

Design and Access Statement (DAS)

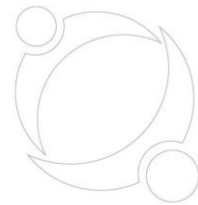
DAS-001

Plot 3, Cleator Gate, Jacktrees Road

Cleator Moor, Cumbria

Proposed Dwelling

15/04/2021



Document Control

Date	Issue Number	Change/Amendment	Author:
12.11.19	0.0	First Draft	



Approval and Sign off

Project: Plot 3, Cleator Gate, Jacktrees Road, Cleator Moor, Cumbria

I have reviewed and approved the Design & Access Statement and all associated documentation for the Project named above, with changes, additions, deletions or corrections as annotated in the instructional designer's master copy.

I hereby give you approval to proceed with creating the drafts of all workbooks, scripts, and other course materials.

I also give my approval for you to invoice my department for satisfactory completion of the Design Plans milestone of this project.

I understand that further changes to the structure, objectives, or content of the course (aside from those specified in the designer's master copy) will likely result in a delay in the final delivery date and could result in additional costs.

A Design and Specification Author

.....	15 th April 2021
Print	Sign	Date

B Design and Specification Approver

.....	15 th April 2021
Print	Sign	Date

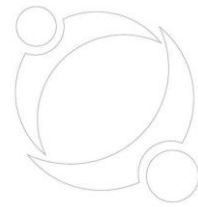
C Design and Specification Sponsor (Clients)

Chloe Bell & Reece O'conner	15 th April 2021
.....	Sign	Date
Print		



Contents

1.	Introduction	5
2.	Flood Risk	5
3.	Use	7
4.	Appearance	8
5.	The Jacktree's Road Vernacular	9
6.	Housing Character.....	9
7.	Secured by Design	9
8.	Energy Efficiency	9
9.	Access.....	10
10.	Scale	10
11.	Proposal	10
12.	Amount	11
13.	Overlooking & Impact	11
14.	Environmental and geological.....	12
15.	Drainage.....	13
16.	Vision.....	14
17.	Appendices.....	15



1. Introduction

This Planning Statement supports a full planning application by Chloe & Reece for a residential development at Plot 3, Cleator Gate, Jacktrees Road, Cleator Moor. This is a full planning application for a dwelling.

This Planning Statement provides a summary of all relevant information about the proposed development and assesses the proposal in relation to all relevant adopted policy and other policy guidance including emerging policy.

Chloe & Reece are committed to the delivery of this scheme at Plot 3, Cleator Gate, Jacktrees Road and has carried out extensive studies, surveys, consultations, outline planning applications and assessments, in order to create a deliverable, and sustainable residential development.

This Planning Statement is just one of a number of documents in addition to the planning drawings submitted in support of this application. The full list of supporting documents is as follows:

- Plans
- Previous Planning Approval
- Design and access statement
- Ground Investigations

2. Flood Risk

A floodplain is the area that would naturally be affected by flooding if a river rises above its banks, or high tides and stormy seas cause flooding in coastal areas.

There are two different kinds of area shown on the Flood Map. They can be described as follows: Dark blue shows the area that could be affected by flooding, either from rivers or the sea, if there were no flood defences.

This area could be flooded: from the sea by a flood that has a 0.5% (1 in 200) or greater chance of happening each year or from a river by a flood that has a 1% (1 in 100) or greater chance of happening each year.

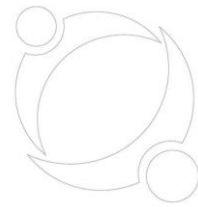
Light blue shows the additional extent of an extreme flood from rivers or the sea. These outlying areas are likely to be affected by a major flood, with a 0.1% (1 in 1000) or greater chance of occurring each year.

These two colours show the extent of the natural floodplain if there were no flood defences or certain other manmade structures and channel improvements.

Flood Defences

The purple line shows some of our flood defences built to protect against river floods with a 1% (1 in 100) chance of happening each year, or floods from the sea with a 0.5% (1 in 200) chance of happening each year, together with some, but not all, older defences and defences which protect against smaller floods. Flood defences that are not yet shown will be gradually added.

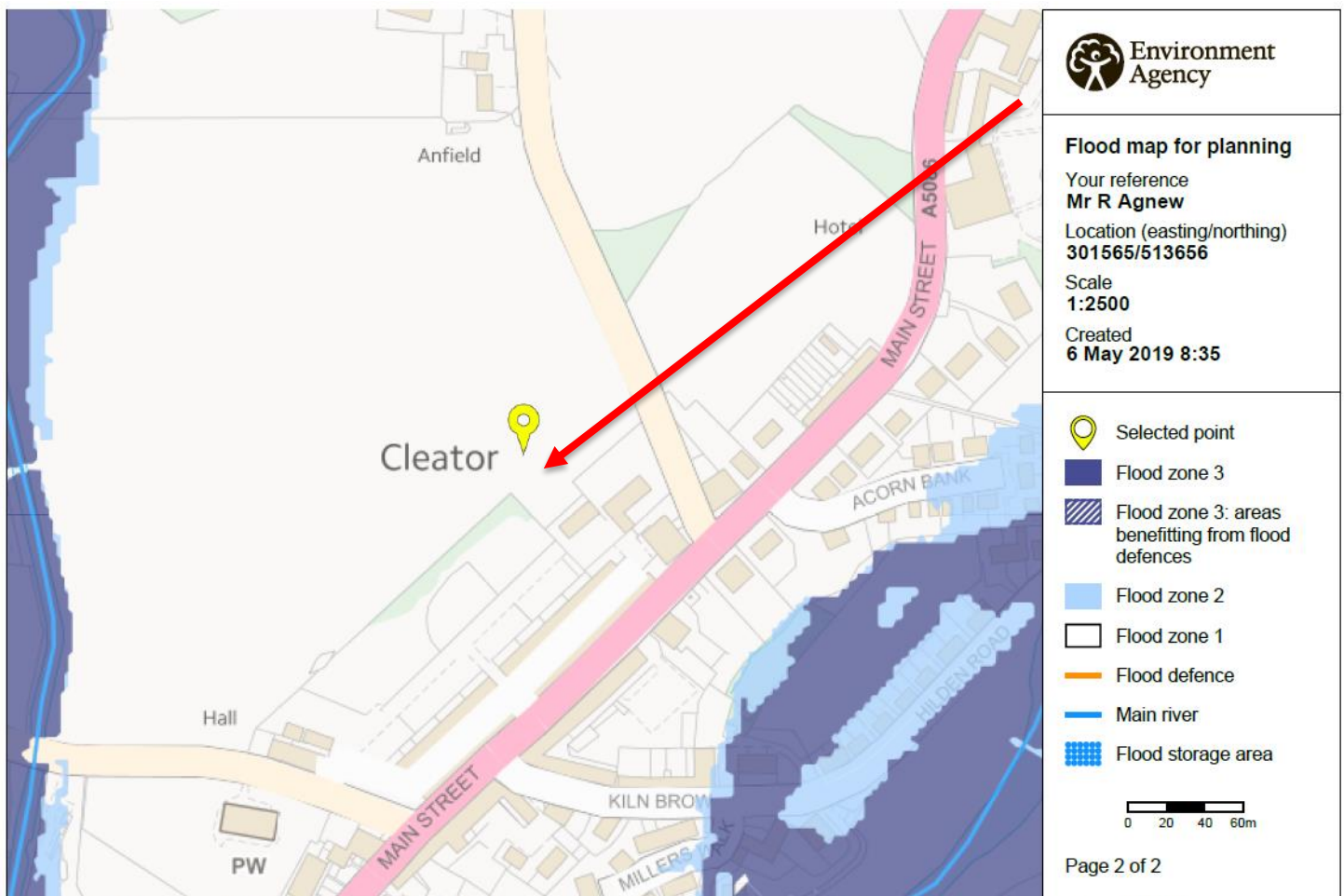
Hatched areas benefit from flood defences, in the event of a river flood with a 1% (1 in 100) chance of happening each year, or a flood from the sea with a 0.5%



(1 in 200) chance of happening each year. If the defences were not there, these areas would be flooded. Not all areas that benefit from flood defences are currently shown, but the map is regularly updated as we obtain further information from our studies.

Flood defences do not completely remove the chance of flooding, however, and can be overtopped or fail in extreme weather conditions.

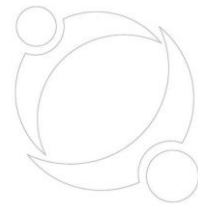
The Flood Risk information was obtained from the Environment Agency website.
Refer to the Integra Site Specific Flood Risk Assessment for further detailed information.



© Environment Agency copyright and / or database rights 2018. All rights reserved. © Crown Copyright and database right 2018. Ordnance Survey licence number 100024198.

Fig 1 – Environment Agency Flood Maps

It can be seen from the above that the property falls outside the floor risk area and therefore is safe to develop, it should also be noted that this has not been known to have flooded over the recent period as Policy ENV1 – Flood Risk and Risk Management.



3. Use

The site is currently allocated for residential use within the Copeland Local Plan along with and already approved outline & Full Planning Approval 4-19-2280-0F1 therefore, the proposed development of the site for residential use is considered appropriate.

The site is currently being used however historical land use was used as a commercial farm therefore classifying the site as brownfield (Policy SS2, ST2).

The proposed dwelling is proposed to provide a family home it is considered that the proposed development would accord with the aims of the Government & Copeland Borough Council Core Strategy and Development Management Policies as set out in line with the following;

- Policy ST1 – Strategic Development Principles
- Policy ST2 – Spatial Development Strategy
- Policy SS2 – Sustainable Housing Growth
- Policy SS4 – Community and Cultural Facilities and Services
- Policy ENV1 – Flood Risk and Risk Management
- Policy ENV5 – Protecting and Enhancing the Borough's Landscapes
- Policy SS2 – Sustainable Housing Growth
- Policy SS3 – Housing Needs, Mix and Affordability
- Policy DM10 – Achieving Quality of Place).
- Policy DM11 – Sustainable Development Standards
- Policy DM12 – Standards for New Residential Developments
- Policy DM14 – Residential Establishments
- Policy DM22 – Accessible Developments
- Policy DM24 – Development Proposals and Flood Risk
- Policy DM26 – Landscaping

Copeland Borough Council Settlement Hierarchy

Local Centre: Arlecdon/Rowrah; Beckermest; Bigrigg; Cleator; Distington; Frizington; Haverigg; Kirkland / Ennerdale Bridge; Lowca / Parton; Moor Row; Moresby Parks; Seascale; St Bees; Thornhill	Convenience shopping to meet day-to-day needs, which could include farm shops or similar. Emphasis will be on retention of existing provision.	Emphasis will be on retention. Expansion potential may include tourism in some places, generally limited by environmental constraints. New provision most likely to be provided through conversion/ re-use of existing buildings or completion of sites already allocated.	Within the defined physical limits of development as appropriate. Possible small extension sites on the edges of settlements. Housing to meet general and local needs. Affordable housing and windfall sites.
--	--	--	--

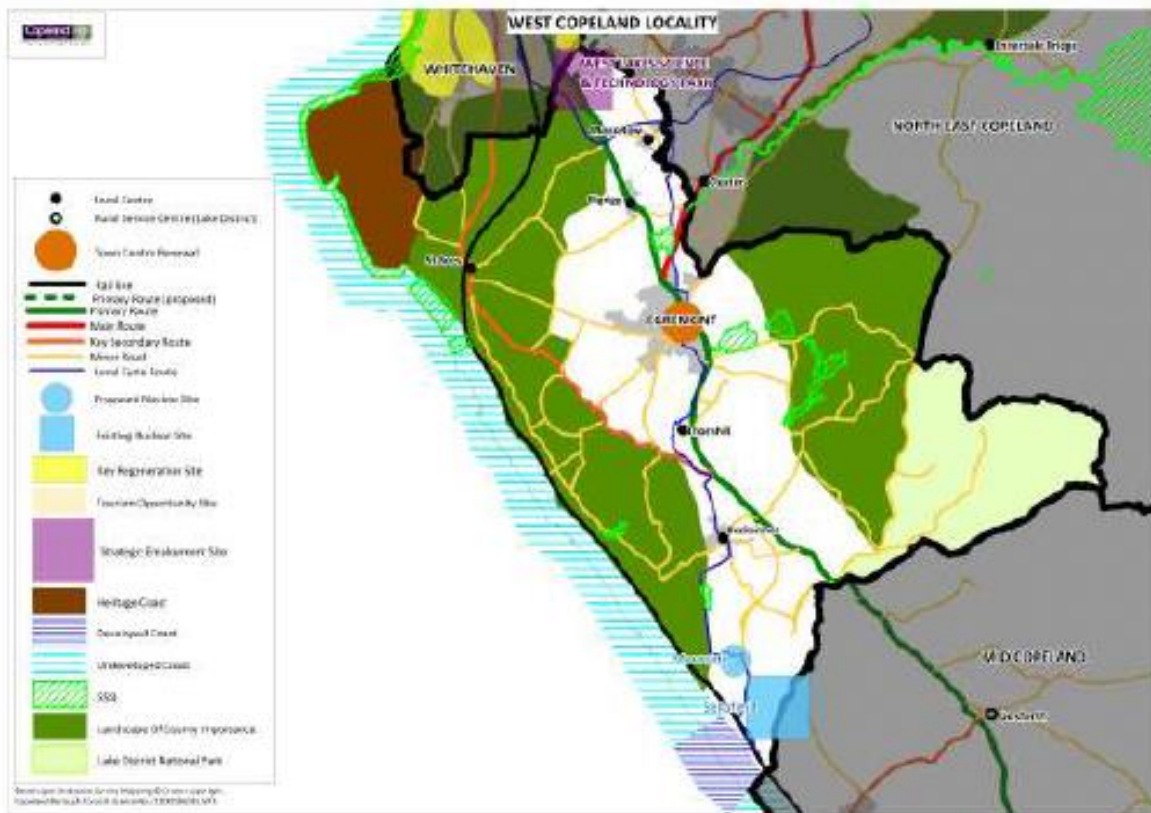


Fig 2 – Jacktrees Road falls under the “West Copeland Spatial Portrait”

4. Appearance



Fig 3 - Google map highlighting the area



5. The Jacktree's Road Vernacular

Jacktrees Road area has created its built form naturally with growth to suit the areas domestic or commercial needs, there are several different styles in the vicinity from detached, semi-detached, single & two storey properties.

There is no traditional set architectural style of Jacktrees or the immediate area, however the design, scale and massing of the property has been carefully considered to be complement the adjacent property (plot 4 & 5) and as agreed at the outline planning stage.

6. Housing Character.

The style of the development is considered sympathetic to it surrounding is to keep a constant theme running through the development, the proposed building ridge has been set lower than surrounding property and designed to keep the scale & massing to a minimum

Palette of materials:

- Roof – concrete flat tiles (to match Plot 4 & 5)
- Fascia & Soffits – Anthracite finish UPVC (to match Plot 4 & 5)
- External Walls – Grey facing brick and Lakeland slate panels (to match Plot 4 & 5)
- Windows & Doors – Anthracite UPVC, aluminium & Composite (to match Plot 4 & 5)
- Plot parking and footpaths – permeable setts – Marshall Tegulars (black)
- Boundary walls – 1800mm & 900mm timber hit & miss fence - (to match Plot 4 & 5)
- Garden Area - Grassed (to match Plot 4 & 5)

7. Secured by Design

In relation to designing out crime, we have endeavoured to keep the existing wall that provides a defensible rear & side boundary (Policy DM10 – Achieving Quality of Place) with modern compliant doors and window locking systems to PAS 24 legislation.

8. Energy Efficiency

We can confirm that the following design principles will be adopted for the development to reduce the thermal conductivity with the aid of modern insulation materials, reduced thermal bridging and improved air tightness of the dwelling, supplemented by a highly efficient energy source.

Using these principles for the dwelling design, Summary of the energy efficient construction of the dwelling: -

- Ground Floor – Concrete Slab with PUR insulation and screed achieving a U-Value of 0.20W/m2K
- External Walls – Cavity Wall with 100mm PUR insulation solid wall achieving a U-Values of 0.22 W/m2K
- Roof – 150mm PIR between and 50mm PIR under - 400mm mineral fibre insulation quilt to flat ceilings areas and 150mm PIR between and 40mm PIR under rafters to sloping areas to achieving a U-Value of 0.09 W/m2K
- Windows – PVCU, double glazed, low e coating and argon filled achieving a U-Value of 0.12 W/m2K
- Doors – Composite external doors construction achieving a U Value of 1.2 W/m2K



In addition to these measures the dwellings have been designed with an air tightness of $>4\text{m}^2/\text{hr}@50\text{pa}$, this significantly exceeds the current standards set out in the Building Regulations.

After the design of the external envelope of the building was finalised, the demands for heating and hot water were analysed to determine a system that would be most appropriate for the development. The pro-posed solution is to incorporate a highly efficient condensing boiler.

Use of low energy LED light fittings across the scheme further enhances the carbon efficiency of the development, Low flow rate taps, showers and reduced capacity cisterns all combine to further ensure efficient use of water; reducing total water demand by this residential scheme markedly.

Provision for the storage of waste recycling receptacles will be provided and a Site Waste Management Plan will be implemented during the construction phase of the development reducing the amount of waste that would be ultimately destined for landfill (Policy DM11 – Sustainable Development Standards).

9. Access

There are existing highways roads to the south elevation with the existing entrance to Plot 3. The plot benefits from parking for 2-3 cars and suitable turning as indicated on plan and boasting 70m^2 permeable Marshal Tegulars driveway with the site entrance provided with full length channel drain (as plan) to prevent rainwater runoff onto highway.

10. Scale

The proposed development has been designed in keeping with the local vernacular architecture and to replicate the scale of Plot 4 & 5.

- 390.9m^2 – Rear Garden
- 128m^2 – Front Garden
- 70m^2 - Driveway
- 840.8m^2 – Plot

It is considered that the scheme respects the visual environment in which it sits and would positively enhance the locality by redeveloping the existing redundant plot, every effort has been made to ensure the scale of the proposed development reflects that of proposed neighbouring properties and the site.

- Plot size 840.8m^2
- Dwelling size 131m^2
- Plot Development ratio 16.0 %

This development ratio is considered very low in comparison to the majority of all new builds

11. Proposal

The proposal is to provide full planning for a proposed 5 bed self-build dwelling which is highlighted as a shortage with a maximum capacity of 10 people in line with the interim housing policy and in the SHLAA – see below abstract



Proposed Five Bedroom Dwelling

DAS-001

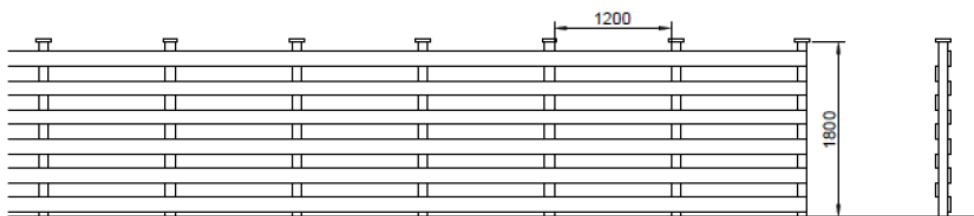
Variation in current dwelling profile from household aspirations

Dwelling type	Sub-area	
	Whitehaven	Cleator Moor
House 1/2 Beds	5.8	10.7
House 3 Beds	12.0	13.2
House 4 or more Beds	-9.9	-12.6
Bungalow	-12.1	-8.5
Flat	4.2	-3.0

Variation in current dwelling profile from household expectations

Dwelling type	Sub-area	
	Whitehaven	Cleator Moor
House 1/2 Beds	-2.5	2.4
House 3 Beds	7.7	8.9
House 4 or more Beds	0.1	-2.6
Bungalow	-8.4	-4.9
Flat	3.2	-4.1

It is proposed to retain the existing wall to the South, West & East rear boundary elevation we propose an 1800mm high timber post, hit & miss fence between Plot 2 & next phase development as below



12. Amount

The proposed dormer dwelling suggestions the following dimensions;

- Plot size – 28800mm wide x 32200mm deep
- Plot area – 840.8m²
- Parking /hard standing area m x 11.500mm x 6.100mm drive to the front – 70m² - 2-3 car (Parking)
- 1400mm to East boundary & 4600mm to the West boundary
- Front garden - 6500mm x 20000mm – 146m²
- Rear Garden - 28800mm x 15000mm – 342.9m²
- Dwelling plan – 12000mm x 12500mm – 131m² footprint

13. Overlooking & Impact

The proposal is considered that acceptable overlooking distances would be maintained throughout the site and provide a balance which results in a good design solution for the site,

- Front elevation would face the road (North) with minimum 22.2m separation distance
- Rear elevation would face over large rear garden (South) with 19m separation distance – due to not fully according to planning guidance policy DM12 we would revoke out rear extension permitted development rights.
- Gable elevation would face over adjacent plots
- All WC's and bathrooms and gable windows to have obscure glazing (grade 5 translucence)



14. Environmental and geological

The site has not been inspected and tested or benefit from a phase 1 desk top study or phase 2 ground investigation Report however I have highlighted the following;

- No ground contamination thought to be on site however the owner and ground workers **MUST** carry out a watch brief and if any contamination found it must be reported to ABC
- Foundations need inspected by Building Control, they will confirm that the property will be suitable on either a raft or reinforced strip footing – report to be finalised for Building Control)
- Full radon barrier required (vented sub floor)

Surface water to be discharged into existing drainage system as shown on drainage plan.

Environmental performance

The Main Contractor will be carrying out the following tests in order to ensure current environmental standards are met and ideally surpassed throughout the works.

- Air quality monitoring will be undertaken at key stages throughout the works where airborne dusts and omissions and issues could be identified.
- Noise and vibration monitoring will be undertaken to ensure acceptable levels are adhered to or surpasses and assessed throughout the works.
- Hazardous material testing where identified will be undertaken alongside specific works RAMS and requirements as per UKAS17025 and associated asbestos documentation (please see separate reports).
- The existing infrastructure has been fully tested and cleared for all residues, oils and contamination and materials from within the existing client's site information.
- Full certification and associated completion reports are included within this pack and will be confirmed prior to removal of potentially sensitive items if required or highlighted during a watch brief
- All work to be carried out in accordance with the Construction Phase Plan and Health & Safety Method Statement carried out by the contractor.

Contaminated Land

The site has no known (expressed) contamination however if any contamination was found the during the watch brief the site would require a phase 1 desk top study carried out to highlight the necessity to carry out the phase 2 ground investigation or Phase 3 remediation as required by the Environmental Health Act Part 2A,

Sound

To Be Kept to a minimum throughout the works. Where excessive noise is required for short periods this works should be undertaken between the hours of 8am-5pm.

Road Cleaning

To be conducted pro-actively throughout the works if required using mechanical sweeping if required

Air Quality/Dust Management

All Operatives to wear suitable RPE and PPE throughout the works. Pre-dampening and pre-cleaning will minimise the potential for dust nuisance.

Water usage should be restricted to just enough to dampen the area and not cause undue water run off or damage.



Excess water to be controlled and sifted prior to be directed to surface water drainage. Water usage is to be monitored throughout the works by the site supervisor.

Waste (including Hazardous)

All waste will leave site as per the current Hazardous Waste Regulations 2009 and be disposed on in a safe manner to the required landfill – Main contractor's responsibility.

Water Courses and Groundwater

No water courses currently would be affected within the site boundary

15. Drainage

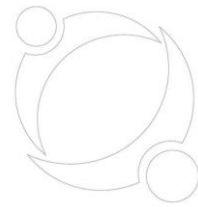
The site also benefits from a separate drainage system (surface and foul water) see plan for location of on-site drains, it is intended that the foul and surface water would be laid around the property to facilitate or proposal.

The foul and surface water layout will be as drainage plan, the drains will/do consist of the following;

- 100mm waving plastic drainage system
- 100mm concrete encasement (where required for protection) or full bedded in pea gravel
- 1-60-80 falls minimum
- 450mm PPIC Inspection chambers at change of gradient and direction
- 4-bedroom dwelling = 6 people x 200lt per person per day = Total 1200lt per day norm

ALL DRAINAGE WILL BE INSTALL AS APPROVED DOCUMENT PART H

Drainage Pipes to be 100mm Plastic Pipe Laid in accordance with Approved Document Part H (Assume FFL Plot = 10.00)				
Surface Water Drainage				
Chamber Name	Invert Level	Cover Level	Distance	Fall
Existing	8.900	9.650		
S1	9.000	9.850	6.800	1:68
S2	9.280	9.850	10.800	1:90
S3	9.380	9.850	8.200	1:82
S4	9.250	9.850	10.500	1.70
Foul Water Drainage				
Chamber Name	Invert Level	Cover Level	Distance	Fall
Existing	9.150	9.650		
F1	9.300	9.850	10.300	1.68
F2	9.450	9.850	9.600	1.64
F3	9.550	9.850	5.500	1.55
F4	9.250	9.850	6.900	1.69
F5	9.400	9.850	8.200	1.54



16. Vision

- To propose a scheme that fulfils the requirements and principles set within Copeland Borough Councils Local Plan, outline planning approval and Interim Housing Policy.
- The proposed scheme seeks to create a sense of space within a design led approach that contributes positively to locality and responds creatively to the setting and maximising the site.
- The aspiration to create a cohesive design that brings character to the area and exciting home that meet the needs of residents, CBC Planning Policy, and minimise impact on the environment.
- The design aspirations for the proposed follows key objectives for good urban design
- The plot will provide positive amenity for the residents (parking and recreational).
- Layouts and design seek to maximise privacy, create street scene interest through and minimise the impact on adjacent property/land owners.
- Suitable vehicular and pedestrian's access in accordance with highways requirements and turning to the site entrance.



17. Appendices

Photo 1 – Arial Photo of whole Site



Photo 2 – Arial Photo viewing East

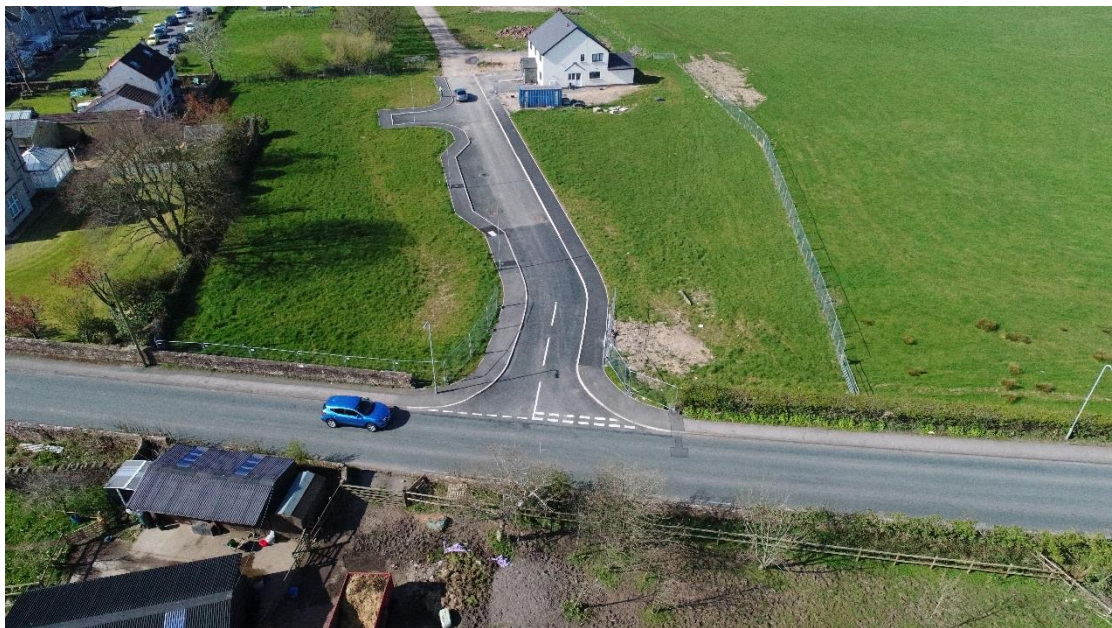




Photo 1 – Arial Photo viewing South



Photo 4 – Arial Photo viewing West





Fig 4 - Copeland Borough Council - Interim Housing Policy



Interim Housing Policy

Overview

On the 9th May 2017, Copeland Borough Council announced that it cannot demonstrate a five-year supply of housing sites. The Council accepts therefore that “*policies for the supply of housing*” set out within the Copeland Local Plan 2013 – 2028 (Core Strategy and Development Management Policies) will no longer be deemed up-to-date; and these policies carry less than full weight in decision-making.

Interim Housing Policy (2017)

The Council will continue to support applications that are in accordance with the development plan. However, in order to encourage sustainable development and boost housing delivery, a decision-making framework for planning applications that may not be fully in accordance with the development plan has been set out.

The Council will (in addition to the development plan and other material considerations) consider residential development proposals contiguous to the development boundary, or the existing built form of a settlement, against each of the following criteria:

- A. The scale of proposed development must be appropriate to the size, character and role of the settlement. In deciding whether the scale is appropriate, account will be taken of the cumulative impact of completions and permissions for the settlement concerned.
- B. The level of services and facilities in the settlement, as defined in the Village Services Survey (2017). To encourage sustainable development, preference will be given to schemes which are contiguous to settlements that have the greatest concentration of facilities and services. Information provided by applicants which seeks to update the survey will be a material consideration.
- C. Proposed development should not have a significant adverse impact on the capacity and safety of the highway and transport network.
- D. Individual and cumulative impacts of development on infrastructure capacity (for example: education, health provision, surface water management, adult social care), and landscape character should be mitigated.
- E. Proposed development should create safe and accessible environments that offer good access via a range of transport modes. Sites where it is possible to walk easily to a range of facilities will be considered more sustainable than sites that are further away and which would make car journeys more likely.
- F. Proposed development sites that fall within Flood Risk Zone 3a and 3b, as defined by Environment Agency's latest data, will be discounted unless robust evidence can prove



Fig 5 - Copeland Borough Council – Grant of Outline Planning Permission



Copeland Borough Council
The Copeland Centre,
Catherine Street, Whitehaven,
Cumbria CA28 7SJ

tel: 01946 59 83 00
email: info@copeland.gov.uk
web: www.copeland.gov.uk
twitter: @copelandbc

Town and Country Planning Act 1990 (As amended)

4/16/2351/OR1

NOTICE OF APPROVAL OF RESERVED MATTERS

Nicholson Nairn Architects
Bishops Court
Rectory Lane
WHICKHAM
Tyne and Wear NE16 4PA
FAO Mr Peter Elder

RESERVED MATTERS APPLICATION FOR LAYOUTS AND DRAINAGE
LAND ADJACENT TO CLEATOR GATE, CLEATOR
Mr W Agnew

The above application dated 07/10/2016 has been considered by the Council in pursuance of its powers under the above Act and APPROVAL OF RESERVED MATTERS HAS BEEN GRANTED subject to the following conditions:

1. The development shall be carried out in accordance with the plans submitted and in accordance with the conditions attached to the outline planning permission.

Reason

To comply with Section 92 of the Town and Country Planning Act 1990, as amended by the Planning and Compulsory Purchase Act 2004.

2. Permission shall relate to the following plans and documents as received on the respective dates and development shall be carried out in accordance with them: -
 - Proposed Drainage Layout, scale 1:200, drawing number 3439-C-101, received 15 June 2017
 - Section 104 Adoption Layout, scale 1:500, drawing number 3439-C-106, received 15 June 2017
 - Site Layout Plan, scale 1:500, drawing number 3439-C-107, received 15 June 2017
 - Proposed Highway Layout, scale 1:500, drawing number 21340-330, received 7 October 2016
 - Proposed Phase 2 Layout, scale 1:500, drawing number 21340-2010, received 7 October 2017
 - Proposed Highway Detail, scale 1:500, drawing number 21340-3301, received 7



October 2017

- Proposed Contractors Layout, scale 1:250, drawing number 21340-3400, received 7 October 2017

Reason

To conform with the requirement of Section 91 of the Town and Country Planning Act 1990, as amended by the Planning and Compulsory Purchase Act 2004.

Statement

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development as set out in the National Planning Policy Framework.

Please read the accompanying notice

06/07/2017

Pat Graham
Managing Director



**APPROVALS
(OUTLINE, FULL RESERVED MATTERS & HOUSEHOLDER)**

DEVELOPMENT MANAGEMENT PROCEDURE (ENGLAND) ORDER 2010

PART 2

TOWN AND COUNTRY PLANNING ACT 1990

Appeals to the Secretary of State

- If you are aggrieved by the decision of your Local Planning Authority to refuse permission for the proposed development or to grant it subject to conditions, then you can appeal to the Secretary of State under Section 78 of the Town and Country Planning Act 1990.
- If you want to appeal against your Local Planning Authority's decision then you must do so within 6 months of the date of this notice.
- Appeals must be made using a form which you can get from the Planning Inspectorate at Temple Quay House, 2 The Square, Temple Quay, Bristol BS1 6PN or online at www.planningportal.gov.uk/pcs.
- The Secretary of State can allow a longer period for giving notice of an appeal, but he will not normally be prepared to use this power unless there are special circumstances which excuse the delay in giving notice of appeal.
- The Secretary of State need not consider an appeal if it seems to him that the Local Planning Authority could not have granted planning permission for the proposed development or could not have granted it without the conditions they imposed, having regard to the statutory requirements, to the provisions of any development order and to any directions given under a development order.
- In practice, the Secretary of State does not refuse to consider appeals solely because the Local Planning Authority based their decision on a direction given by him.

Purchase Notices

- If either the Local Planning Authority or the Secretary of State refuses permission to develop land or grants it subject to conditions, the owner may claim that he can neither put the land to a reasonably beneficial use in its existing state nor render the land capable of a reasonably beneficial use by the carrying out of any development which has been or would be permitted.
- In these circumstances, the owner may serve a purchase notice on the Council (District Council, London Borough Council or Common Council of the City of London) in whose area the land is situated. This notice will require the Council to purchase his interest in the land in accordance with the provisions of Part V1 of the Town and Country Planning Act 1990.



Fig 6 – Site Allocations (Local Plan)

4.4 Cleator Moor Strategic Summary

Planning for Cleator Moor - the strategy

4.4.1 The Core Strategy lays down the following principles for the future development of Cleator Moor.

- As a Key Service Centre Cleator Moor is expected to accommodate at least 10% of the total development in the Borough.
- The town merits a moderate level of housing land allocation including extensions to the town as necessary, along with any unexpected 'windfall' housing development that may come along on infill sites within the existing built-up area. Larger sites should have a proportion of affordable housing. The strategy anticipates that the existing settlement boundary will need to be reviewed in the Site Allocations and Policies Plan, with the south west of the town being the most likely area for development land being found. (This is because of constraints, mainly protected nature areas and land prone to flooding, in other directions).
- Small and medium business enterprises will be encouraged to set up and grow, with a focus on links to the nuclear and tourism sectors. The evidence suggests that the existing supply of employment land should be retained, and not made available for non-employment purposes such as housing.
- The town should be supported to retain a range of shopping and leisure facilities, and mixed use development will be supported in and on the edges of the town centre.

Policy for housing

4.4.2 The strategic aim is for Cleator Moor to provide land for between 345 and 414 homes to be built by 2028. These figures would be enough to provide for the forecast needs of the town as well as allowing for growth. The Strategic Housing Land Availability Assessment has found land for 615 units, of which sites for 136 are deliverable within 5 years. On the face of it this suggests that enough land can be found to meet the town's targets.

4.4.3 The Strategic Housing Market Assessment, based on 2010 household survey data, suggests that the market supply of different types of home in Cleator Moor is reasonably balanced. However, there is unmet demand for larger detached houses. At present the precise impact of the under-occupancy penalty or 'bedroom tax' on demand for small units is not yet clear.

The preferred approach for Cleator Moor

4.4.4 The Borough Council is recommending that land be allocated to concentrate extension in particular directions. (See paragraph 3.5.30, Settlement Boundaries, Option 2.)

- allocate a package of sites in and next to the existing built-up area Housing Option 1) with growth southwards along Jacktrees Road (Housing Option 2);
 - retain existing employment allocations;
-



Figure 4.2: Sites suitable for allocation – Cleator Moor (with Cleator)

Place ref.	Site	SHLAA Ref	SHLAA RATING	Yield	Assessment
CMA	Leconfield Industrial Estate (also CM13)	CS29 LP E6	6-15	2.5 ha.	Retain for employment.
CMC	Market Street (see also CM7)	S176 LPCTC1	0-5	0.2 ha.	Opportunity site. OK mixed use or housing
CM1	Adj Mill Hill (phase 1)	S342	LP 2006	66	Consider allocation for housing
CM2	Adj Mill Hill (phase 2)	S343	LP 2006	70	Planning permission for housing and on site
CM5	Ehenside School site	CS14	0-5	43	Consider allocation for housing.
CM6	Dentholme Road	S163	0-5	10	Consider allocation for housing.
CM7	Market Street	S176	LP 2006	5	Consider allocation for housing. (TC opp. site)
CM8	Methodist Church	S154	0-5	10	Consider allocation for housing.
CM11	Holden Place	S314	0-5	12	Consider allocation for housing.
CM20	Ennerdale View	SR04	Disc.	93	Consider allocation for housing.
CM31	Jacktrees North	-	n/a	150	Consider allocation (on part – green gap)
CM32	Jacktrees South	-	n/a	30	Consider allocation (of part – green gap)
CM33	Mill Hill West	-	n/a	Up to 100	Consider allocating towards the end of the Plan period, if required.
				(499)	
CI1	Flosh Meadows	SR12	0-5	28	Planning permission for housing (subject to S.106 agreement being signed)
CI4	Kangol land	S031	Disc.	79	Planning permission for housing (subject to S.106 agreement being signed)
CI11 a	Church Street	SR15 (part)	Disc.	8	Consider allocation for housing.
CI11 b	Cleator Gate	SR15 (part)	Disc.	6	Planning permission for housing
CI12	Jacktrees South	-	n/a	50	Consider allocating part of the site for housing

Cleator Moor suitable sites total

499

With Cleator

660

Target 345 – 414

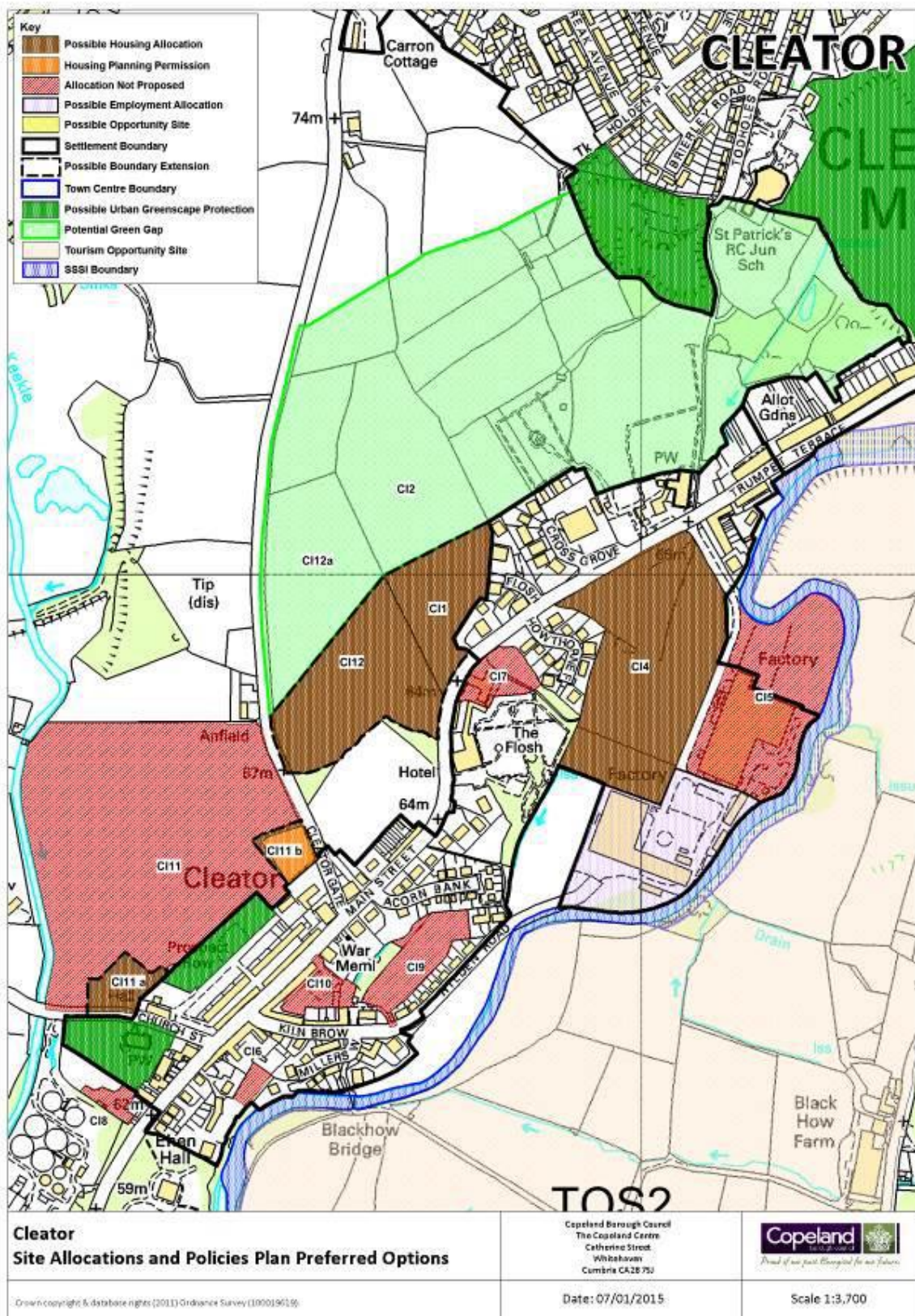




Fig 7 – Flood Map (Environment Agency)



Flood map for planning

Your reference
Mr R Agnew

Location (easting/northing)
301565/513656

Created
6 May 2019 8:35

Your selected location is in flood zone 1, an area with a low probability of flooding.

This means:

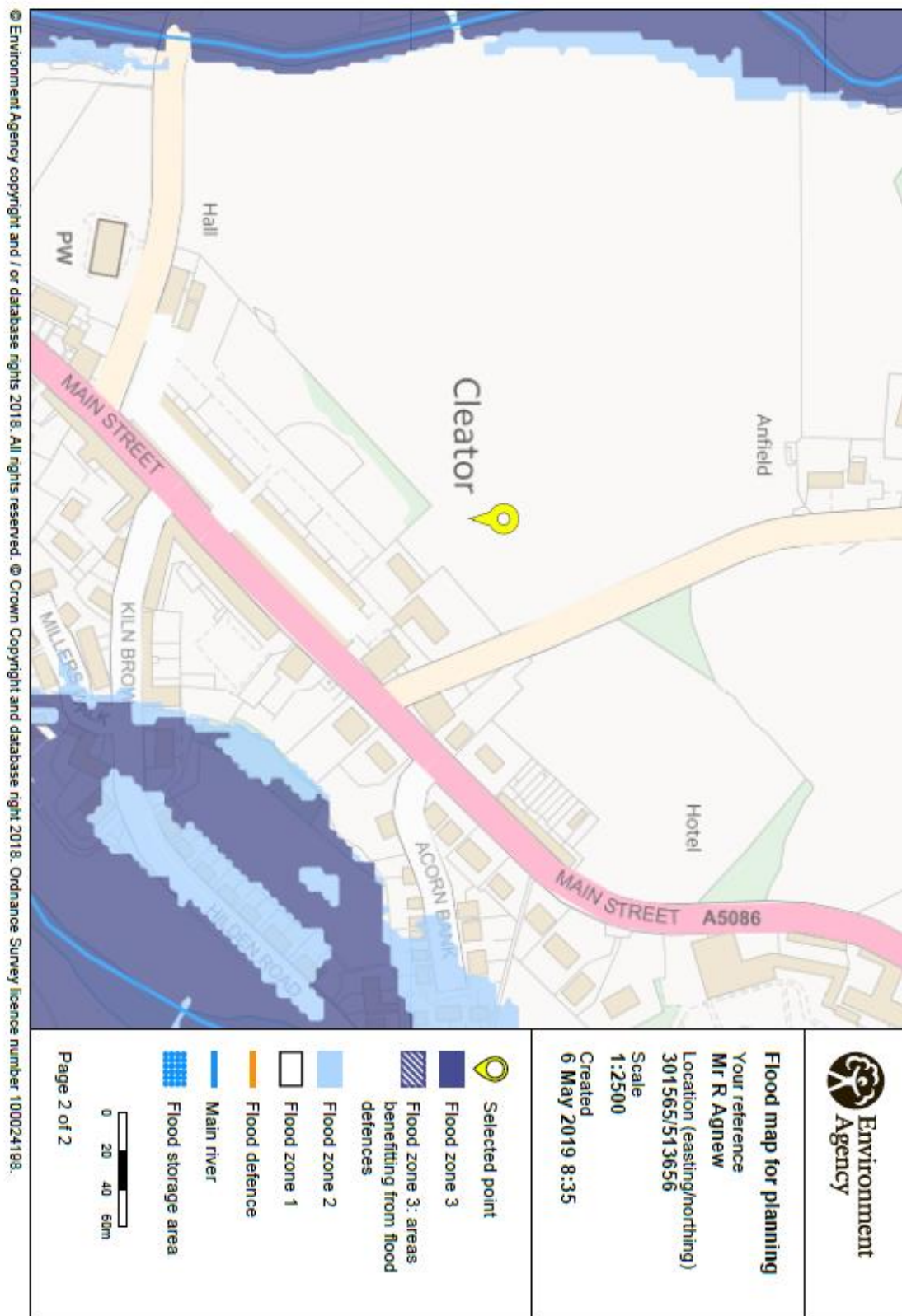
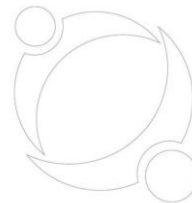
- you don't need to do a flood risk assessment if your development is smaller than 1 hectare and not affected by other sources of flooding
- you may need to do a flood risk assessment if your development is larger than 1 hectare or affected by other sources of flooding or in an area with critical drainage problems

Notes

The flood map for planning shows river and sea flooding data only. It doesn't include other sources of flooding. It is for use in development planning and flood risk assessments.

This information relates to the selected location and is not specific to any property within it. The map is updated regularly and is correct at the time of printing.

The Open Government Licence sets out the terms and conditions for using government data.
<https://www.nationalarchives.gov.uk/doc/open-government-licence/version/3/>



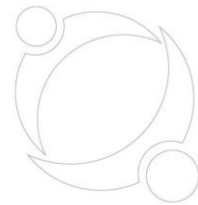




Fig 8 – Radon Report (BGS)

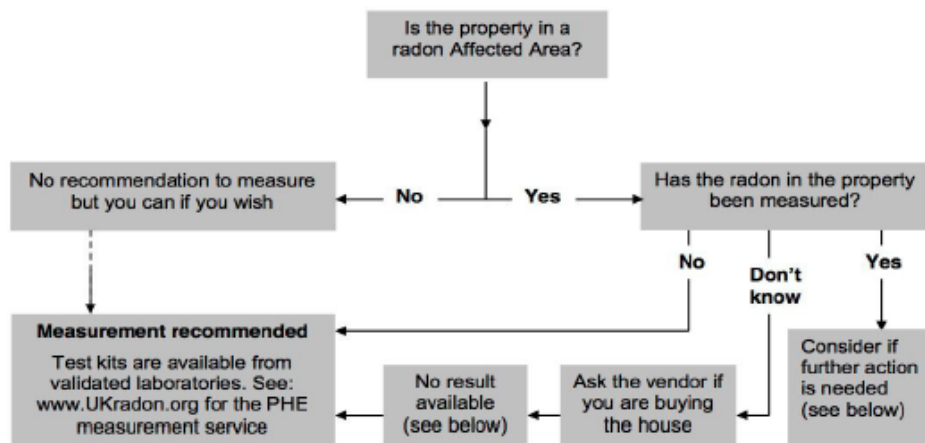
**Public Health
England**

**Report of address search
for radon risk**

**British
Geological Survey**
NATURAL ENVIROMENT RESEARCH COUNCIL



PHE guidance for occupiers and prospective purchases



Existing radon test results: There is no public record of individual radon measurements. Results of previous tests can only be obtained from the seller. Radon levels can be significantly affected by changes to the building or its use, particularly by alterations to the heating and ventilation which can also be affected by changes in occupier. If in doubt, test again for reassurance.

Radon Bond: This is simply a retained fund, the terms of which are negotiated between the purchaser and the vendor. It allows the conveyance of the property to proceed without undue delay. The purchaser is protected against the possible cost of radon reduction work and the seller does not lose sale proceeds if the result is low. Make sure the agreement allows enough time to complete the test, get the result and arrange the work if needed.

High Results: Exposure to high levels of radon increases the risk of developing lung cancer. If a test in a home gives a result at or above the Action Level of 200 Becquerels per cubic metre of air (Bq/m³), formal advice will be given to lower the level. Radon reduction will also be recommended if the occupants include smokers or ex-smokers when the radon level is at or above the Target Level of 100 Bq/m³; these groups have a higher risk. Information on health risks and radon reduction work is available from PHE. Guidance about radon reduction work is also available from some Local Authorities, the Building Research Establishment and specialist contractors.

PHE designated radon website: <https://www.ukradon.org>
Building Research Establishment: <http://www.bre.co.uk/page.jsp?id=3137>

© Crown Copyright 2013



Fig 9 – Proposed Wienerberger Terca Facing Brick



Fig 10 – Proposed Marley Modern Roof Tile

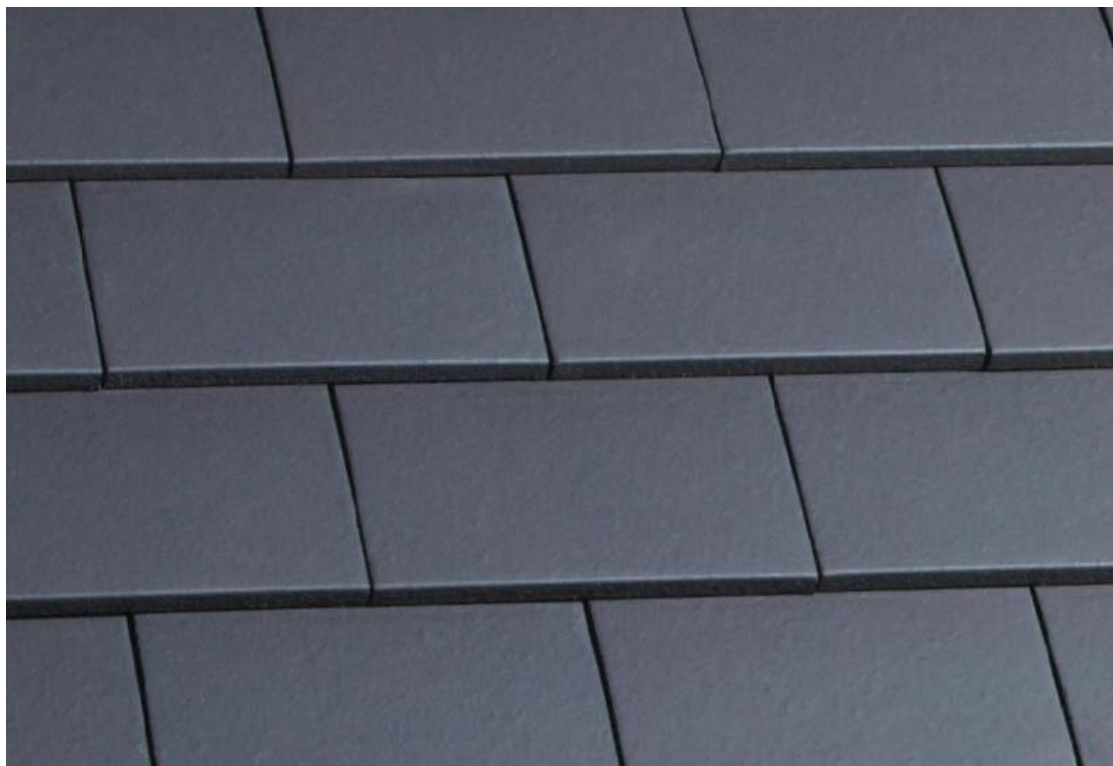




Fig 11 – Proposed Marshal Tegulars Drive setts



Fig 12 – Proposed Coursed Slate Walling





THE END