

Construction Traffic Management Plan – Land lying to the north of, Station Road, Drigg, Holmrook. CA191XH



Site Location plan

Applicant: Sunshine Properties West Coast Ltd

October 2024

1.0 Construction Traffic Management Plan Station Road, Drigg.

Hold points:-

Hold Point 1: To be confirmed off by the Construction Project Manager Mr Graeme Morgan before any work is to commence on the above site.

- **No development shall take place until a Construction Traffic Management Plan has been submitted to and approved in writing by the local planning authority.**

Signed..... Date

Hold Point 2: To be confirmed off by the appointed Site Manager

The approved Construction Traffic Management Plan shall be adhered to throughout the construction period for the development.

Signed..... Date

- 1.1 This Construction Traffic Management Plan has been prepared on behalf of the applicant 'Sunshine Properties West Coast Limited' in support of a planning application, for a 9-house self-build site at Drigg. The site is located to the north of, Station Road, Drigg, Holmrook. The site is owned by, Mr Graeme Morgan of Sunshine Properties West Coast Ltd & Mr Chris Roberts of Eskdale.
- 1.2 The purpose of this CTMP is to ensure the impact of the construction works at this development are controlled and all associated activities that may affect the local residents are managed at all times. The CTMP provides detail of all measures considered appropriate at this time however, the CTMP is a live document that will evolve as necessary to address issues that may be identified through ongoing consultation with local residents as the project progresses.

2.0 General Site Construction

The Construction Project Manager 'Mr Graeme Morgan' will be responsible for implementing measures contained in the CTMP throughout site construction and will be the point of contact on a daily basis for local residents. The appointed Site Manager will ensure that all contractors working on the site have public liability cover in place before starting work. They will also ensure that the contractor has the correct PPE, have attended site inductions, have the required risk assessments and methods statements in place to carry out their works and undertaken and signed onto a pre job brief. The contractor briefing will explain this document and how to adhere to it and any site-specific risks and hazards associated with the site and work to be undertaken.



Propose site layout drawing

3.0 Site Hours

- 3.1 The site working hours will be from 8am – 6pm Monday to Friday and 8am – 1pm on Saturdays in accordance with the condition of the planning permissions for the development. No construction on Sundays or Bank Holidays.

If there are any complaints or issues on the development during these hours, we urge complaints of the first instance to be discussed with the Construction Project Manager.

4.0 General Site Safety and Constraints

- 4.1 The Site Manager and Health and Safety Manager will ensure that residents are aware of how the construction works are progressing and an update will also be provided to the Local Community, this will provide an opportunity to voice any issues that may arise.

The Site Manager will keep in regular contact with local residents and affected parties when specific activities affecting the wider area are programmed. Any Complaints or investigations will be added to the CTMP for future reference.

- 4.2 Demolition - There are no buildings on site so there is no requirement for any demolition to take place.
- 4.3 Dilapidations survey - It is agreed that prior to commencement of development a full condition and dilapidation survey will be carried out of the existing adopted roads and footpaths surrounding the site, in conjunction with the Local Authority Highway (LHA) Department.

In the event the LHA are not able to attend site for the survey as record of the survey will be sent to the LHA. If any post development repairs are required to be carried out, they will be undertaken to the satisfaction of the Local Highway Authority at the applicant's expense.

- 4.4 Contamination – There are no known issues with regards to contamination on the site.
- 4.5 Deliveries - No deliveries will be permitted outside the working hours. Deliveries will be taken between 7:30am and 7pm operating with a turning provision on site using initially the existing vehicular access (for the adjacent residential development) to access the pod site.

The surrounding public highway roads are of sufficient category for delivery wagons. All wagons will be unloaded on-site at designated areas. Parking of delivery vehicles on the surrounding public highways is not permitted, rules above must be followed to avoid this.

5.0 Nuisance Control

- 5.1 Dust Control - Dust will be controlled by damping down using a bowser or road brush attachment to the forklift truck and if necessary, a daily road sweep. Construction dust such as grinding dusts will be reduced locally with the use of the dust suppression incorporated into the equipment used. Dust will be further controlled by minimal stripping of vegetation and the hard surfacing of roads as soon as possible.

Any HGVs taking spoil to/from the site will be sheeted to prevent spillage or deposit of any materials on the highway.

Dust will be monitored by the site manager in conjunction with daily weather reports to determine the requirement for damping down a site and the wind direction for operation with a

higher risk of producing dust BS 6069 Airborne Particles. Particular attention must be paid to the school timings of breaks and outdoor events.

- 5.2 Wheel wash - Site vehicles will use hard surface areas only to minimise mud disruption onto existing highway. A bowser with hose attachment and stiff brush wash facility will also be provided to wash down site vehicle wheels prior to leaving site to reduce any further unwanted debris spreading onto the highway. Any operation such as muck shifting or plant deliveries will take place during 10am-3pm to utilise quiet times.
- 5.3 Noise pollution - We do not anticipate any noise pollution above recommended levels. The restriction in site operating hours will be carried out in accordance with Local Authority guidance, thus preventing the carrying out of any noise disruption outside these hours or during weekends and public holidays.

Site inspections shall review any plant which is excessively noisy which shall be removed from site for repairs or replacement as necessary. All equipment to be turned off when not in use, and no equipment will be used outside of the working hours.

6.0 Site Access

- 6.1 The temporary access point to the site is shown below

During the site road construction, deliveries will be made via the existing temporary agricultural access shown in the image below. This temporary access road will be used until the new access road is installed to a usable condition.



A banksman will be in attendance if required, the requirement will be assessed on a case-by-case basis by POWRA – Point of work Risk Assessment. All delivery operatives are trained to assess this on a case by-case basis.

Every effort will be made to ensure that suppliers deliver to the site outside busy times in the village.

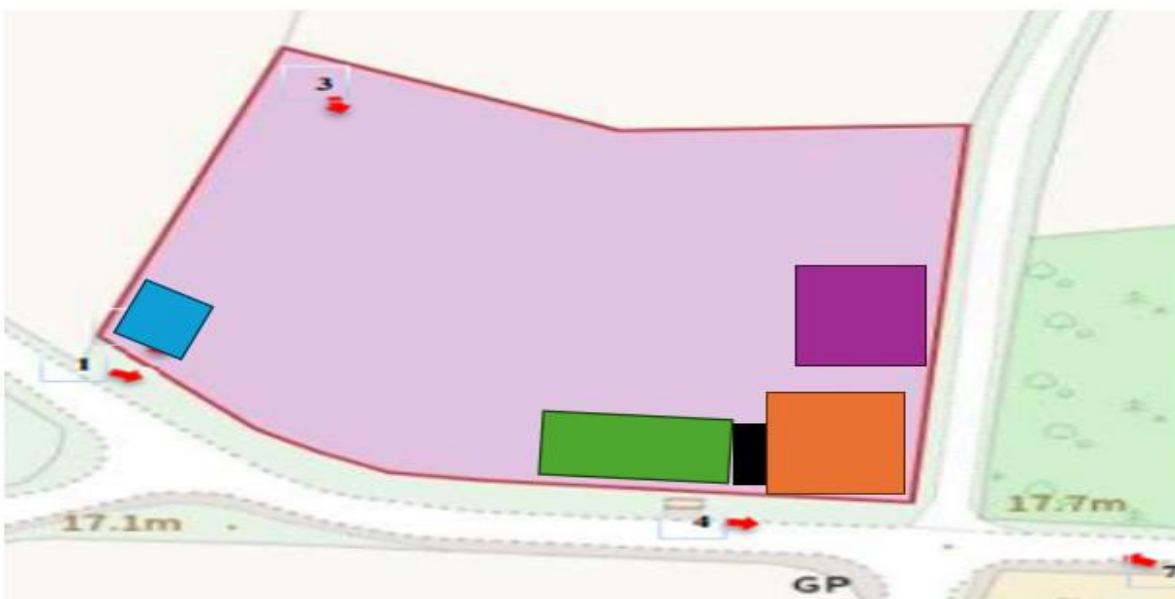
There will be a storage area will be located within the site, this is identified on the site construction layout plan drawing below in purple. The area will be clearly marked and all deliveries to the site during the construction process will therefore take place within the site boundaries and no materials or equipment will be stored outside the site boundaries.

- 6.2 No surface water will run from the site onto the public highway. The access to the site is via the temporary access until the new access road is installed to a usable condition which has its own detailed site access arrangements from the adopted highway.
- 6.3 All of the plots situated on the residential development have a separate driveway, turning, parking and unloading/materials area within their plot boundaries, so the site access will remain clear. The approved CMP for the residential site is appended to this report.

7.0 Construction site layout plan

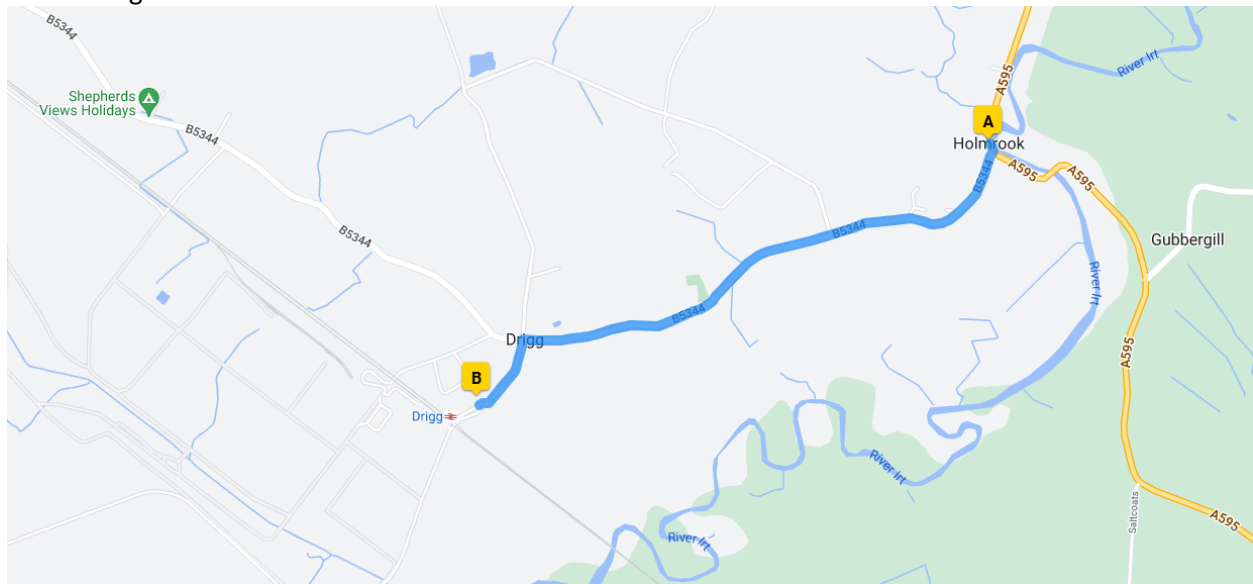
7.1 Construction site layout plan key

- The parking area of vehicles of site operatives and visitors is identified with a Green box.
- The loading and unloading area of plant and materials is identified with a orange box.
- The storage of plant and materials used in constructing the development is identified with a purple box.
- The wheel washing facilities is identified with a black box.
- The site welfare area is identified with a blue box.



Construction site layout plan

8.0 Routing of construction vehicles to and from the site



Route from Holmrook to site

- 8.1 All site construction vehicles will enter the site from the A595 at Holmrook then travel along the B5344 to the site at Station Road Drigg – As indicated on the above image. Then will travel north or south along the A595 to pick up any major routes.