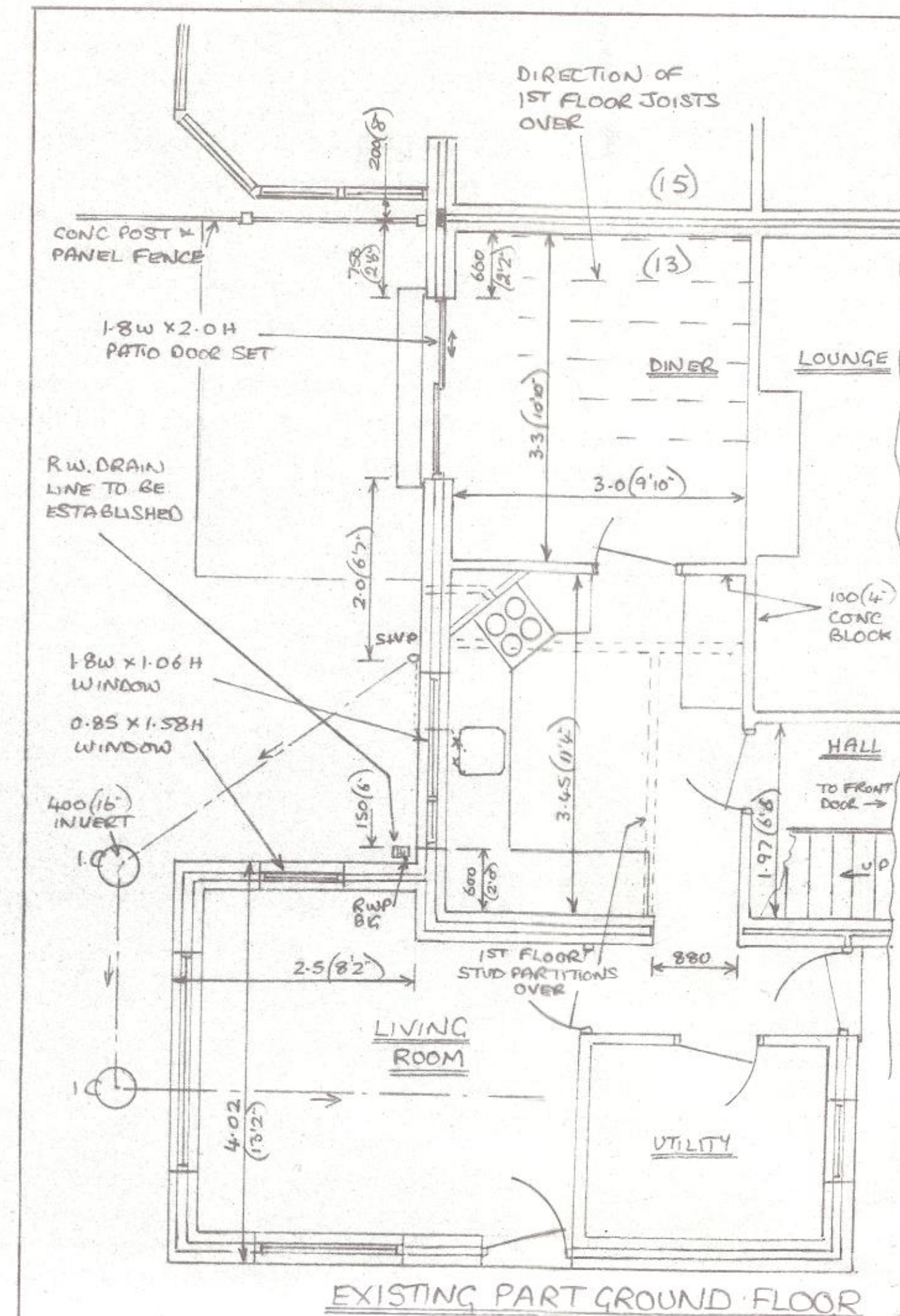
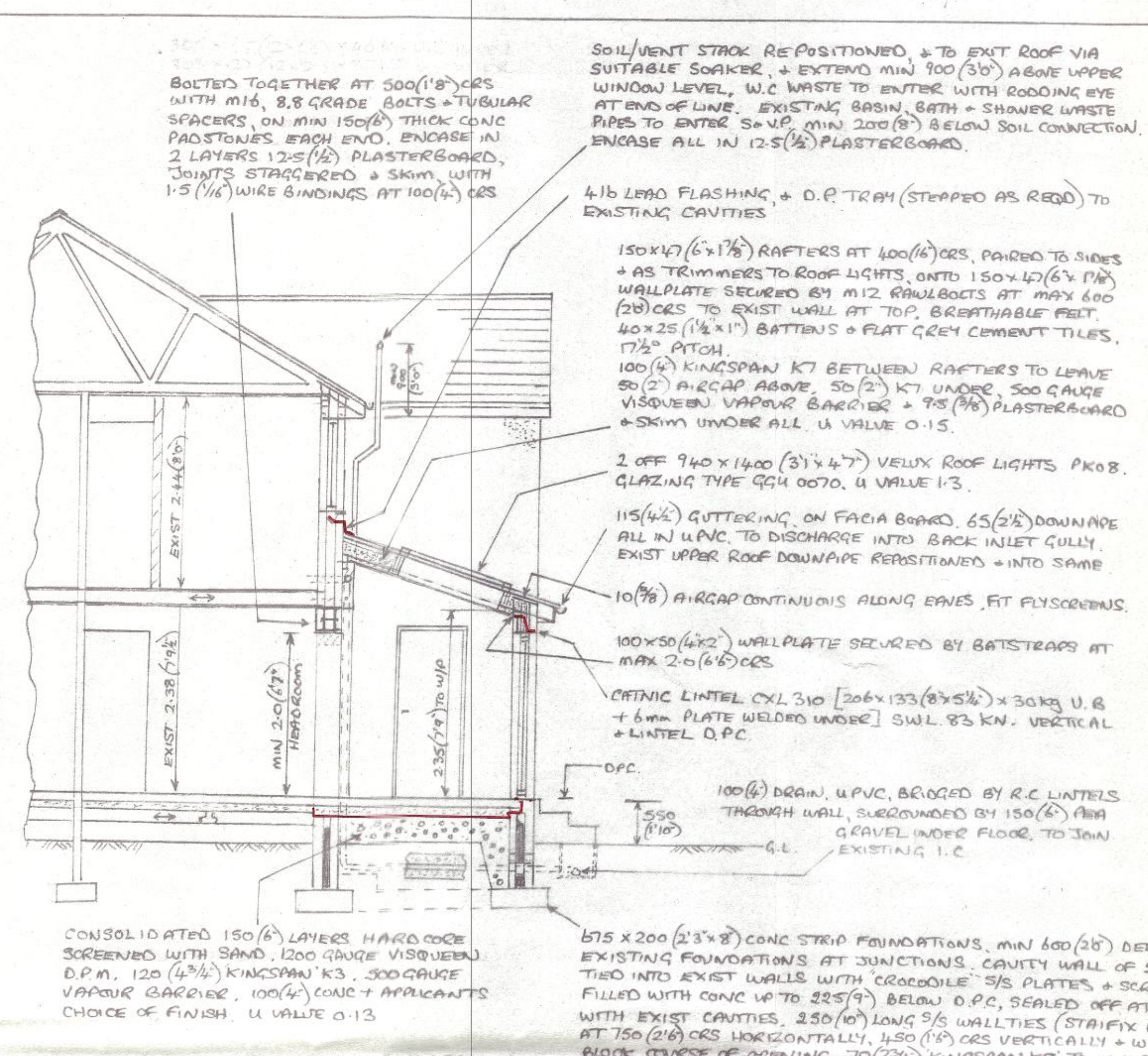


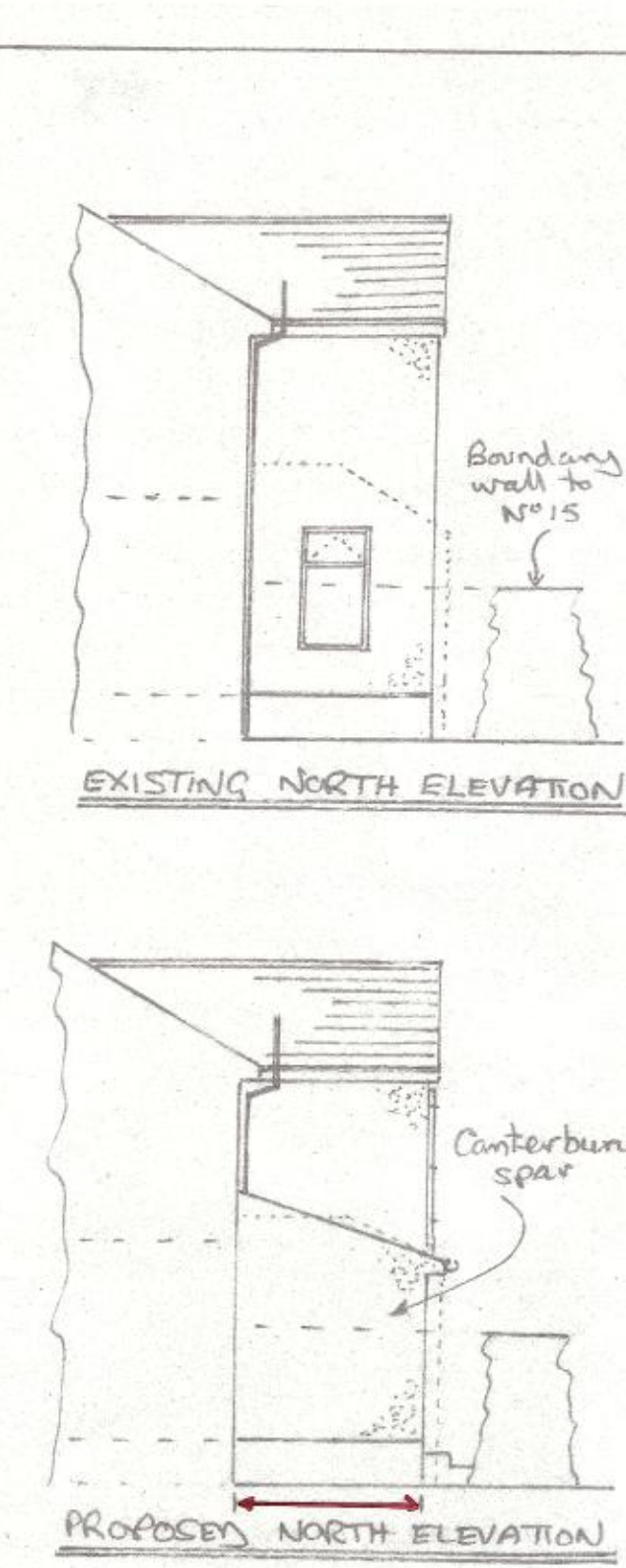


EXISTING PART GROUND FLOOR



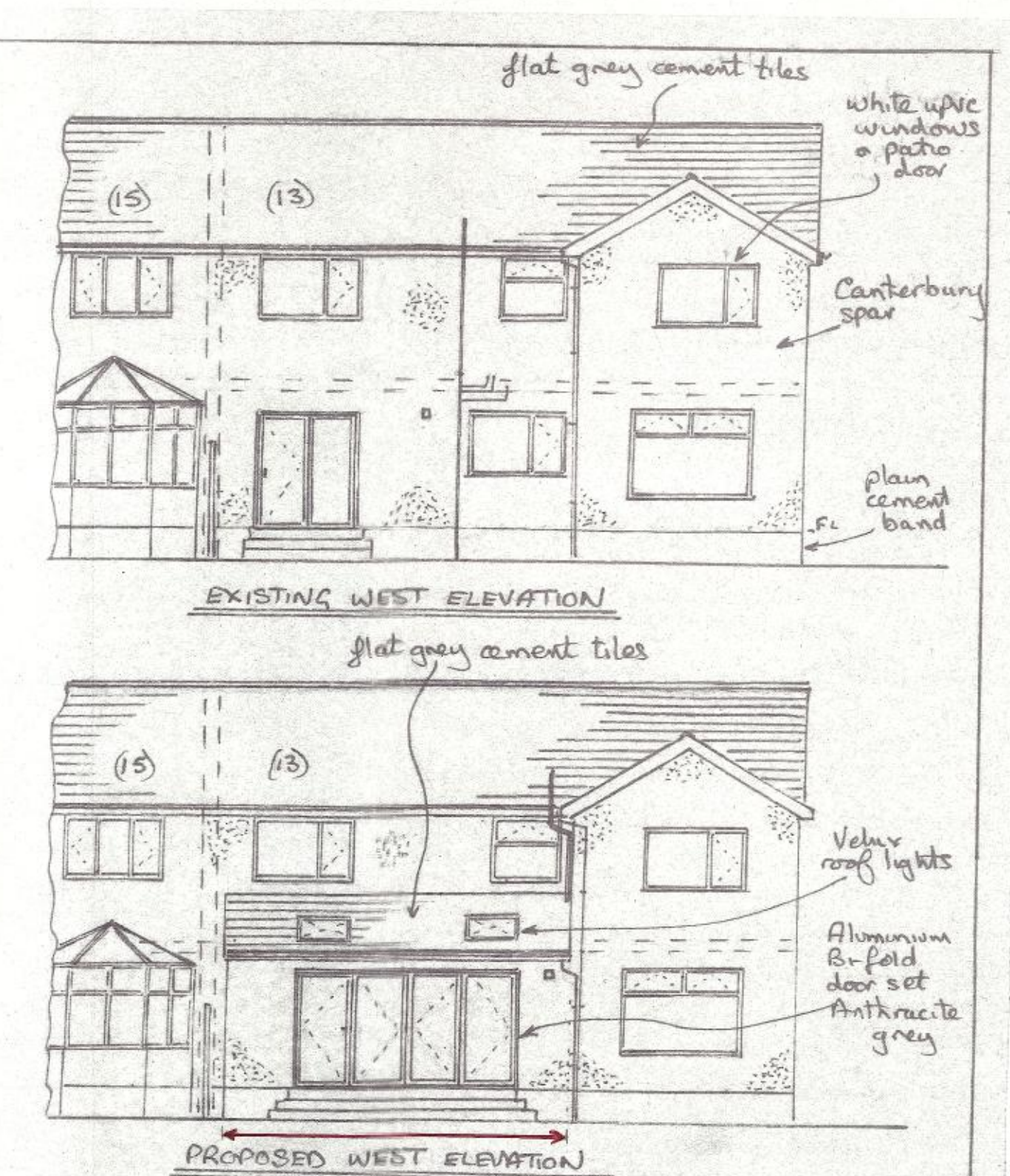
SCALE 1:50

SECTION AA



EXISTING NORTH ELEVATION

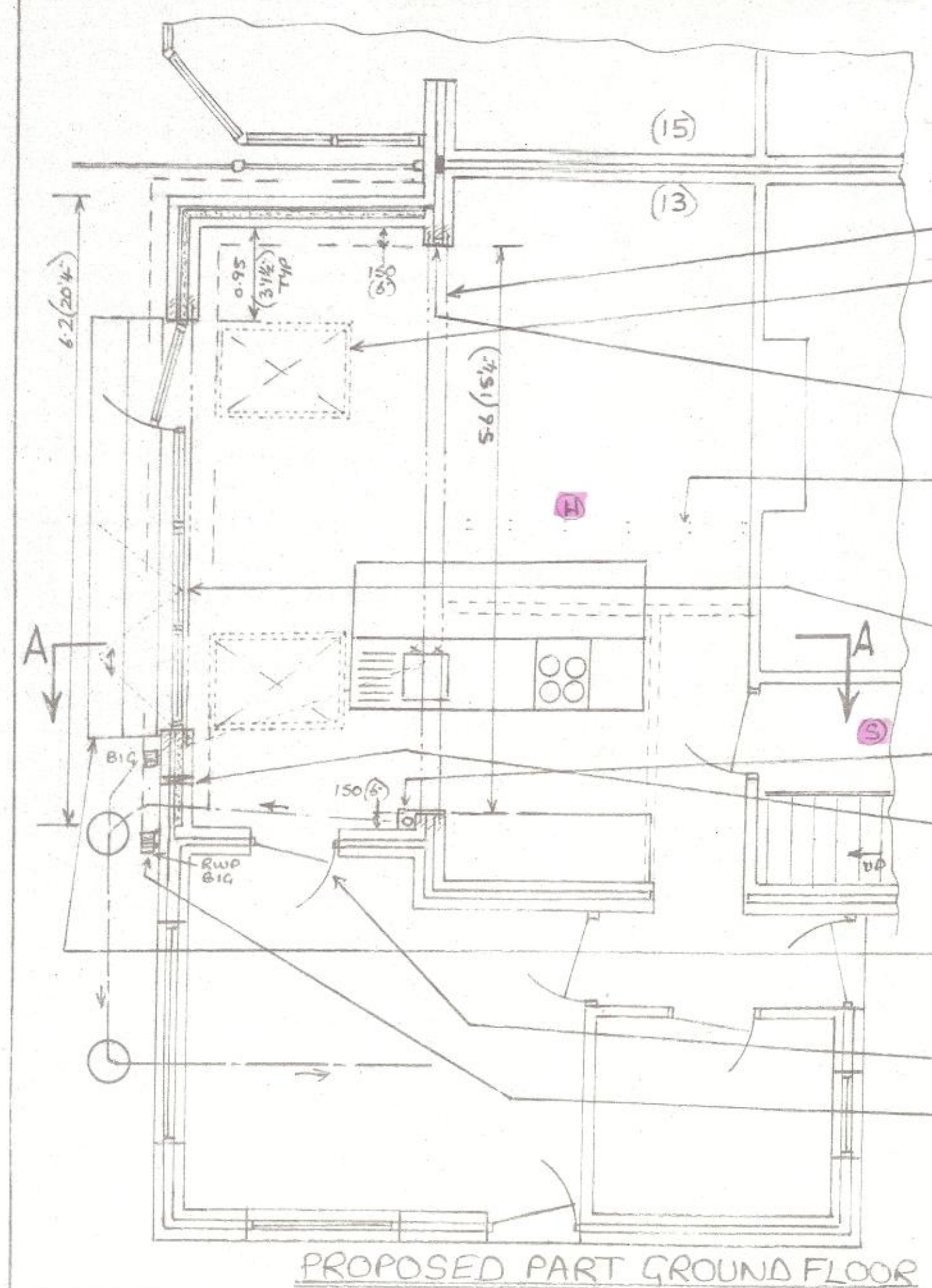
PROPOSED NORTH ELEVATION



EXISTING WEST ELEVATION

PROPOSED WEST ELEVATION

SCALE 1:100



PROPOSED PART GROUND FLOOR

305x165(12x6 1/2)x4x4x15 U.B. INNER, 305x127(12x5)x2x14x18 OUTER [70 GIVE 212 TOTAL WIDTH] BOLTED TOGETHER + WITH TUBULAR SPACERS, ON 150(6) THICK CONC PADSTONES

2 OFF 940x1400(31x47) VELUX ROOF LIGHTS PK08, GLAZING TYPE GGU 0070 U VALUE 1.3

NON COMBUSTIBLE CAVITY CLOSERS

REMOVE NON LOAD BEARING 100(4) CONC BLOCK WALL ALONG WITH OUTER CAVITY WALL BETWEEN DOOR + WINDOW

4.0x2.1(13 1/2x6 1/2) BI-FOLD DOOR SET, ALUM FRAME DOUBLE GLAZED - U VALUE 1.6 (TRIPLE GLAZED - U VALUE 1.3)

SOIL/VENT STACK, ENCASED IN PLASTERBOARD

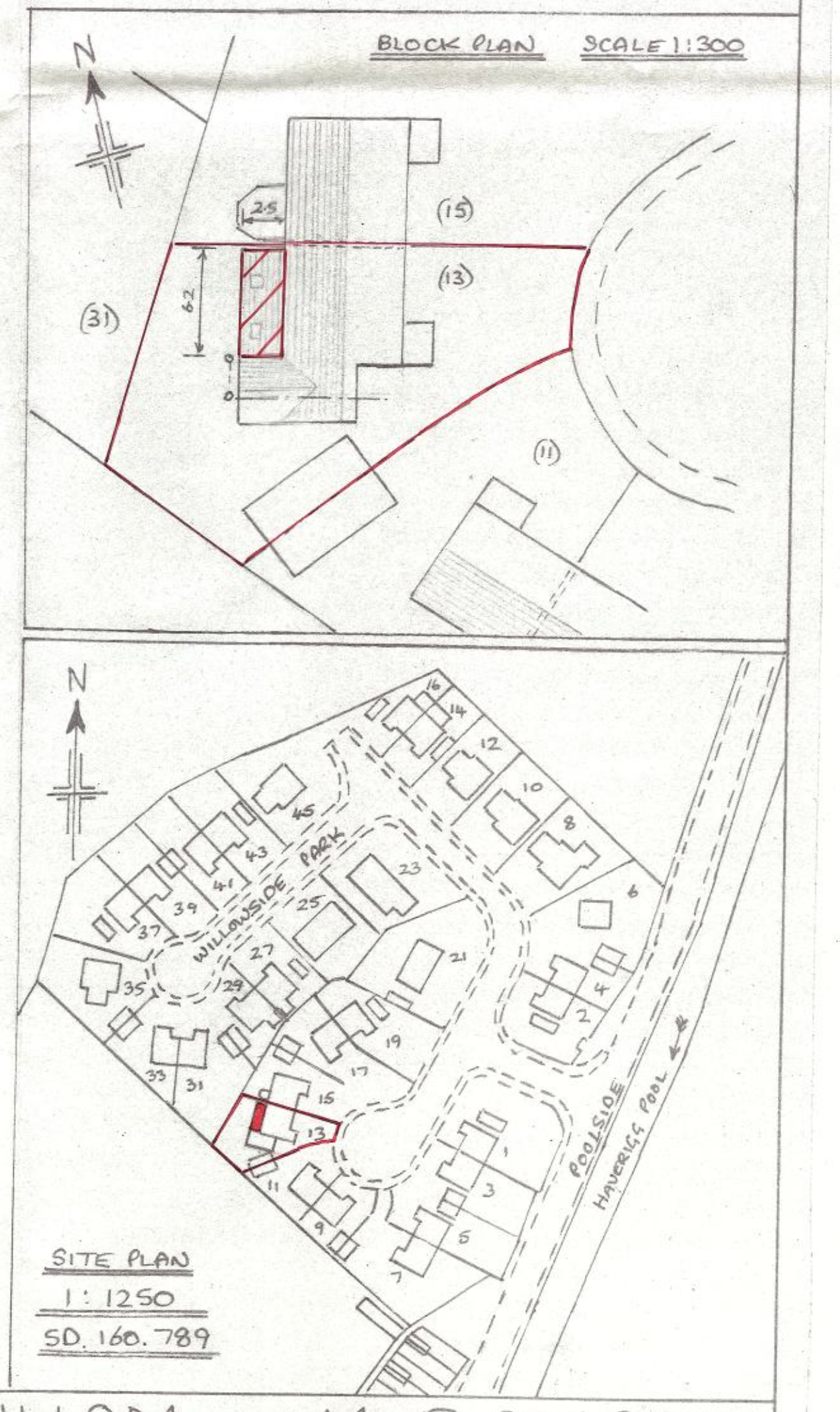
60 LITRE/SEC EXT N FAN

3 EQUAL RISE STEPS OF 183(7.27) MIN GOINGS OF 305(12)

EXTEND WINDOW OPENING DOWN + INSTALL DOOR

R.W. DRAIN LINE TO BE ESTABLISHED

- 1) ROOF COVERING TO BE FLAT GREY CEMENT TILES TO MATCH EXISTING.
- 2) EXTERNAL WALL FINISH TO BE CANTERBURY SPAR TO MATCH EXISTING.
- 3) BI-FOLD DOORS TO BE ALUMINIUM FRAME, ANTHRACITE GREY.
- 4) ALL TIMBERWORK TO BE TREATED WITH A PRESERVATIVE.
- 5) DOORS, WINDOWS + ROOFLIGHTS TO BE DRAUGHT SEALED, + FRAMES SEALED INTO WALLS/ROOF WITH MASTIC, + BE OF 'SECURE' DESIGN TO BS PAS 24: 2012, OR EQUIVALENT.
- 6) CAVITIES AROUND OPENINGS, INCLUDING LINTELS, TO BE INSULATED TO PREVENT COLD BRIDGING, + CLOSED WITH 1/2 HOLE FLEE RESISTANT MATERIAL.
- 7) ALL ELECTRICAL SWITCHES + SOCKETS TO BE LOCATED BETWEEN 450 + 1200 (1'6" - 3'11") ABOVE FLOOR, + WIRED TOP-DOWN.
- 8) ALL ELECTRICAL WORK TO BE DESIGNED, INSTALLED, INSPECTED + TESTED IN ACCORDANCE WITH BS 7671 (IEE WIRING REGS - LATEST EDITION) + WORK UNDERTAKEN BY AN INSTALLER REGISTERED UNDER SUITABLE 'ELECTRICAL SELF CERTIFICATE SCHEME' OR QUALIFIED PERSON SUPPLYING A CERTIFICATE OF COMPLIANCE TO 'BUILDING CONTROL' UPON COMPLETION.
- 9) PROVIDE INTERNAL LIGHT FITTINGS CAPABLE OF TAKING 'EFFICIENT LAMPS', MIN 40 LUMENS PER CIRCUIT WATT.
- 10) EXTERNAL LIGHTS TO BE EITHER 'EFFICIENT' AS ABOVE, OR ON A TIMER + AUTOMATICALLY EXTINGUISHED IN DAYLIGHT.
- 11) ALL GLASS IN DOORS TO BE TOUGHENED/LAMINATED TO BS 6206 (1981).
- 12) ALL DRAINAGE TO BE TO THE SATISFACTION OF LOCAL AUTHORITY, EXISTING SEPARATE FOUL + S.W. SEWERS SERVE.
- 13) ENLARGED KITCHEN/DINER TO HAVE OPENING DOORS/ROOFLIGHTS EQUAL TO AT LEAST 1/20 TOTAL FLOOR AREA, + 8000mm² (13.1m²) TRICKLE VENTILATION.
- 14) KITCHEN AREA TO ALSO INCLUDE 60 LITRE/SEC CAPACITY EXTRACTION FAN (30 LITRE/SEC IF COOKER HOOD).
- 15) DRYLINING BOARDS TO HAVE JOINTS + EDGES TAPE SEALED, ALL ELECTRICAL BACKBOXES, CONDUITS ETC TO BE SEALED WITH MASTIC/FOAM TO MAINTAIN AIRTIGHTNESS.
- 16) SPACE HEATING TO BE PROVIDED BY EXISTING MAINS GAS COMBI BOILER + EXISTING RADIATOR SYSTEM EXTENDED.
- 17) CONSERVATION OF ENERGY DETAILS:
 U VALUE OF FLOOR ... 0.13, U VALUE OF WALLS ... 0.26, U VALUE OF CEILING ... 0.15.
 INTERNAL FLOOR AREA OF EXTENSION - INCLUDING WALL THICKNESS = 15.3 m², ± 25% = 3.875 m². 10.5385 m² (MAX NEW OPENINGS AT BASIC U VALUES)
 AREA OF BI-FOLD DOOR SET, ALUMINIUM FRAME, DOUBLE GLAZED - U VALUE 1.6 (OR TRIPLE GLAZED - U VALUE 1.3) = 8.4 m²
 AREA OF ROOF LIGHTS, TIMBER FRAME, DOUBLE GLAZED (VELUX SPEC FOR GLAZING TYPE GGU0070, U VALUE 1.3) = 2.632 m²
 (SMALL EXCESS IN OPENINGS ALLOWED EASILY COMPENSATED FOR BY U VALUES OF FLOOR/WALL/CEILING) 11.032 m²
 A MAINS OPERATED FIRE DETECTION/ALARM SYSTEM TO BE INSTALLED TO BS 5839-6, 2004, GRADE D, CATEGORY LOT3, WITH SMOKE ALARMS TO BS EN14604, SHOWN (S) [HALL + 1ST FLOOR LANDING] + HEAT ALARM TO BS 5446-2, SHOWN (H) LOCATED ON CEILINGS, MIN 300(12) FROM WALLS + LIGHT FITTINGS, + WITH SENSORS BETWEEN 25 + 600(1'0" - 2'0") BELOW CEILINGS. ALL INTERCONNECTED SO ALL SOUND WITH DETECTION BY ANY ONE UNIT. MAINS SUPPLY TO BE A SINGLE INDEPENDANT CIRCUIT + DETECTORS TO HAVE A STANDBY POWER SUPPLY - EG BATTERY.
 17) FOR STEELWORK, SEE DETAILS/CALC'S SUPPLIED BY M+P QUADSEN, CONSULTING ENGINEERS LTD, THEIR JOB NO



SITE PLAN
1:1250
SD.160.789

PROPOSED EXTENSION AT 13 WILLOWSIDE PARK, HAVERIGG, MILLOM, FOR MR. R COOPER