

HYDROWAIL TRUSSES AT 400/600 (1'4"2/5) CRS, INCLUDING REDUCTION TRUSSES IN WAY OF ORIGINAL HIP SECTION (ONTO BICO-MONTEO 75x50 (3'4"2) BOLTED TO STEEL RAFTERS) DIAGONALLY + LATERALLY BRACED TO BS 5262 PART 3, + VERTICALLY STRAPPED TO WALLPLATES, BREATHABLE FELT, 40x25 (1'4"x1") BATTENS, + REDLAND 4'9" GREY CEMENT TILES TO MATCH EXISTING, 35° ATCH (CONFIRM ON SITE)

5/8 BATSTRAP RESTRAINTS AT MAX 2'0 (6'8) CRS TO 1ST FLOOR, UPPER CEILING + GABLE

10 (1/8) AIRCAP, CONTINUOUS ALONG EAVES, FIT FLYSCREENS

100x50 (4'2") WALLPLATES, SECURED BY BAT-STRAPS AT MAX 2'0 (6'6) CRS (TYP)

VENT STACKS TO EXTEND MIN 9'00 (3'0) ABOVE UPPER WINDOW LEVEL

150 (6) DEEP R.C. LINTELS TO ALL OPENINGS UP TO 1'82 (2'0) VERTICAL + LINTEL D.P.C. TO EXTERNAL OPENINGS 225 (9) DEEP LINTELS UP TO 2'4 (2'0) OPENINGS

ENSURE INSULATION CONTINUOUS AT JUNCTIONS OF ROOF, WALLS + FLOORS

D.P. COURSES AT FLOOR LEVEL

DRAINAGE DETAILS ON "PROPOSED GROUND FLOOR PLAN", SHT 1

530x150 (1'11"x6") CONE STRIP FOUNDATIONS FOR 225 (9) CONE BLOCK WALLS, MIN 6'00 (2'0) DEEP

675 x 225 (2'3" x 9") CONE STRIP FOUNDATIONS, MIN 6'00 (2'0) DEEP, TO STEP ONTO EXISTING FOUNDATIONS AT JUNCTIONS. ANY STEPS IN FOUNDATIONS TO BE MAX 225 (9) RISES + MIN 4'50 (1'6) OVERLAPS, CAVITY WALLS OF 2 LEAF 100 (4) CONE BLOCK, TIED INTO EXIST WALLS WITH 'CROCODILE' 5/8 PLATES + SCREWS, 115 (4 1/2) CAVITY, FILLED SOLID WITH CONC UP TO ABOVE GROUND LEVEL + SEALED OFF AT EAVES, 250 (10) LONG 5/8 WALLTIES (STAFIX RT2) AT 150 (2'6) HORIZONTAL, 450 (1'8) CR3 VERTICAL + WITHIN 150 (6) EVERY BLOCK COURSE OF OPENINGS TO 2'3 (9) KINGSPAN K8 TO INNER LEAF IN CAVITY TO LEAVE 45 (1 3/4) AIR GAP, 40 (1 1/4) BACKED 12.5 (1/2) PLASTER BOARD (KINGSFAN KT) ON PLASTER DABS + SKIM INTERNAL, 20 (3/4) RENDER/ROUGHCAST EXTERNAL, U VALUE 0.18.

450 x 225 (1'6" x 9") CONE STRIP FOUNDATION FOR 100 (4) CONE BLOCK CENTRAL WALL TO SUPPORT BLOCK + BEAM FLOOR, PARTIAL HONEYCOMBED TO ALLOW AIR CROSSFLOW.

REMOVE REMAINING CHIMNEY BREAST + STACK COMPLETE, MAKE GOOD ROOF, FIRST FLOOR + CEILINGS

FLAT CEILING OF 300 GAUGE VAPOUR BARRIER + 125 (1/2) PLASTER BOARD + SKIM, 100 (4) MINERAL FIBRE QUILT BETWEEN JOISTS + 200 (8) OVERALL, U VALUE 0.15.

220 x 72 (8 3/4 x 2 7/8) FLOOR JOISTS AT 400 (16) CRS, INTO JOIST HANGERS ONTO 220 x 63 (8 3/4 x 2 1/2) WALLPLATE SECURED TO EXIST WALL BY M12 WALL BOLTS AT MAX 6'00 (2'0) CRS, STRUTTED AT 1/3 + 2/3 SPAN, 2 ADDITIONAL JOISTS UNDER PARTITION WHERE PARALLEL TO 22 (7/8) TO G FLOOR GRADE CHIPBOARD OVER (15 kg/m²), 125 (1/2) PLASTER BOARD + SKIM UNDER (10 kg/m²), 100 (4) MINERAL FIBRE QUILT SOUND PROOFING BETWEEN.

100x17 (4' x 1 7/8) RAFTERS AT 400 (16) CRS, ONTO SAME SIZE WALLPLATE SECURED TO EXIST WALL BY M10 WALL BOLTS AT MAX 6'00 (2'0) CRS, REMAINING DETAILS AS MAIN ROOF, 30° ATCH.

100x17 (4' x 1 7/8) CEILING JOISTS AT 400 (16) CRS, IN JOIST HANGERS ONTO SAME SIZE WALLPLATE SECURED TO EXIST WALL BY M10 WALL BOLTS AT MAX 6'00 (2'0) CRS, CEILING, INSULATION ETC, ALL AS MAIN EXTENSION, U VALUE 0.15

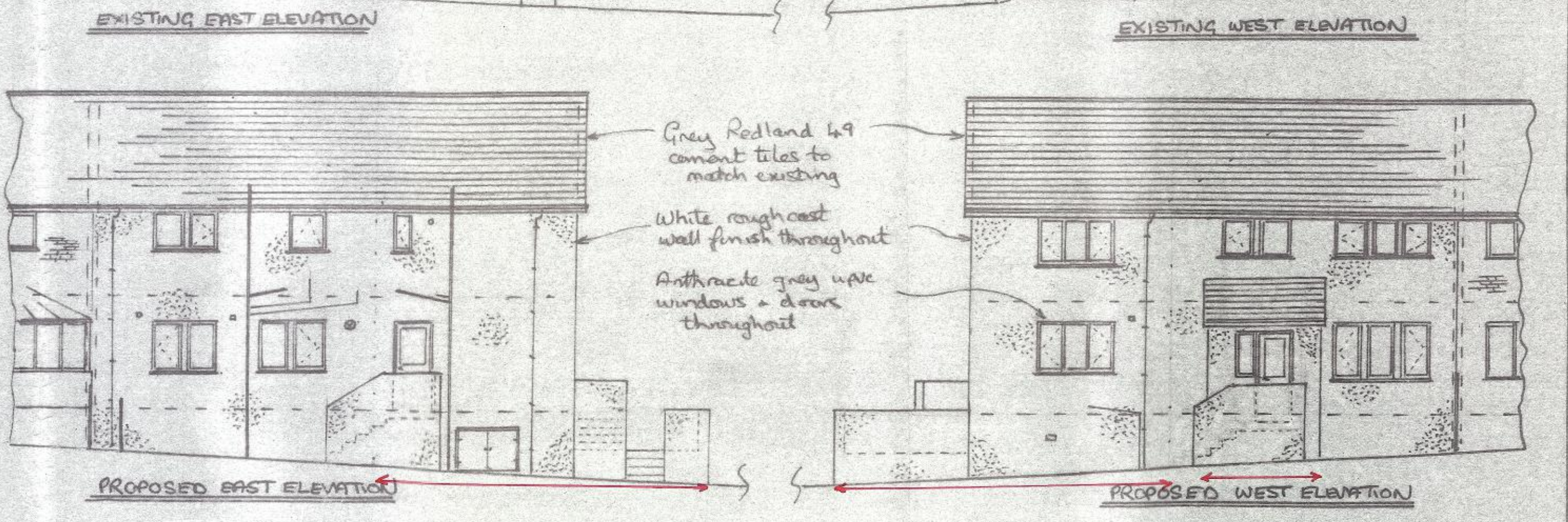
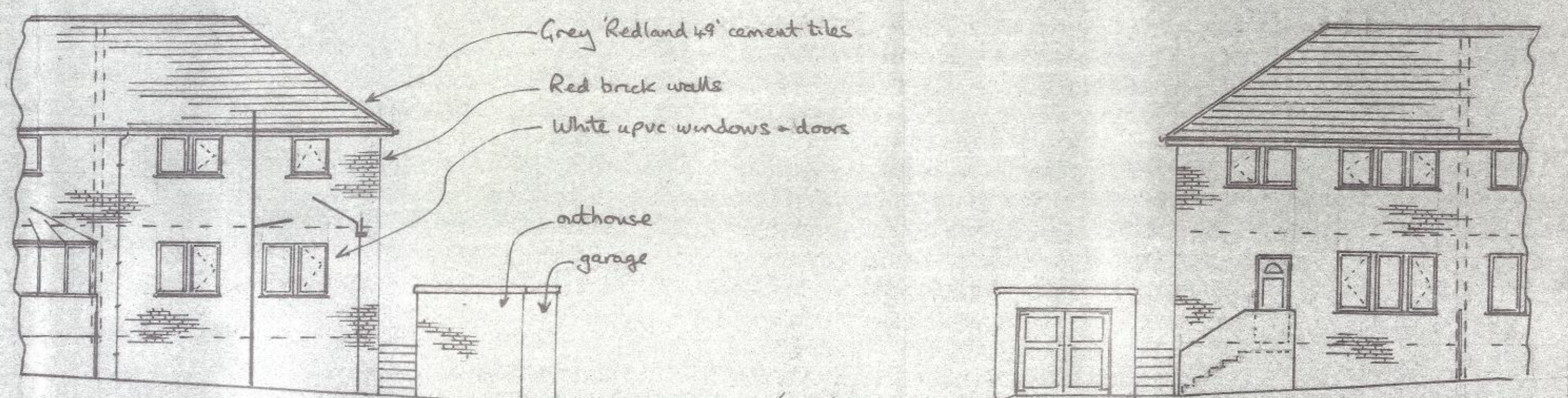
416 LEAD FLASHING

115 (4 1/2) CUTTING, 65 (2 1/2) DIA DOWNPIPES IN UPVC ON FACIA BOARDS, TO MATCH EXISTING, TO DISCHARGE INTO BACK INLET GULLIES

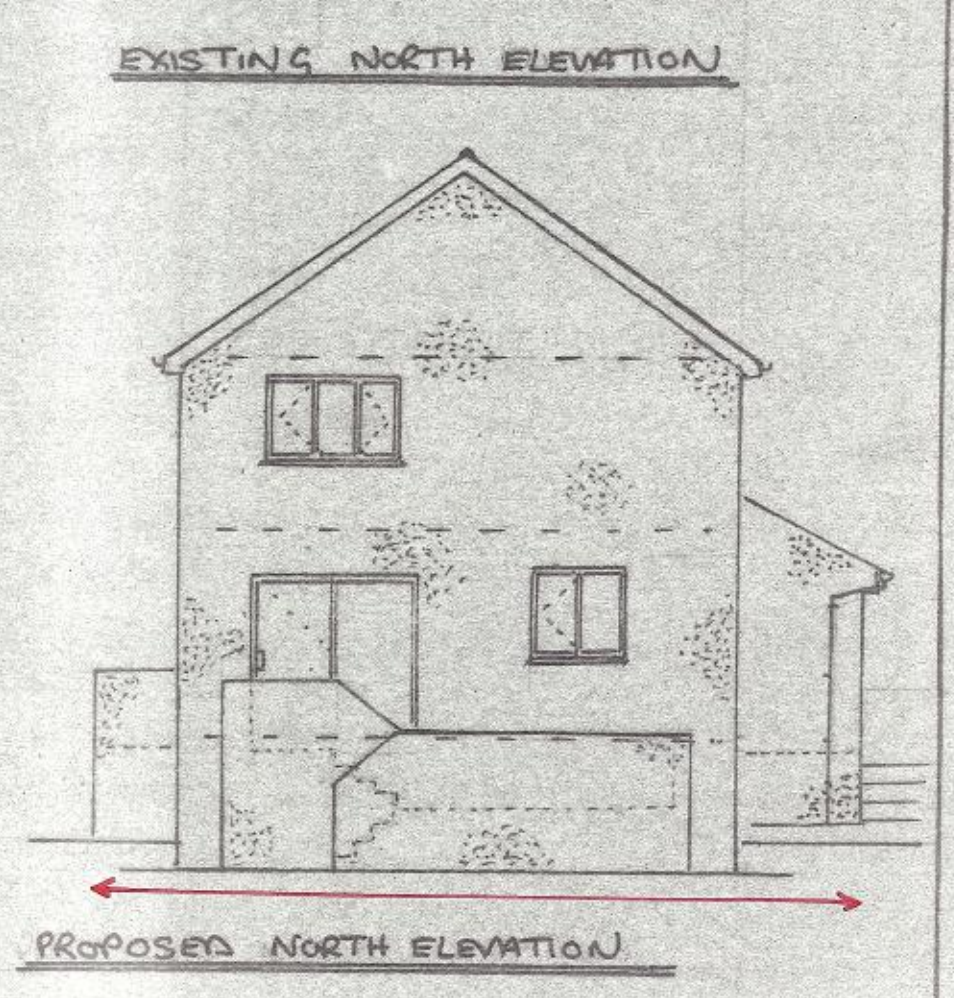
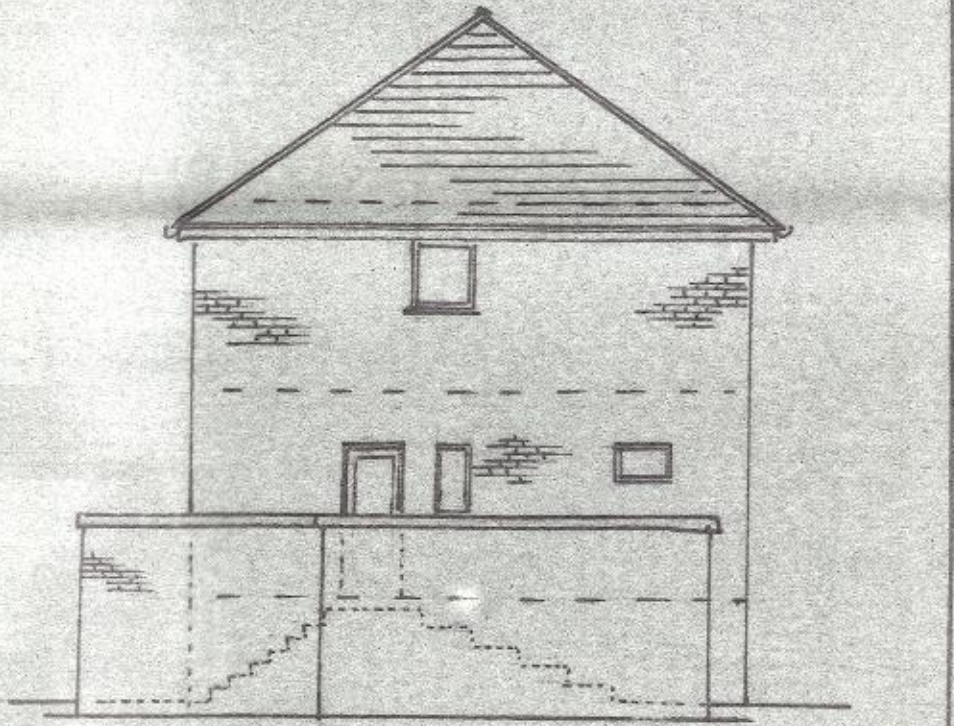
1'5 (4 1/4) WIDE OPENING + DOORS TO GARDEN EQUIPMENT STORAGE IN THIS AREA

SECTION A.A

SCALE 1:50



- 1) ROOF COVERING TO BE 'REDLAND 4'9" GREY CEMENT TILES, TO MATCH EXISTING.
- 2) EXTERNAL WALL FINISH TO BE WHITE ROUGHCAST, TO WHOLE HOUSE.
- 3) WINDOWS + DOORS TO BE UPVC, ANTHRACITE GREY TO WHOLE HOUSE.
- 4) ALL TIMBER WORK TO BE TREATED WITH A PRESERVATIVE.
- 5) TRUSS MANUFACTURER TO PROVIDE CALC'S/DETAILS TO BUILDING CONTROL UPON REQUEST.
- 6) CAVITIES AROUND OPENINGS INCLUDING LINTELS, TO BE INSULATED TO PREVENT 'COLD BRIDGING' + CLOSED WITH 1/2 HOUR FIRE RESISTANT MATERIAL.
- 7) ALL ELECTRICAL WORK TO BE DESIGNED, INSTALLED, INSPECTED + TESTED IN ACCORDANCE WITH BS 7671 (ELECTRICITY REGS - LATEST EDITION) + WORK UNDERTAKEN BY AN INSTALLER REGISTERED UNDER SUITABLE ELECTRICAL SELF CERTIFICATION SCHEME OR QUALIFIED PERSON SUPPLYING A CERTIFICATE OF COMPLIANCE TO BUILDING CONTROL ON COMPLETION.
- 8) ALL ELECTRICAL SOCKETS + SWITCHES TO BE LOCATED BETWEEN 4'50 + 12'00 (1'6" + 3'11") ABOVE FLOOR.
- 9) PROVIDE INTERNAL LIGHT FITTINGS CAPABLE OF TAKING EFFICIENT LAMPS, MIN 75 LUMENS PER CIRCUIT WATT. EXTERNAL LIGHTS TO BE EITHER EFFICIENT AS ABOVE, OR ON A TIMER + AUTOMATICALLY EXTINGUISHED IN DAYLIGHT.
- 10) REINFORCING TO CONCRETE WALLS TO BE MIN 2 OFF M.S. BARS IN LOWER PORTION.
- 11) GLASS PANELS IN DOORS, ADJACENT TO, + ANY WINDOW PANEL LESS THAN 8'00 (2'7 1/2) ABOVE FLOOR, TO BE TIGHTENED/LAMINATED TO BS 6206 (1978).
- 12) INTERNAL DOORS TO BE MIN 8'06 (2'7 1/2) TO GIVE MIN 'CLEAR' OPENING WIDTH OF 7'50 (2'5 1/2) EXTERNAL DOORS TO BE MIN 8'38 (2'9) " " " " " " " " 8'00 (2'7 1/2)
- 13) BEDROOMS TO HAVE OPENING WINDOWS EQUAL TO AT LEAST 1/20 FLOOR AREA + 8'000mm (3'1 1/2") TRICKLE VENTILATION. KITCHEN/DINER TO HAVE OPENING DOORS/WINDOWS EQUAL TO AT LEAST 1/20 FLOOR AREA, + 3 OFF 8'000mm (3'1 1/2") TRICKLE VENTS. KITCHEN TO ALSO INCLUDE 60 LITRE/SEC EXTRACTION FAN (30 LITRE/SEC IF COOKER HOOD), MAX 45 dB(A) AT NORMAL WORKING. UTILITY ROOM, ANY SIZE OPENING, 4'000mm (13'1 1/2") TRICKLE VENTILATION + 30 LITRE/SEC EXTRACTION FAN. BATH/SHOWER ROOMS, ANY SIZE OPENING, 4'000mm (13'1 1/2") TRICKLE VENTILATION, + 15 LITRE/SEC EXTRACTION FAN. [ALL EXTN FANS MIN 3'00 (1'8) FROM TRICKLE VENTS. ALL NEW/REPLACEMENT WINDOWS TO INCLUDE TRICKLE VENTS.]
- 14) 1ST FLOOR BEDROOMS + GROUND SHOWER ROOM TO INCLUDE AN OPENING WINDOW PANEL WITH A MIN 'CLEAR OPENING' AREA OF 0.33 m², + WITH A MIN CLEAR DIMENSION OF 450 (1'6) IN ANY DIRECTION, EG 750 x 450 (2'6 x 1'6) OR 600 (2'0) SQ AS ALTERNATIVE MEANS OF ESCAPE IN CASE OF FIRE, WITH BOTTOM OF OPENING NO MORE THAN 1100 (3'7 1/2) ABOVE FLOOR.
- 15) A MAINS OPERATED FIRE DETECTION/ALARM SYSTEM TO BE INSTALLED TO BS 5839-6, 2004, GRADE 'D', CATEGORY LD3, WITH SMOKE ALARMS TO BS EN14604, SHOWN (9) + HEAT ALARMS TO BS 5446-2, SHOWN (10), LOCATED ON CEILINGS, MIN 300 (12) FROM WALLS + LIGHT FITTINGS, ALL INTERCONNECTED SO ALL SOUND WITH DETECTION BY ANY ONE UNIT, MAINS SUPPLY TO BE A SINGLE INDEPENDANT CIRCUIT, DETECTORS TO HAVE A STANDBY POWER SUPPLY - EG BATTERY.
- 16) HOME OWNER TO BE PROVIDED WITH AN 'EXISTING HOME' VENTILATION GUIDE, EXPLAINING HOW TO USE + VENTILATE EFFICIENTLY, BY BUILDER PRIOR TO COMPLETION.
- 17) ALL DRYLINING BOARDS TO HAVE JOINTS + EDGES TAPE SEALED + ALL ELECTRICAL BACKBOXES, CONDUITS ETC TO BE SEALED WITH MASTIC/FOAM TO MAINTAIN AIRTIGHTNESS. INSULATION TO BE CONTINUOUS AT JUNCTIONS OF ROOF, WALL + FLOOR ETC.
- 18) ALL DRAINAGE TO BE TO SATISFACTION OF LOCAL AUTHORITY. EXISTING MAINS COMBINED SEWERS SERVE.
- 19) HOT WATER + SPACE HEATING TO BE PROVIDED BY NEW MAINS GAS COMBINATION/CONDENSING BOILER, MIN 800 BUK 92%, + RADIATORS THERMOSTATICALLY/ZONE CONTROLLED TO GIVE NOMINAL 21°C IN LOUNGE + DINER/KITCHEN, + 18°C ELSEWHERE. BALANCED FAN ASSISTED FIVE TO HAVE WIRE MESH TERMINAL GUARD.
- 20) CONSERVATION OF ENERGY DETAILS (PORCH EXEMPT)
U VALUE OF GROUND FLOOR ... 0.18. U VALUE OF WALLS ... 0.18. U VALUE OF FLAT CEILING ... 0.15.
FLOOR AREA OF GROUND FLOOR ... 29.15 m². FIRST ... 29.15 m². TOTAL 58.3 m². ± 8.5% = 14.575 m²
AREA OF OPENINGS LOST DUE TO EXTENSION = 3.08 m² [TOTAL 17.655 m² - MAX NEW OPENINGS AT BASIC U VALUES]
AREA OF WINDOWS + DOORS, UPVC, 20 mm GAP D/G, EG 'SYSTEM 3', 1.1 NEUTRAL LOWE, U VALUE 1.4 = 14.485 m² (20)



SCALE 1:100