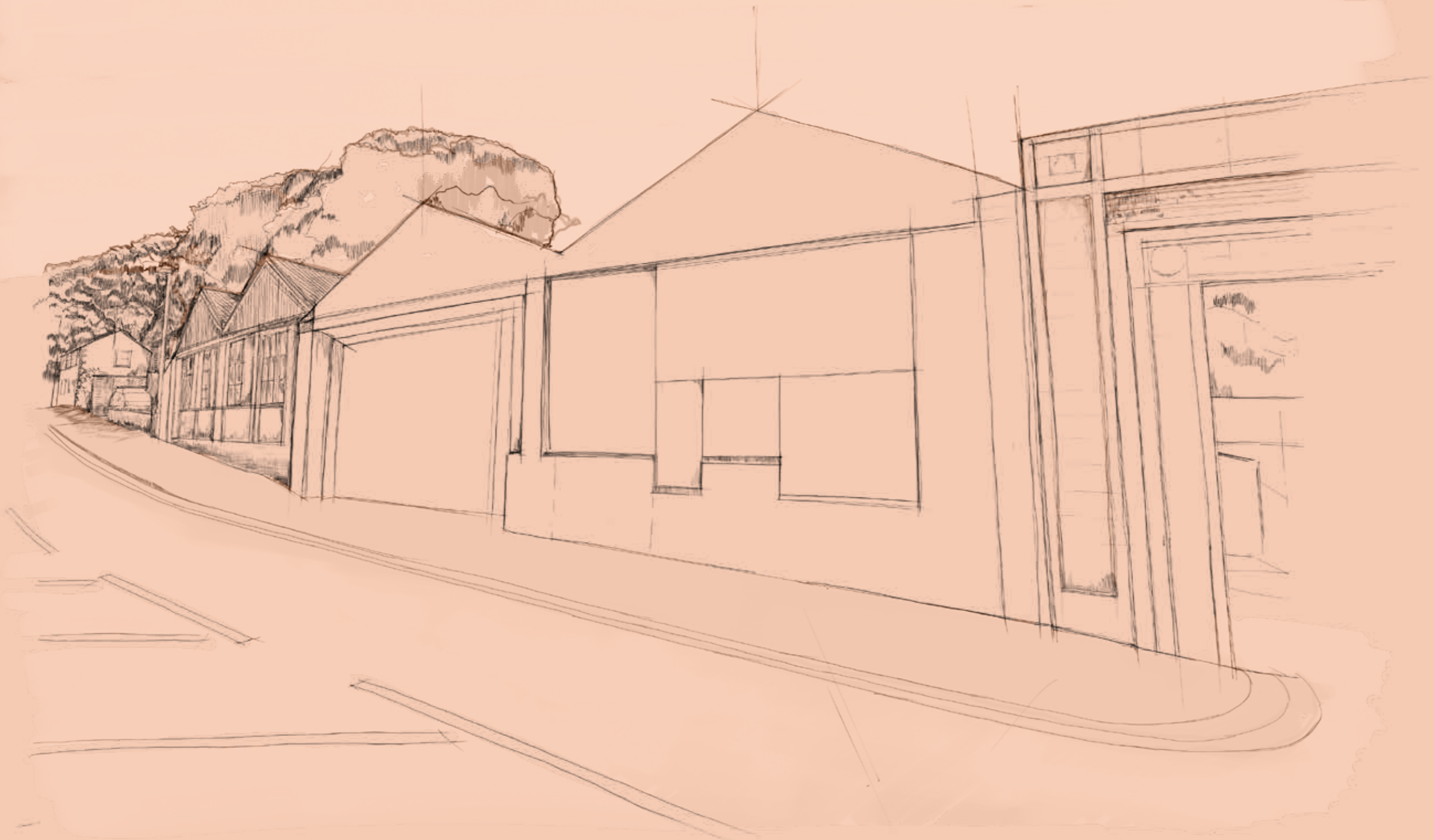


# The Sound Wave



Design, Access & Heritage Statement  
August 2023



## Version history

Project name: Sound Wave  
Project number: 9370  
Client: BEC

| Rev: | Date:      | Status          | Name                                 | Description            |
|------|------------|-----------------|--------------------------------------|------------------------|
| 1    | 10.07.2023 | COMMENT         | Kimberley Corral I Associate         | Issued for information |
| 2    | 24.07.2023 | PLANNING_DRAFT  | Kimberley Corral I Associate         | Issue for comment      |
| 3    | 28.07.2023 | PLANNING        | Kimberley Corral I Associate         | Planning               |
| 4    | 01.08.2023 | PLANNING_UPDATE | Tom Massey I Architectural Assistant | Planning               |
|      |            |                 |                                      |                        |
|      |            |                 |                                      |                        |

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## Buttress



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1.0

# History & Context

## 1.0 History & Context

### 1.1 Introduction

This Design & Access statement comprises a detailed description of the proposals to restore and revitalise the currently vacant bus depot in Whitehaven to accommodate the local charity Sound Wave headquarters.

The statement has been prepared by Buttress Architects on behalf of BEC (Building Extraordinary Communities) (herein referred to as 'The Client').

### 1.2 Site Location

Whitehaven is located in the county of Cumbria, which is situated in the north west region of England. Specifically, Whitehaven is positioned on the western coast of Cumbria, overlooking the Irish Sea. It is nestled between the towns of Workington to the north and Egremont to the south.

### 1.3 Local and National Context

Whitehaven offers captivating views of the Irish Sea. Renowned for its rich maritime heritage, the town features a picturesque harbour and well-preserved Georgian architecture. The town center showcases a harmonious blend of traditional charm and contemporary amenities, characterized by narrow streets, quaint shops, and welcoming pubs. Serving as a gateway to the natural splendour of the Lake District, Whitehaven provides ample opportunities for exploring scenic landscapes, hiking trails, and engaging in outdoor activities. Additionally, Whitehaven is home to diverse cultural attractions, including museums, art galleries, and annual festivals, creating a vibrant and enriching experience for visitors.



## 1.4 Site and Context

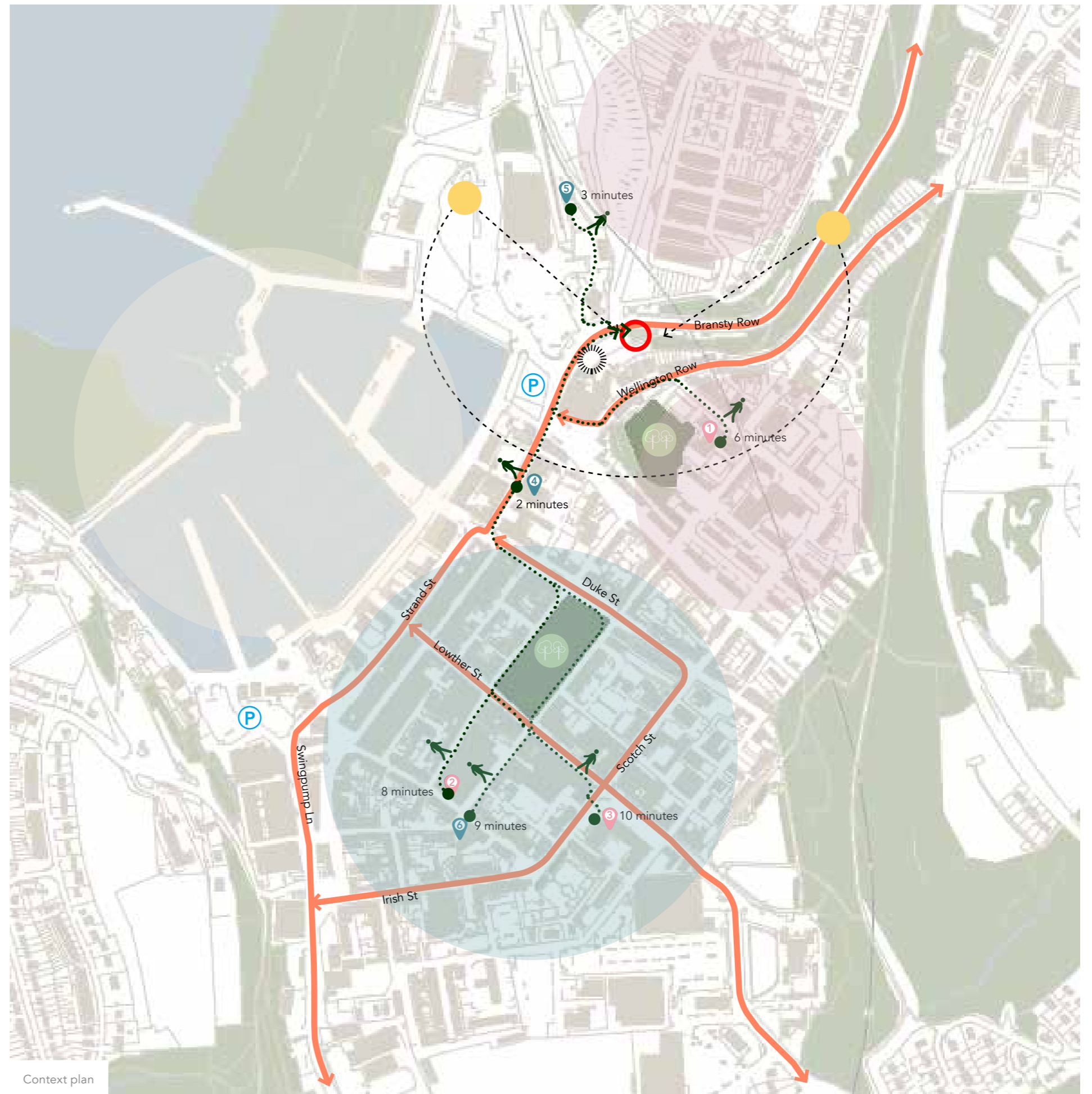
Whitehaven former Bus Station Warehouse is located north of the town of Whitehaven, on New Road, within an urban setting. Only a few minutes away from the city centre, town hall and other local attractions. The surrounding area is primarily residential with schools and youth centres only 10 minutes away from the site. This provides an opportunity to connect and attract interest from various age groups as well as the existing Sound Wave community.

Address: New Road, Whitehaven, CA28 6AZ

- Sun Path
- The Site
- City Centre
- Parks
- The Marina
- Residential areas
- Buss station
- P Parking

- Pedestrian access
- Main vehicle roots




- 📍 Spaces of interest
- 1. St James C Of E Infant school
- 2. Top Spot Whitehaven Children's Amusement Center
- 3. Rosehill Youth Center
- 📍 Local Attractions
- 1. The gallery Cinema
- 2. White haven train station
- 3. Town Hall

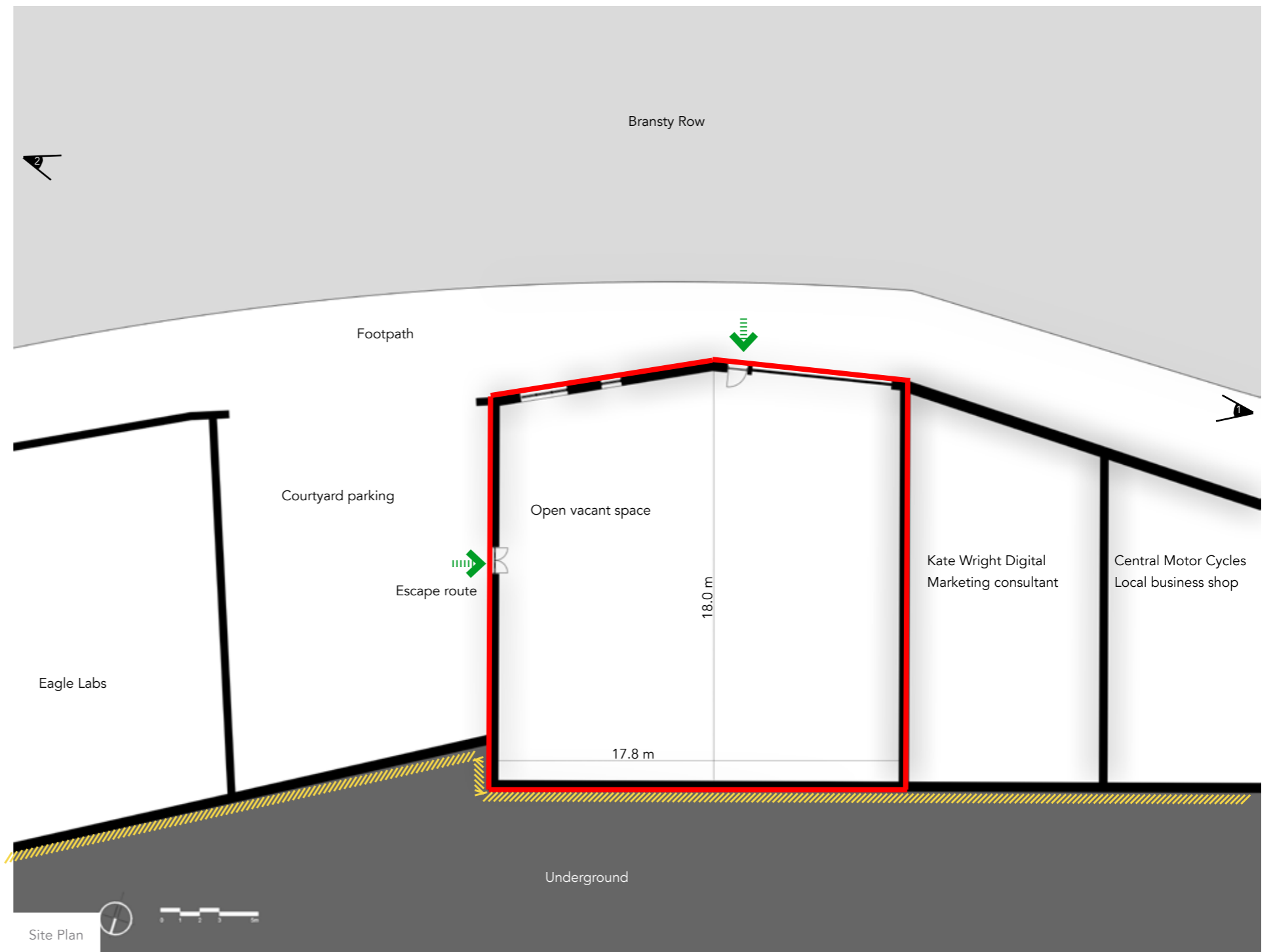


Context plan

## 1.5 Site and Surroundings

The Bus Station Warehouse is single story, constructed of brickwork in English bond. The building has a steel truss duo pitch roof with profile metal sheet covering and solid concrete floors, part of which is covered in ceramic tiles. The structure has access through doors at the front, side, and a large roller shutter at the front. The warehouse measures approximately 17.8m long x 18m wide. The floor to ceiling height is approximately 5.5m.

-  Site boundary
-  Retaining wall
-  Access points



## 1.6 Site history - Bus station warehouse

The site neighbours the original bus station of Whitehaven, which first opened in 1932, shown in the photo taken in 1951. The site used to be a warehouse storage facility for the bus station.

The original Whitehaven Bus Station was established in the early 20th century to accommodate the increasing demand for public transportation. It served as a vital hub for bus services connecting Whitehaven with neighbouring towns and villages, as well as regional and national destinations.

Over the years, the bus station underwent several transformations and upgrades to meet the growing needs of commuters and travellers. These developments included expanding the facilities, improving passenger amenities, and enhancing the overall functionality of the station.

During the mid-20th century, Whitehaven Bus Station played a crucial role in facilitating transportation for workers employed in the town's coal mines and other industries. It served as a vital link for residents commuting to and from work, as well as for visitors exploring the scenic beauty of the surrounding Lake District.

In recent decades, Whitehaven Bus Station has witnessed further modernization and adaptation to cater to changing transportation trends and passenger requirements. Efforts have been made to enhance accessibility, improve waiting areas, and integrate modern technologies to provide a more seamless and convenient travel experience.

The Bus Station building has recently seen redevelopment being transformed into office space catering towards start-up businesses and a new restaurant/bar.

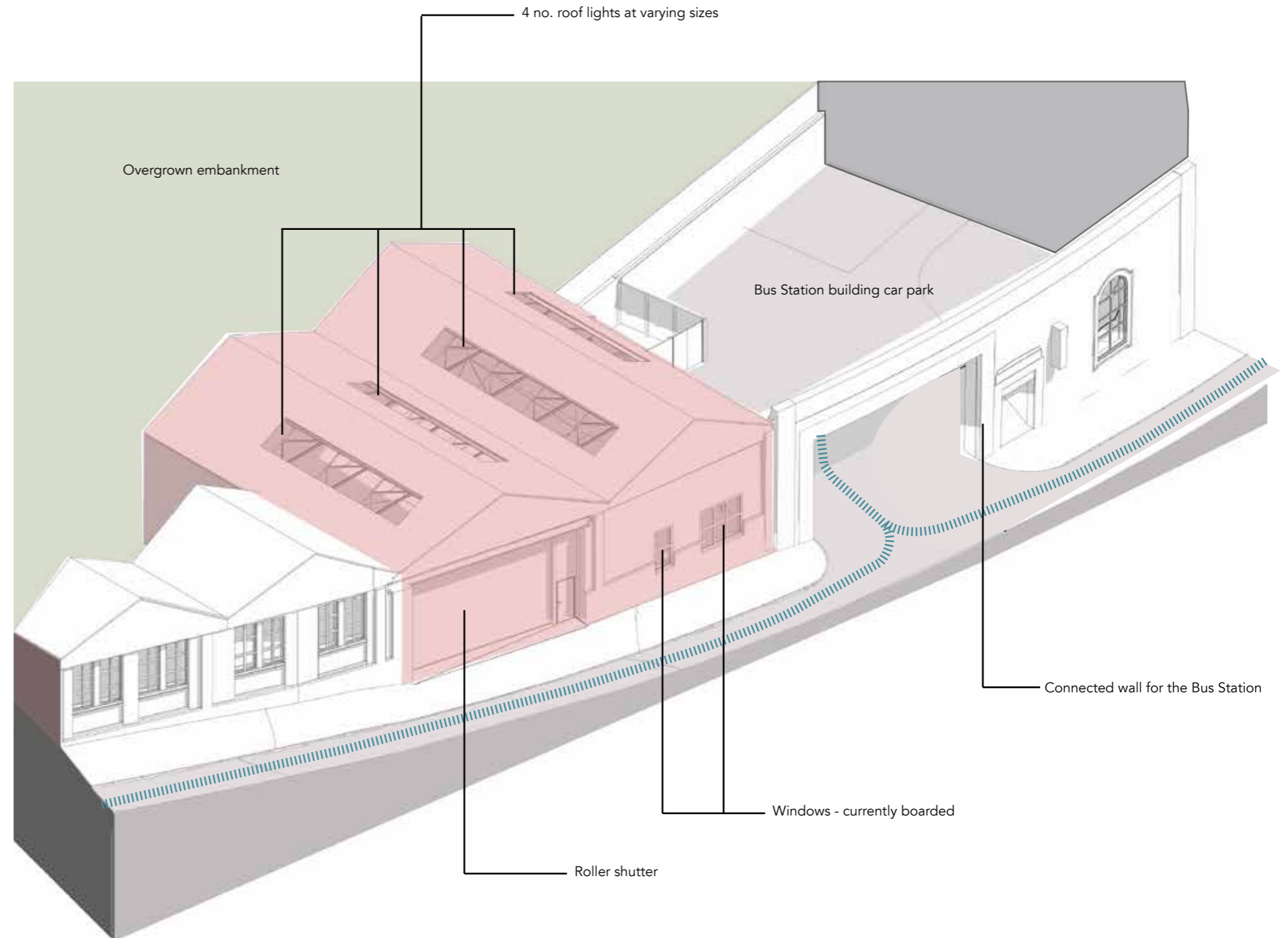




## 1.7 Key Characteristics

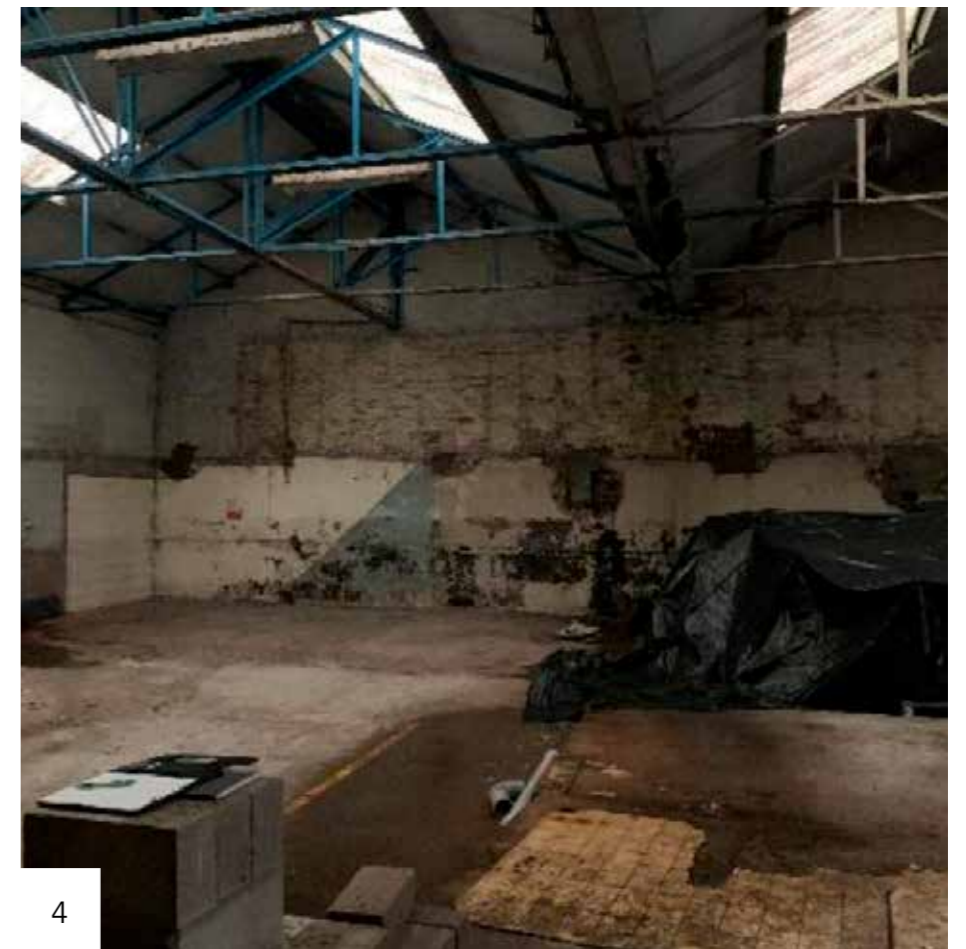
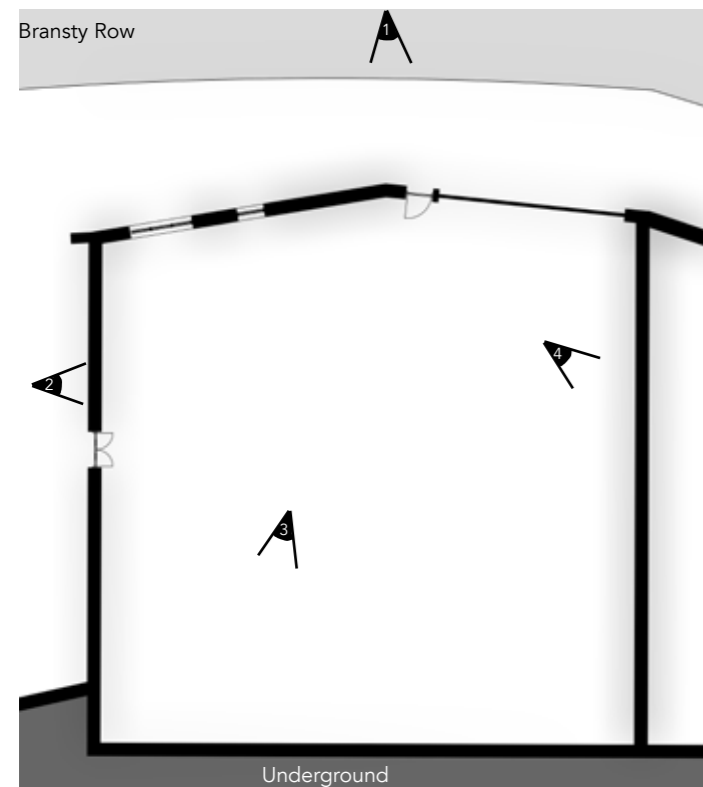
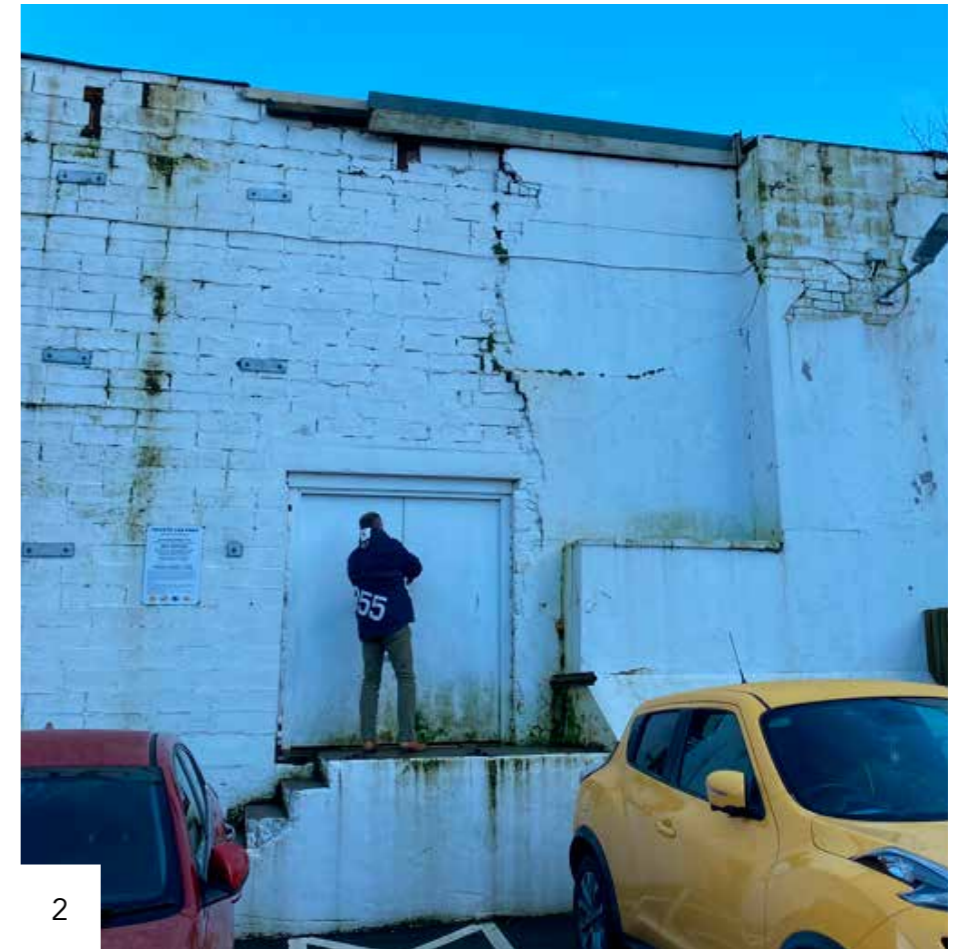
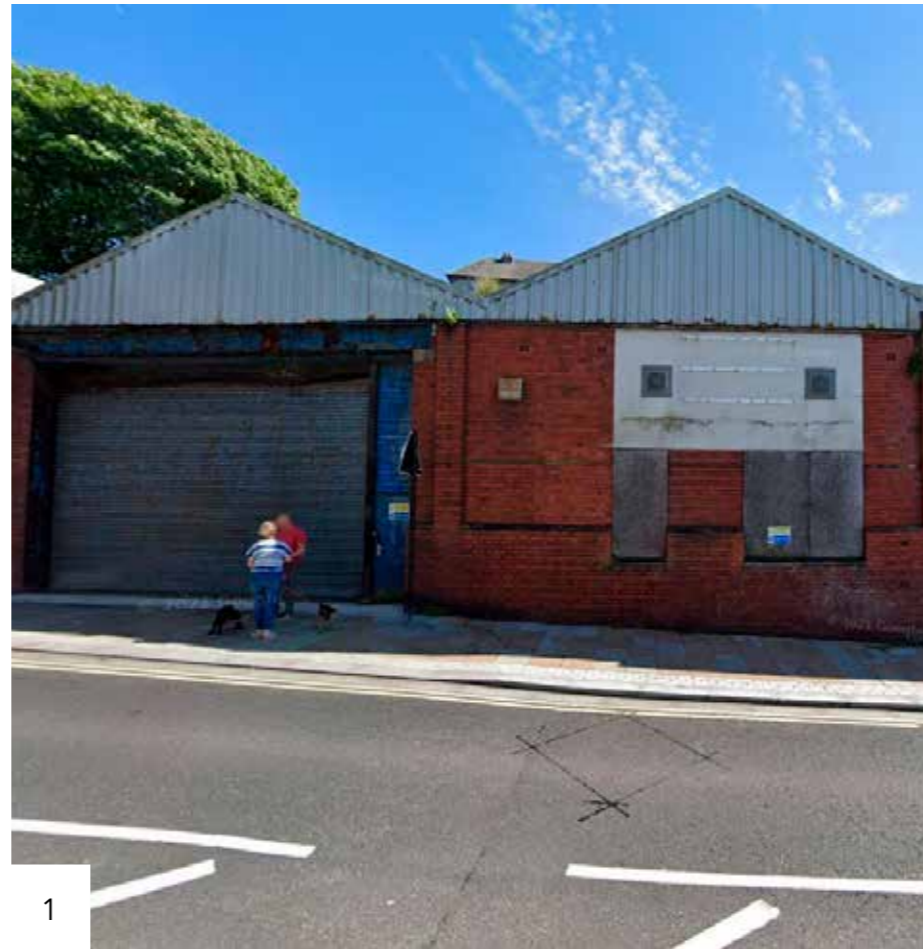
The building currently is vacant and has been left empty for several years and follows typical characteristics of a warehouse in its architectural character. The key characteristics are as follows;

- Large double height roller shutter.
- Embankment to the rear of the building which is currently overgrown and not maintained.
- Neighbouring commercial spaces in adjoined buildings.
- Double doors leading to the neighbouring car park for the Bus Station building.
- Currently boarded up windows openings to main road
- 4 no. Polycarbonate roof light openings to let natural light into the space.
- Structurally weak roof with water ingress.
- Location along main road into Whitehaven.



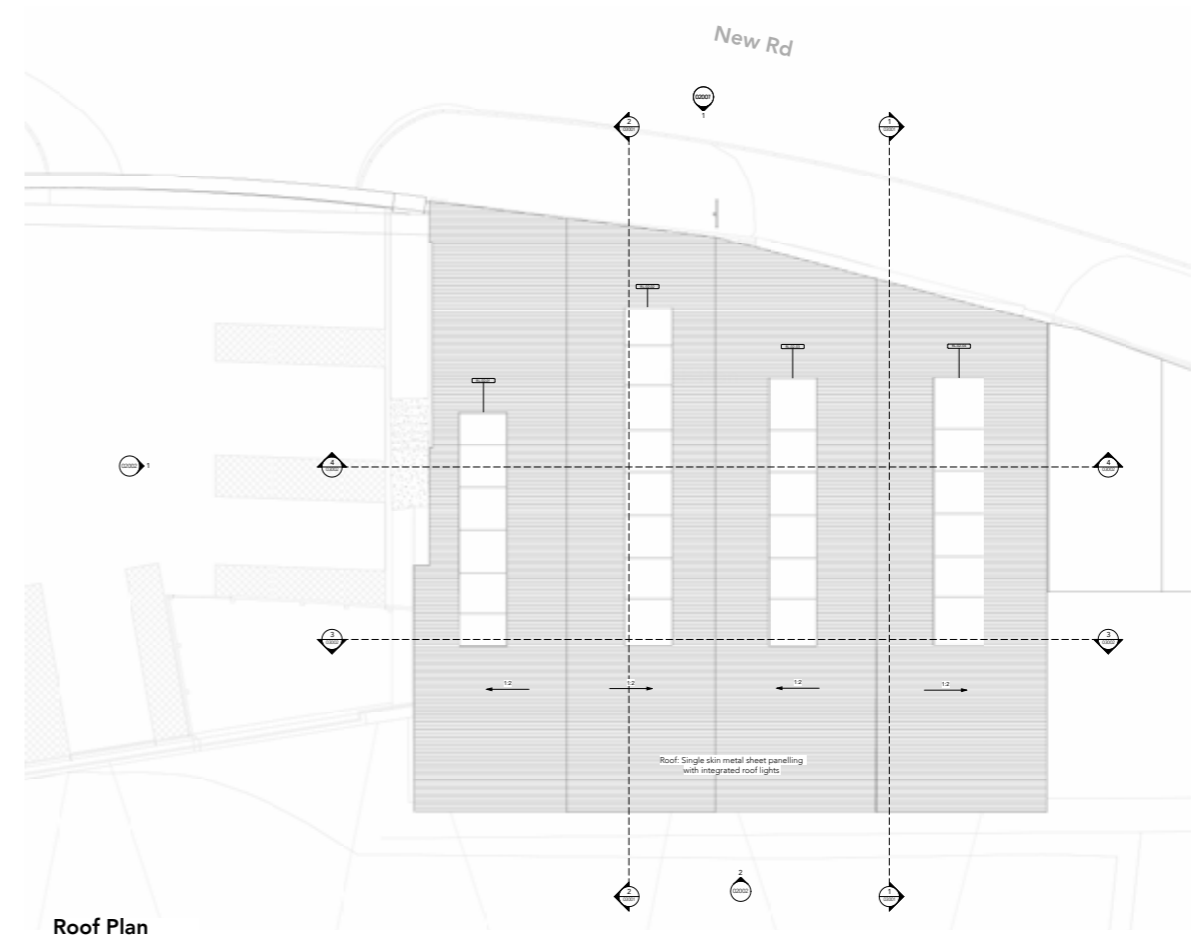
### 1.8 Current site condition

The site is in a reasonable condition. The roof requires replacement and it is proposed a new glass window/entrance should replace the shutter to form a new entrance into the site. Otherwise the build shell provides an exciting opportunity for a container village scheme to sit within the space.

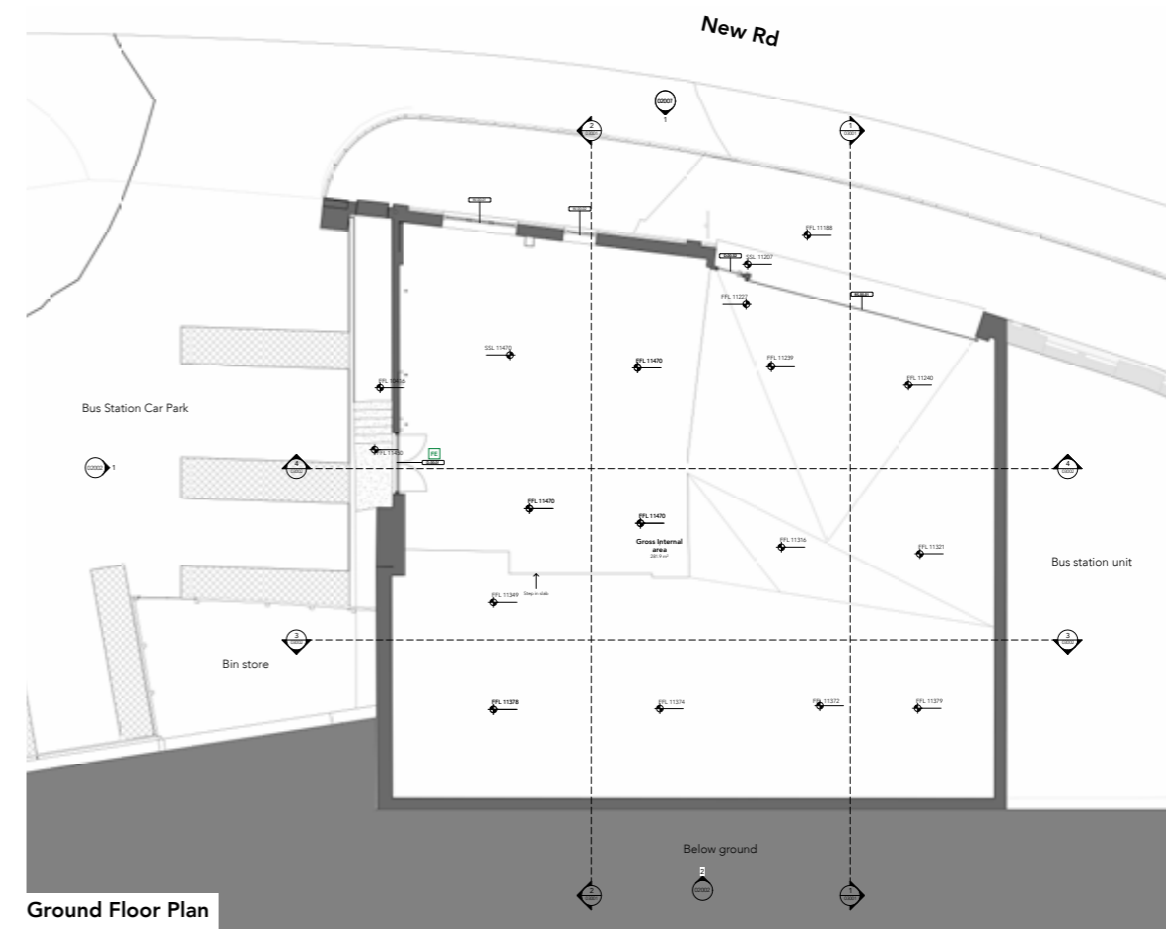


## 1.9 Existing Plans

The adjacent plans demonstrate the existing level difference across the site proving difficult access around the building, characterised by the previous purpose of the building being a storage facility for the bus station. The confinement of the rear embankment also limits the scope of development for the site with the large existing retaining wall which is structurally solid and does not want to be disturbed. The existing fire exist door also overhangs the existing external stair case which needs to be remedied to meet regulations for occupancy.



Roof Plan



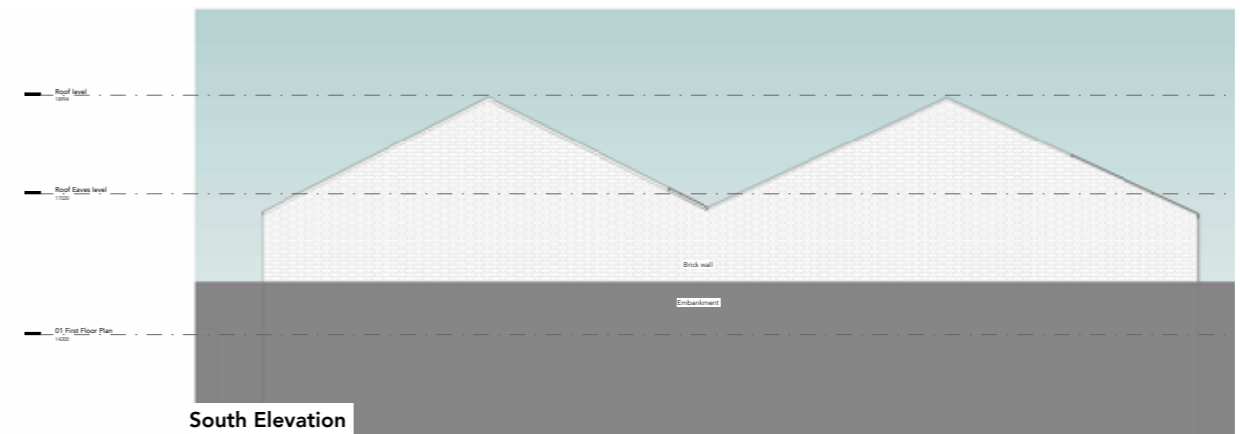
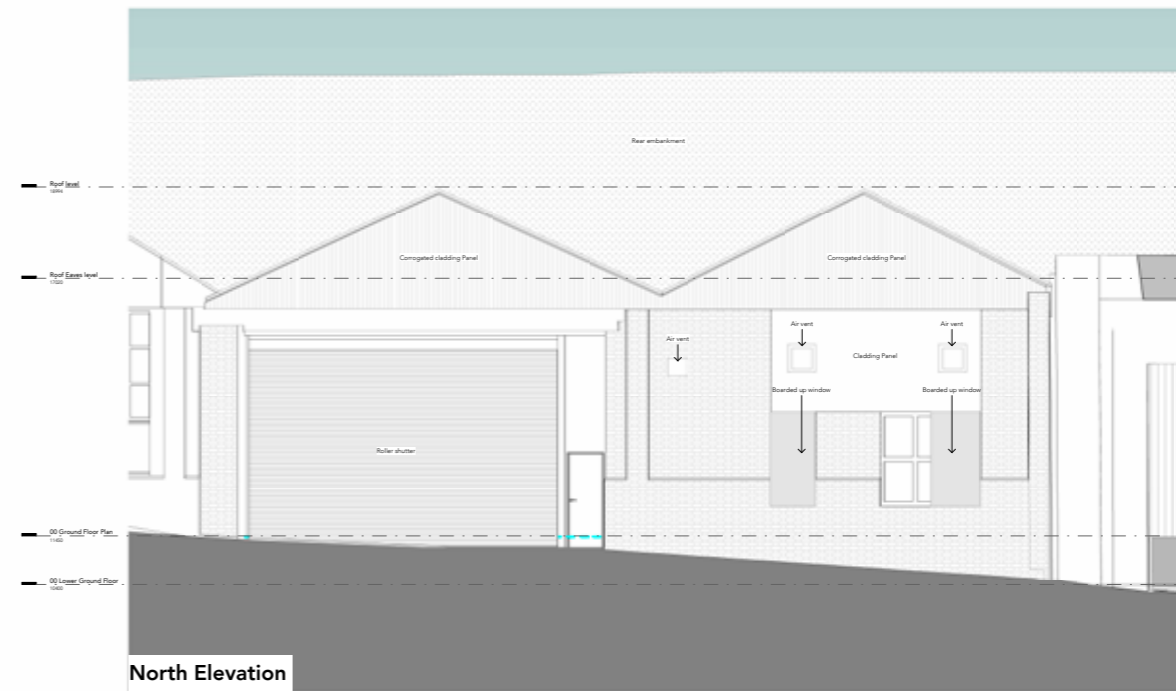
Ground Floor Plan

## 1.10 Existing Elevations

North Elevation - The North elevation consists of two bays constructed out of red brick. The left bays predominant feature is the double height roller shutter which is currently painted blue. Since left vacant the buildings windows on the right bay have been boarded up.

West Elevation - The West elevation is painted white, which has uneven texture in the render since the development adjoined bus station bay into a car park. As previously highlighted in the existing plan (2.6) the existing fire escape overhangs the stairs which poses as a potential hazard in the event of a fire.

South Elevation - The South elevation currently sits upon the embankment with no key features of architectural interest.



**2.0**

# **Design Proposal**

## 2.0 Design Proposals

### 2.1 Introduction

This section of the Design and Access Statement describes the proposals and explains the design rationale behind each element of the proposal.

### 2.2 Background

With the building currently unused BEC (Building Extraordinary Communities) have proposed to renovate the building into a facility for a local music charity - Sound Wave. The building would become the base for the charity which currently operate around the county of Cumbria in small community centres and halls. The site would become a place for a range of activities - from small one on one music lessons to local choir concerts - all in a space which is specially designed with the intention of nurturing the talent they support.

Sound Wave is a transformative charity operating in Cumbria, England. Through music education, workshops, and outreach programs, they empower individuals of all ages and backgrounds. Sound Wave promotes inclusivity, creativity, and personal growth, using the universal language of music to make a positive impact in the community. They also provide therapeutic music sessions, collaborating with healthcare facilities and support groups. With dedicated volunteers and a passion for music, Sound Wave creates a vibrant and inspiring environment where music acts as a catalyst for change and connection.

### 2.3 Project Brief

The objective of this project is to transform an unused warehouse into a dynamic and functional space that serves as the headquarters and creative hub for Sound Wave, a music charity operating in Cumbria, England. The renovated warehouse will provide the organization with the facilities and infrastructure necessary to expand their programs, enhance community engagement, and support their mission of using music to bring positive change.

- **Design and Layout:** Develop a comprehensive design plan that maximizes the available space within the warehouse, creating dedicated areas for music lessons, rehearsal studios, performance spaces, administrative offices, and storage facilities. The design should prioritize functionality, aesthetics, and soundproofing measures.
- **Renovation and Construction:** Execute the necessary renovation and construction work to transform the warehouse into a safe, comfortable, and visually appealing environment. This may include structural modifications, installation of acoustic panels, lighting enhancements, HVAC systems, and soundproofing measures.

- **Technology Integration:** Implement state-of-the-art audiovisual equipment and technology infrastructure to support Sound Wave's programs. This may involve installing recording studios, sound systems, music production equipment, and IT systems for online learning and communication.
- **Interior Design:** Create an inviting and inspiring atmosphere through thoughtful interior design, incorporating elements that reflect Sound Wave's brand identity and mission. Consider the use of colours, furnishings, and decor that promote creativity, collaboration, and a sense of community.
- **Accessibility and Safety:** Ensure that the renovated space adheres to accessibility standards, providing barrier-free access for individuals with disabilities. Implement proper safety measures, including fire safety systems, emergency exits, and compliance with building codes and regulations.
- **Soundproofing and Acoustics:** Employ effective soundproofing techniques to minimize noise interference between different areas of the facility, creating optimal acoustic conditions for rehearsals, lessons, and performances.
- **Sustainable Practices:** Integrate sustainable design principles and materials where possible, promoting energy efficiency, waste reduction, and environmental sustainability.

| Accommodation Schedule      | Brief  |
|-----------------------------|--|
| <b>Entrance / Reception</b> | <ul style="list-style-type: none"> <li>• To create an entrance lobby for acoustic purposes. A reception desk/ box office area is also required</li> </ul>  |
| <b>Main Events Space</b>    | <ul style="list-style-type: none"> <li>• Flexible open space</li> <li>• Fittings and equipment for music performances and other events</li> <li>• Space for 150 people to stand or sit and watch events</li> </ul>   |
| <b>Education Space</b>      | <ul style="list-style-type: none"> <li>• Combination of different spaces to deliver the charities needs. This includes; <ul style="list-style-type: none"> <li>• Live lounge</li> <li>• 1 x large music workshops</li> <li>• 1 x small music workshop</li> <li>• Recording studio</li> </ul> </li> </ul> |
| <b>Toilets</b>              | 3 toilets in total will be provided. 2 x disabled WCs and 1 accessible WC.   |
| <b>Storage</b>              | <ul style="list-style-type: none"> <li>• Collection storage</li> <li>• General storage for furniture/ cleaners store etc.</li> </ul>   |
| <b>Office</b>               | <ul style="list-style-type: none"> <li>• Workroom/Office space for charity staff</li> </ul>  |
| <b>Staff BOH space</b>      | <ul style="list-style-type: none"> <li>• WC</li> <li>• Coat and bag storage</li> <li>• Brew room</li> <li>• Storage</li> </ul>   |

## 2.4 Issues, constraints and opportunities

The current issues identified in the building need to be considered when adapting the space to suit the function of a music hub and community resource.

This includes:

- Available space utilisation
- Acoustic Considerations
- Structural modifications
- Poor access into the building
- Poor condition
- No services installations
- Uneven level around the site
- No WC accommodation

Taking each of these in turn:

### Space Utilization

The existing layout of the warehouse does not effectively accommodate the desired functional areas, such as rehearsal spaces, performance venues, offices, and storage. Maximizing the available space and optimizing the layout is a challenge that needs to be addressed.

### Acoustic Considerations

The warehouse's current structure does not adequately address soundproofing and acoustic treatment. Creating spaces with optimal acoustics for rehearsals and performances requires careful planning and implementation to ensure high-quality sound.

### Structural Modifications to the Roof

The existing structure of the roof of the warehouse requires significant alterations, to ensure a safe and watertight environment is created.

### Poor Access

Uneven surface and levels across the site hinder the movement of people and equipment. Addressing the site's unevenness and creating efficient flow within the space is necessary for wheelchair users.

### Poor Condition

The warehouse require repairs and renovations due to issues such as damaged flooring and deteriorating walls. Overcoming these challenges and restoring the warehouse to a suitable condition are essential.

### Services Installations

The absence or insufficient provision of essential services, including plumbing, electrical, and HVAC systems, needs to be addressed. Proper installation of these services is vital to ensure a fully functional space that meets the needs of the occupants.

### WC Facilities

The absence of proper toilet facilities within the warehouse is a constraint that needs to be resolved. Incorporating WC accommodations will be essential for the comfort and convenience of occupants

There are a range of opportunities:

- Bringing a vacant building back into use
- Reflecting on the historical importance of the building
- Reinterpreting the industrial nature of the building to become a unique environment

Taking these in turn:

### Bringing a vacant building back into use

Transforming the unused warehouse into a vibrant and functional space contributes to the revitalization of the area and enhances community engagement.

### Reflecting on the historical importance of the building

Leveraging the historical significance of the warehouse can add cultural value and create a sense of connection to the local heritage.

### Reinterpreting the industrial nature of the building to become a unique environment

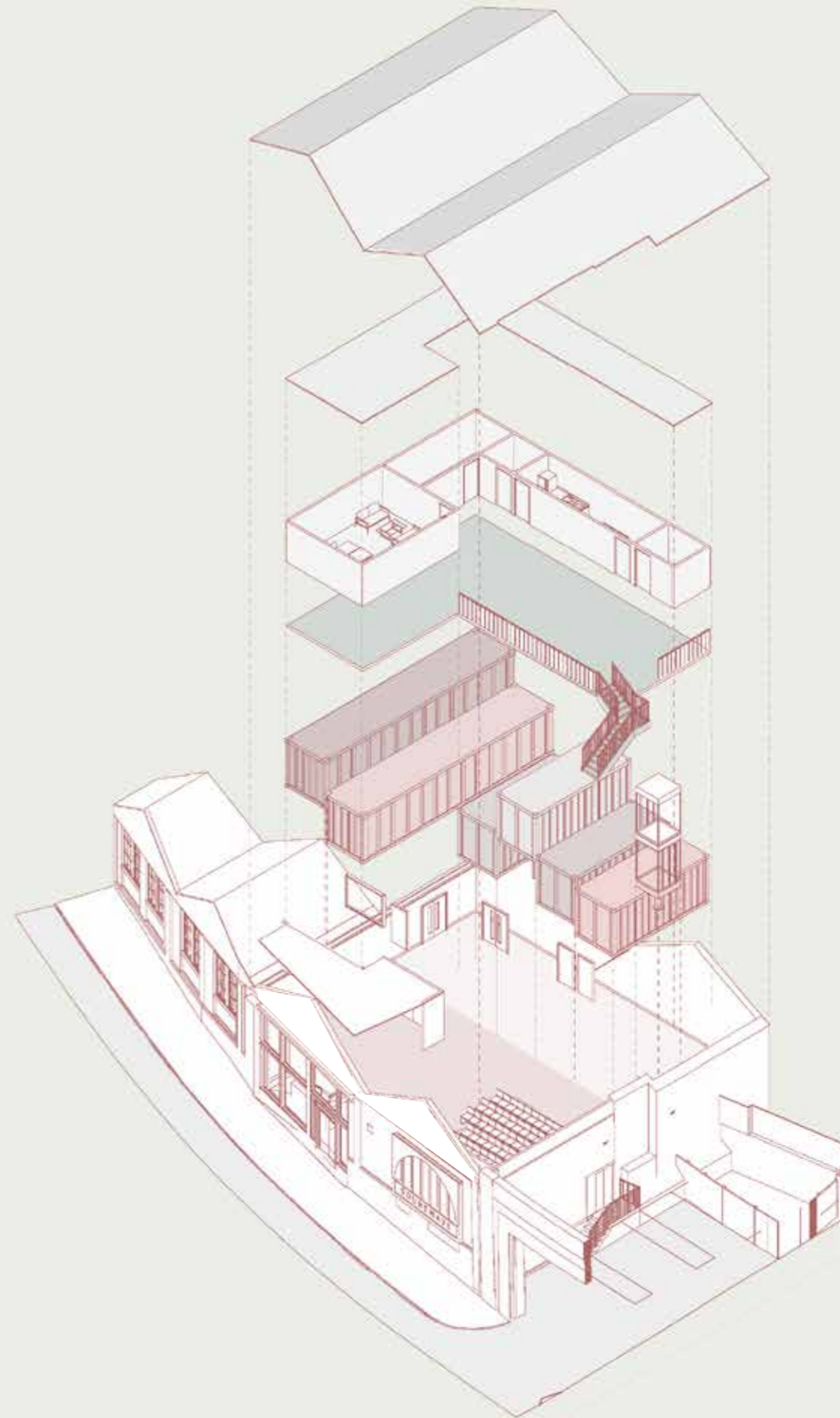
Embracing the industrial aesthetics and integrating them into the design can create a distinctive and visually appealing space that showcases the character of the building.

## 2.5 Design Proposal

The project is largely informed in narrative by celebrating the industrial warehouse nature of the building - this informing and directing the elevational treatment. The main focus is to retain the industrial character of the elevation while increasing openings to allow daylighting into the space and increasing the structural stability of the building.

Commercial shipping containers will be used to create the internal accommodation. Stacking these will create a galley and first floor viewing platform.

The ground floor accommodation will meet the charities client facing needs, while the first floor will accommodate the back of house areas such as storage and office accommodation.

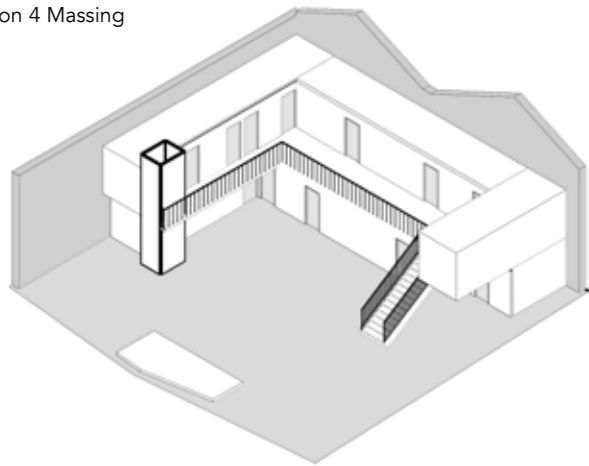




## 2.6 Design Development

A number of internal layouts and configurations have been explored to assess what would create the best layout for the charity. Some of these can be found on this page.

Option 4 Massing



Option 4 Ground Floor Layout

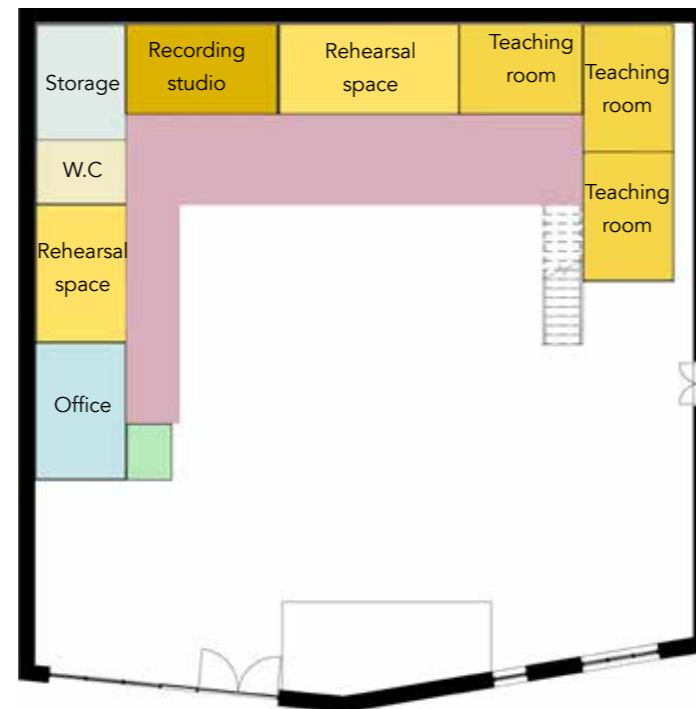
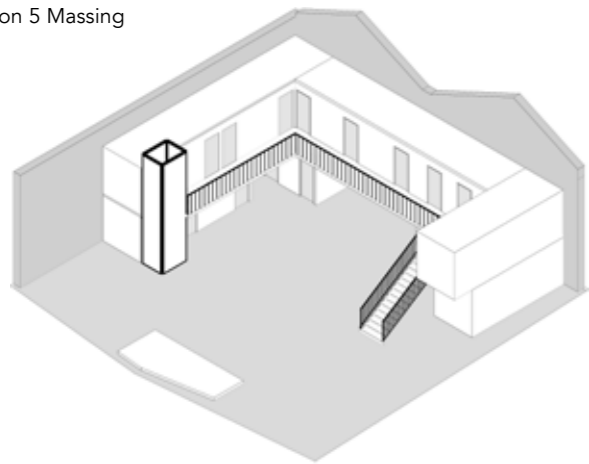


Option 5 Ground Floor Layout



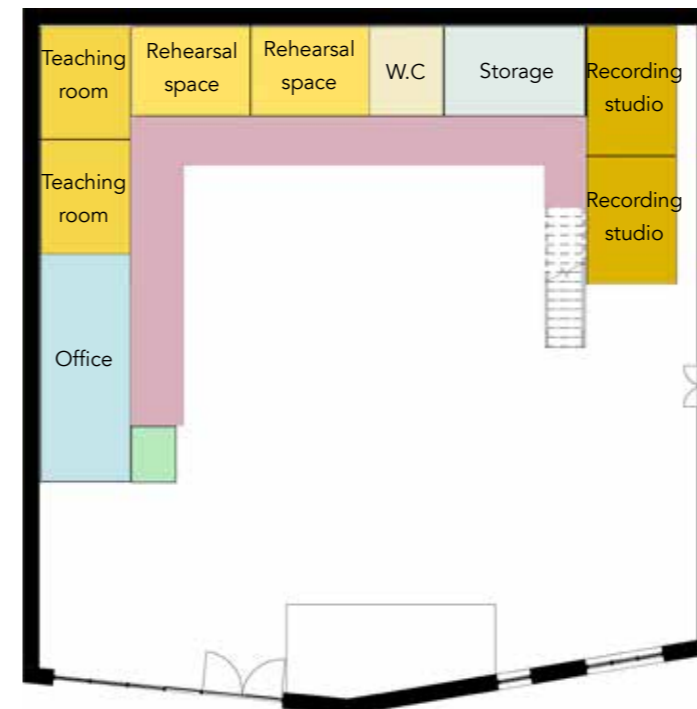
Option 6 Ground Floor Layout

Option 5 Massing



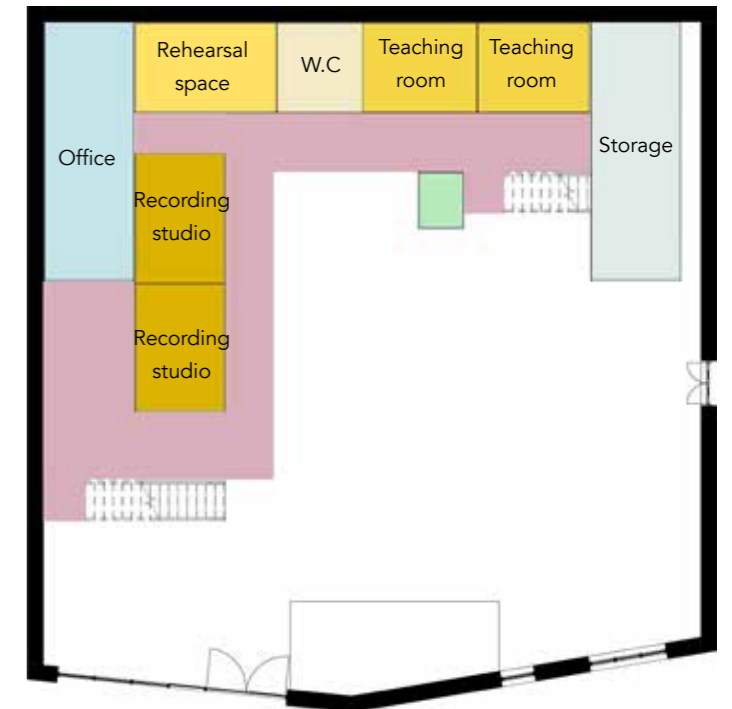
Option 4 1st Floor Layout

Option 4 offers a large rehearsal room and most of the storage space is on the ground floor. The office space is small enough for 2-3 desks.



Option 5 1st Floor Layout

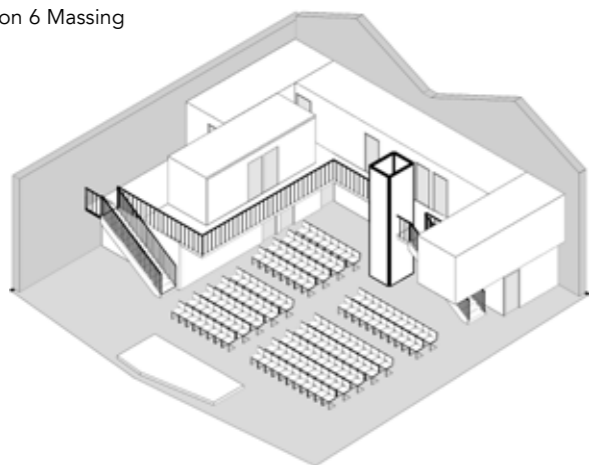
Option 5 similar to option 1 most of the storage is on the ground floor. This option offers 4 recording studios and a larger office space.



Option 6 1st Floor Layout

Option 6 offers 4 recording studios and one larger rehearsal space. The larger storage is on the 1st floor this time since on the ground floor you would only need to store the chairs for the concert. This option also offers a larger office.

Option 6 Massing



## 2.7 Proposed Plans

Design iterations were discussed with the client and the Soundwave organisation to help refine the brief and further understand the spatial requirements of the organisation.

The proposed plan creates a central performance space with smaller accommodation such as music rooms and recording studios located in containers around the perimeter. Client facing spaces are on the ground floor, with staff accommodation located at first floor. A small lobbied entrance is also proposed to help with acoustic.

### Acoustic:

Please refer to the acoustic report for further detail on the acoustic strategy.

### Fire:

Based on the two escape exits from the existing building (both double door sets) we have assumed a maximum theoretical occupant load the building can accommodate is 258 occupants. Therefore the fire strategy is based on a maximum occupancy of 200 people for events. The day to day occupancy will be lower.

Occupants will be awake but may be unfamiliar with the building layout. Management protocols will be in place to aid evacuation in the event of fire.

The container rooms are inner rooms because escape passes through the performance area. The following conditions will be met to mitigate the risk of occupants not being aware of fire development within the access room

- The occupant limit of the inner rooms will be less than 60 persons;
- The inner rooms will be entered directly from the access room or via a lobby area;
- The travel distance from any point in the inner rooms to the exits from the access room should not exceed the allowable travel distances;
- The access room is protected by an automatic smoke detectors.

Proposed access to the mezzanine floor is via an unenclosed stair which does not deliver direct to outside the building. This layout is permitted in accordance with BS 9999 because the mezzanine is considered part of the performance space via vertical open special planning.

Management processes will be put in places to enable wheelchair users to evacuate safely. Both exits are sufficiently wide to enable wheelchair evacuation.

The venue should be provided with a category L1 / M alarm and detection system, designed, installed, commissioned, and maintained in accordance with BS 5839-1. The main performance space should be

equipped with an aspirating smoke detection system such as VESDA to enable early detection of fire and smoke to shorten pre movement evacuation times.

### Materiality:

Facade - Brick, render with signage panel, and glazing.

Roof - New roof will be a timber frame with insulated Kingspan roof sheets.

### Signage:

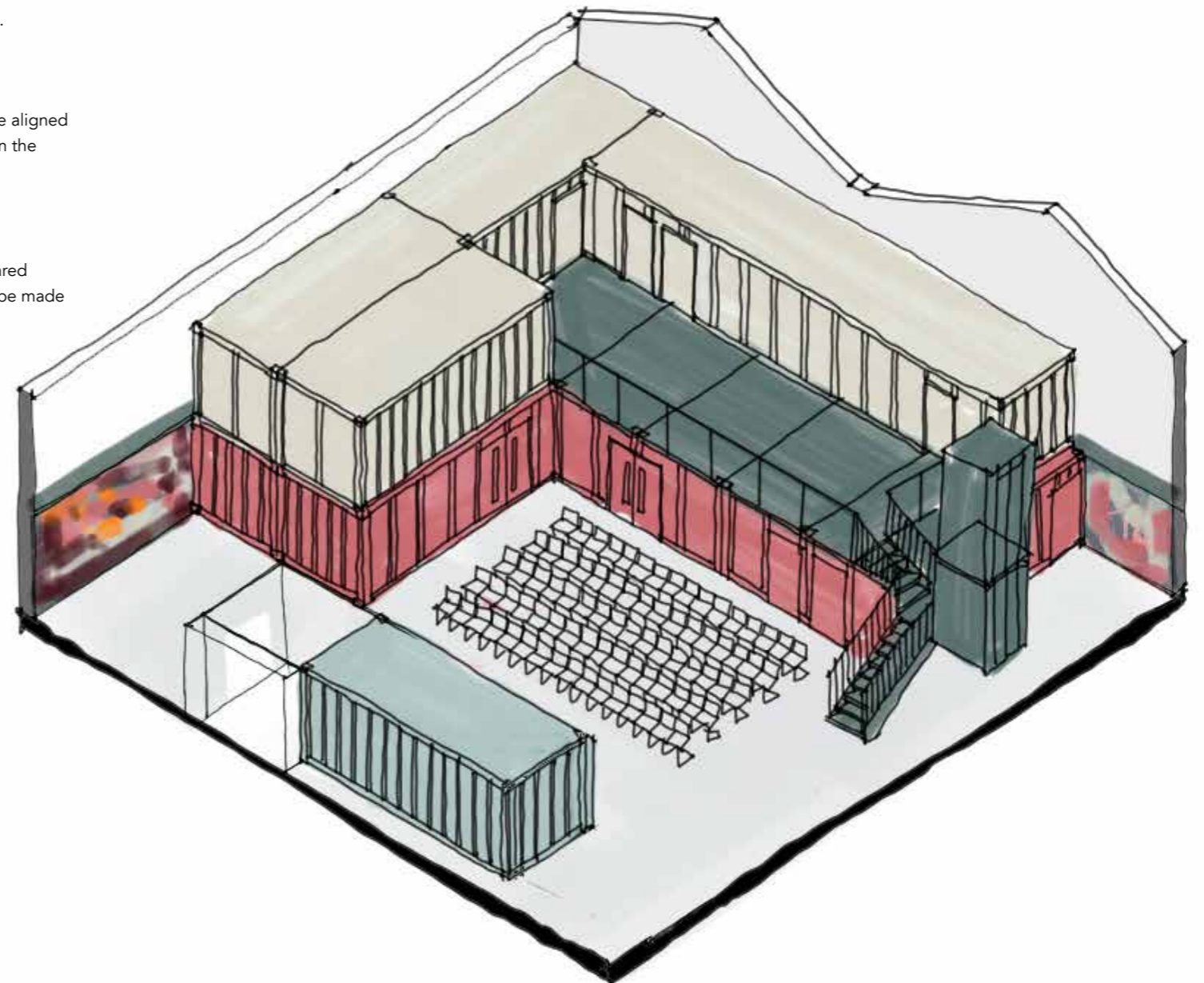
Backlit signage panel to the front elevation, refer to drawings.

### Refuge:

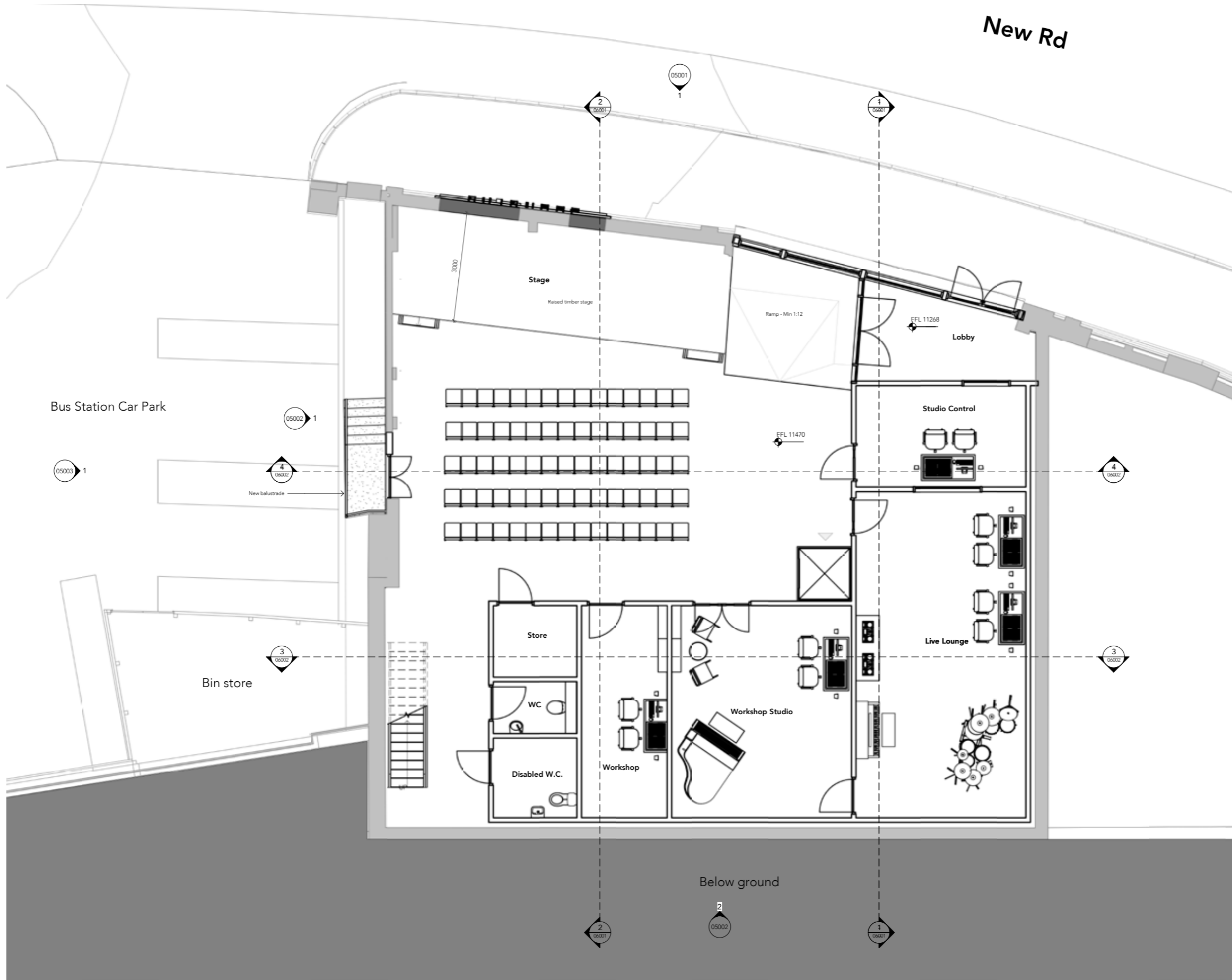
The external bin store will be used and refuge collection will be aligned with the refurbished Bus Stations collection, which is also within the ownership of the client.

### Parking:

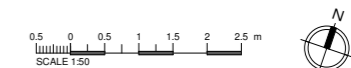
The use of public transport will be promoted. There will be shared parking facilities with the Bus depot but further parking will be made available off Wellington Row.



Proposed Axonometric



| Room Schedule        |                   |
|----------------------|-------------------|
| Name                 | Area              |
| 00 Ground Floor Plan |                   |
| Stage                | 28 m <sup>2</sup> |
| Workshop             | 29 m <sup>2</sup> |
| Studio               | 5 m <sup>2</sup>  |
| Disabled W.C.        | 28 m <sup>2</sup> |
| Live Lounge          | 14 m <sup>2</sup> |
| Workshop             | 13 m <sup>2</sup> |
| Studio Control       | 3 m <sup>2</sup>  |
| WC                   | 4 m <sup>2</sup>  |
| Store                | 11 m <sup>2</sup> |
| Lobby                | 11 m <sup>2</sup> |
| 01 First Floor Plan  |                   |
| Kitchen              | 4 m <sup>2</sup>  |
| Store                | 14 m <sup>2</sup> |
| W.C.                 | 5 m <sup>2</sup>  |
| Office               | Not Enclosed      |
| Mezzanine            | Not Enclosed      |
| Void                 | Not Enclosed      |



P05 26.07.23 KC Final planning issue  
 P04 24.07.23 KC Updated planning drawings  
 P03 13.07.23 KC Planning Submission  
 P02 03.07.23 KC Planning Co-ordination  
 P01 18.04.23 TM First Issue  
**Rev Date Ints Details**  
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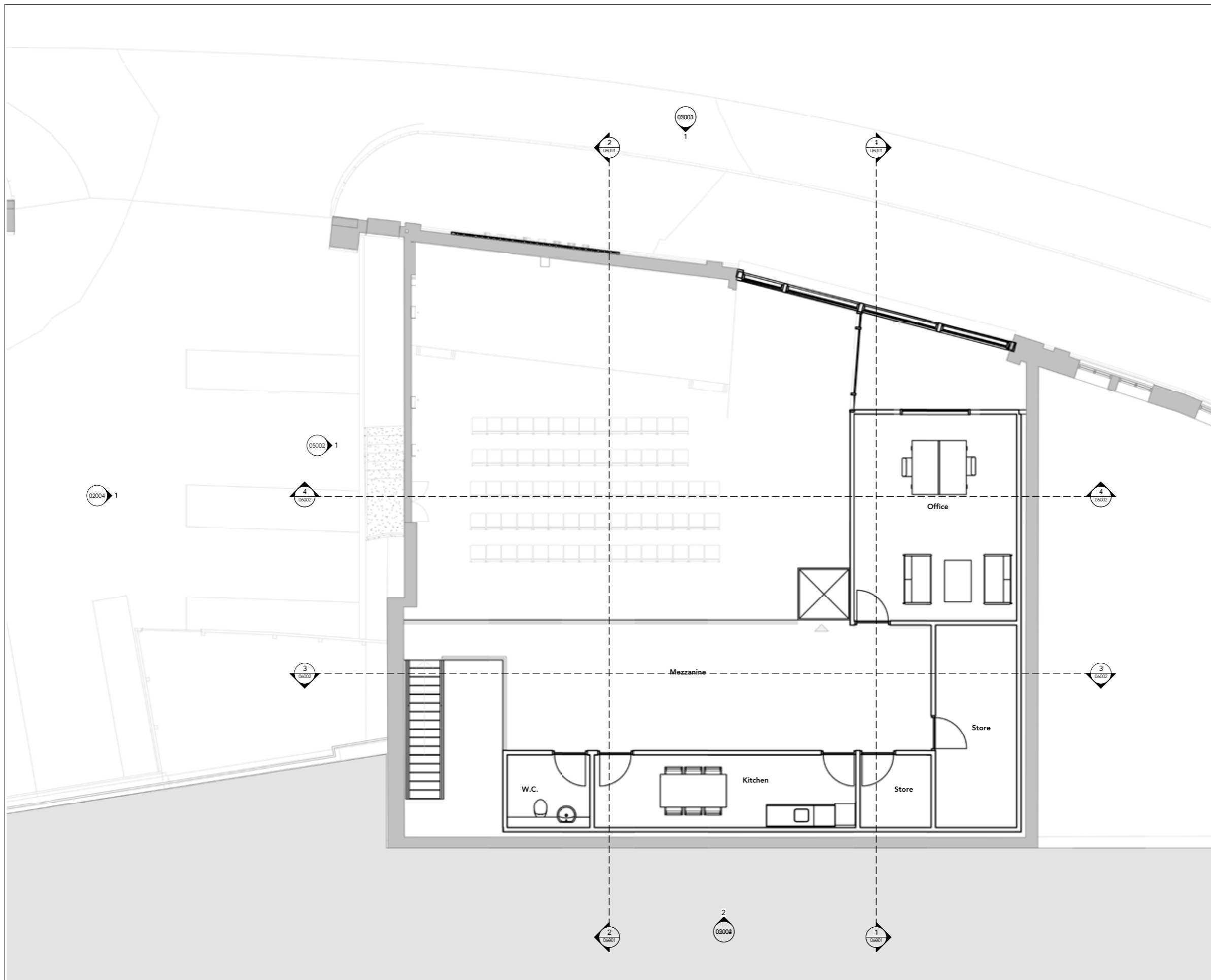
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**Project Title** Sound Wave  
**Client** REC (British Energy Coast)  
**Location** Bus Depot - Whitehaven  
**Drawing ref** Proposed Ground Floor Plan  
**Date** 26/07/2023 13:22:09 **Scale** 1:50  
**Checker** KC **Size** A1  
**Job No:** 9370 **Status** S3 Suitable for Review and Comments  

| Project                              | Origin | Volume | Level | Type | Role | Number | Rev |
|--------------------------------------|--------|--------|-------|------|------|--------|-----|
| <b>9370-BUT-XX-GF-DR-A-04002-P05</b> |        |        |       |      |      |        |     |

Proposed Ground Floor Plan



Note:  
Do Not Scale from this drawing.  
Dimensions are to be checked on site.  
If in doubt please ask.



|     |          |    |                           |
|-----|----------|----|---------------------------|
| P04 | 24.07.23 | KC | Updated planning drawings |
| P03 | 13.07.23 | KC | Planning Submission       |
| P02 | 03.07.23 | KC | Planning Co-ordination    |
| P01 | 18.04.23 | TM | First Issue               |

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**Project Title** Sound Wave  
**Client** BEC (British Energy Coast)  
**Location** Bus Depot - Whitehaven

**Drawing ref** Proposed First Floor Plan

**Date** 24/07/2023 12:06:37 **Scale** 1 : 50

**Checker** KC **Size** A1

**Job No:** 9370 **Status** S3 Submit for Review and Comments

| Project                              | Origin | Volume | Level | Type | Role | Number | Rev |
|--------------------------------------|--------|--------|-------|------|------|--------|-----|
| <b>9370-BUT-XX-1F-DR-A-04003-P04</b> |        |        |       |      |      |        |     |



Proposed North Elevation



Nigh time internal view during a concert



Daytime internal view of the concert area

# Buttress

Architects | Masterplanners | Heritage Consultants