

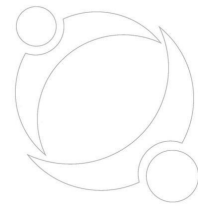
Design and Access Statement (DAS)

DAS-001

Dent View House, Cleator, Cumbria, CA23 3AE

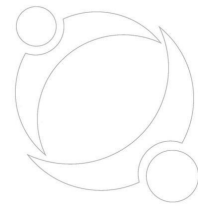
Proposed Solar Panel Installation

15/01/2026



Document Control

Date	Issue Number	Change/Amendment	Author:
15/01/2026	-	First draft	



Approval and Sign off

Project: Dent View House, Cleator, Cumbria, CA23 3AE

I have reviewed and approved the Design & Access Statement and all associated documentation for the Project named above, with changes, additions, deletions or corrections as annotated in the instructional designer's master copy.

I hereby give you approval to proceed with creating the drafts of all workbooks, scripts, and other course materials.

I also give my approval for you to invoice my department for satisfactory completion of the Design Plans milestone of this project.

I understand that further changes to the structure, objectives, or content of the course (aside from those specified in the designer's master copy) will likely result in a delay in the final delivery date and could result in additional costs.

A Design and Specification Author

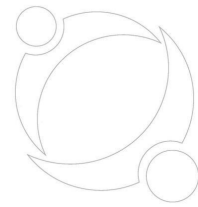
.....	10 th December 2023
Print	Sign	Date

B Design and Specification Approver

.....	10 th December 2023
Print	Sign	Date

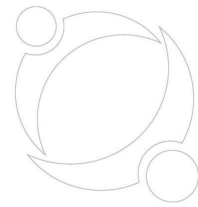
C Design and Specification Sponsor (Clients)

Mr Gerry Coan	15 th January 2026
.....	Sign	Date
Print		



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1. Introduction

This Design and Access Statement supports a Householder Planning Application for the installation of ground-mounted solar photovoltaic (PV) panels within the domestic curtilage of Dent View House, Wath Brow, Cleator Moor, Cumbria, CA23 3AE.

The proposal is a minor form of domestic development, intended solely to provide on-site renewable electricity for the existing dwelling. No change of use, subdivision of land, new buildings, or commercial energy generation is proposed.

The solar array is located to the west of the dwelling, positioned behind the existing garden boundary wall and wholly within the established residential curtilage. Any adjacent land beyond the curtilage, including agricultural fields shown edged blue on the submitted plans, is not included within this application.

This statement is provided voluntarily and proportionately to assist the Local Planning Authority in assessing the proposal against relevant local and national planning policy.

2. Site & Context

Dent View House is a detached residential property located within the established settlement of Wath Brow. The surrounding area comprises a mix of detached dwellings and open land.

The application site comprises the rear and side garden areas associated with the dwelling. The land is enclosed by existing boundary walls and changes in ground level, providing a high degree of visual containment.

The proposed solar panels are sited:

- West of the dwelling
- Behind the existing garden wall
- Fully enclosed within the domestic curtilage
- Physically and visually separated from the adjoining fields

This siting ensures the development is read as ancillary domestic infrastructure, rather than development in open countryside.

3. Flood Risk

The proposal comprises minor domestic development within an existing residential garden. It does not introduce new buildings, impermeable surfaces, or changes to ground levels that would affect flood risk.

In accordance with national guidance, a site-specific Flood Risk Assessment is not required for this form of development.

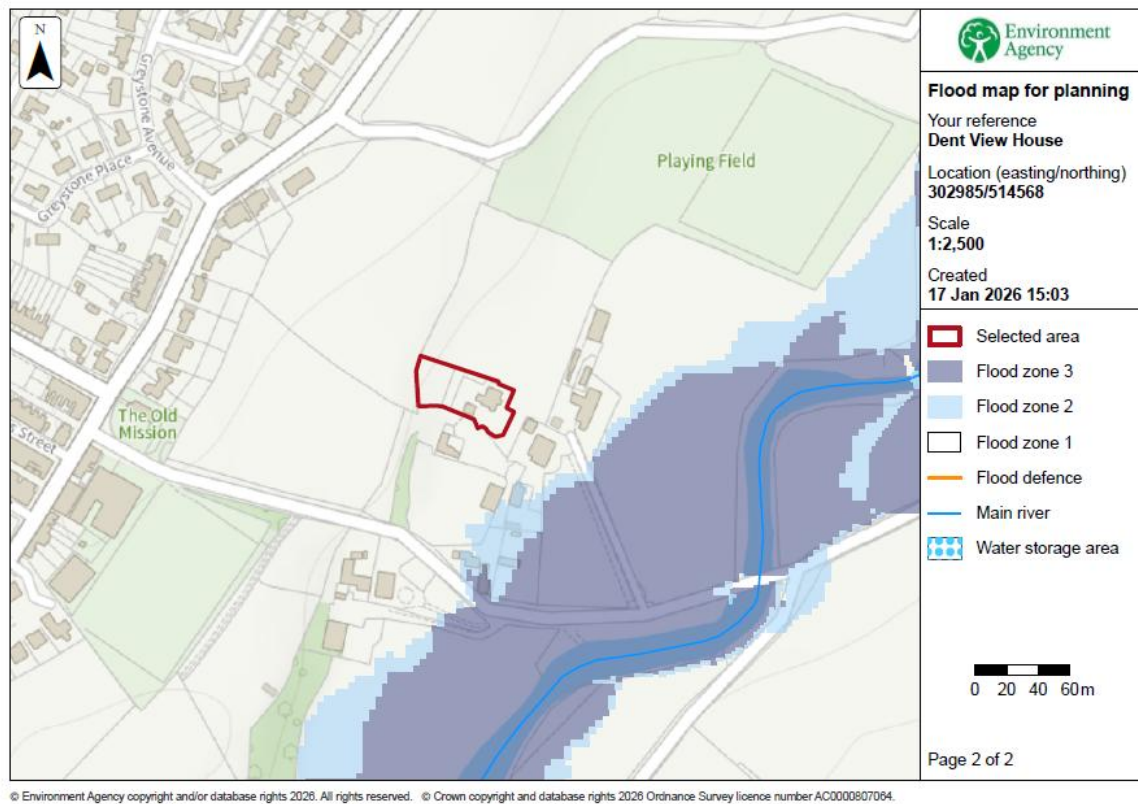
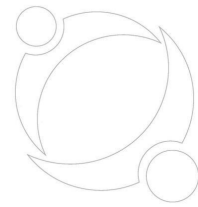


Fig 1 – Environment Agency Flood Maps Flood Map – Extent of flooding general

4. Use

The use of the land remains ancillary to the main dwellinghouse.

The proposed solar panels are a domestic micro-generation installation, intended to:

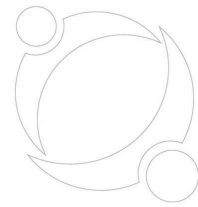
- Offset household electricity demand
- Export surplus energy to the grid where applicable
- Reduce reliance on fossil fuels

No commercial energy generation or export-led solar farm use is proposed. The installation remains incidental to the enjoyment of the dwelling, consistent with householder development principles.

5. Proposal

The proposal consists solely of the installation of ground-mounted solar photovoltaic panels, supported on a proprietary mounting system, with associated underground cabling connecting the array to the dwelling.

No additional buildings, fencing, lighting, or hardstanding are proposed. The installation is fully reversible.



6. Design and Appearance

The solar panels are modern, slim-profile modules with a dark, non-reflective finish, specifically selected to reduce glare and visual prominence.

Supporting frames are finished in a muted metal tone, and the overall appearance is functional, discreet, and subordinate to the host dwelling.

Given their location behind an existing boundary wall, views of the panels from public vantage points are extremely limited.



7. Residential Amenity & Impact

The proposal has been carefully sited to avoid any adverse impact on neighbouring properties.

Specifically:

- The panels are positioned behind existing boundary walls
- No overlooking or overshadowing is created
- No noise, vibration, or disturbance will arise during operation
- Glint and glare impacts are minimal due to panel specification and orientation

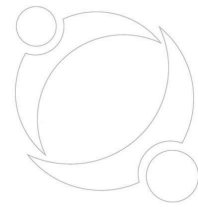
As such, the proposal preserves residential amenity in accordance with local planning policy.

8. Access

The installation will be accessed entirely from within the existing residential plot.

No new vehicular or pedestrian access is required. Installation and future maintenance can be undertaken using existing driveway and garden access arrangements.

The proposal does not affect public highways, footpaths, or rights of way.



9. Scale

The scale of the proposed installation is appropriate for a single dwelling.

The height of the panels remains low relative to boundary walls and surrounding garden levels, ensuring:

- No overbearing impact
- No loss of outlook
- No visual dominance within the site

The proposal is proportionate to the size of the dwelling and its curtilage.

10. Amount

The development consists solely of:

- Ground-mounted solar panels
- Supporting frames and fixings
- Associated underground cabling to the dwelling

No additional buildings, fencing, lighting, or structures are proposed.²

11. Environmental Considerations

The proposal contributes positively to environmental sustainability by:

- Reducing carbon emissions
- Supporting renewable energy generation
- Lowering household energy demand from the national grid

There is no loss of trees, hedgerows, or habitats. The ground installation is reversible, and the site can be fully reinstated if required in the future.

Biodiversity Net Gain (BNG) – Exemption Statement

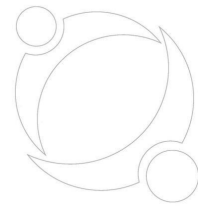
The proposal is exempt from the mandatory Biodiversity Net Gain (BNG) requirement introduced by the Environment Act 2021 and implemented through amendments to the Town and Country Planning Act 1990, effective from 12 February 2024 for small sites.

The development qualifies for exemption on the following grounds:

The proposal is a householder planning application;

- It comprises a minor domestic development involving the installation of ground-mounted solar photovoltaic panels within the existing domestic curtilage;
- There is no change of use, no subdivision of land, and no development of habitats of principal importance;
- The works do not constitute “development” for the purposes of BNG calculation as defined under Schedule 7A of the 1990 Act and the associated BNG Regulations.

Accordingly, a Biodiversity Net Gain Metric, baseline habitat assessment, or Habitat Management and Monitoring Plan is not required to support this application.



Notwithstanding the above exemption, the proposal has been designed to avoid ecological harm, with the panels installed on previously managed garden land, no removal of trees, hedgerows or shrubs, and no loss of biodiversity value. The ground beneath and around the panels will remain permeable and grassed, allowing continued ecological function.

The proposal is therefore consistent with:

- The statutory BNG framework,
- National planning policy objectives for proportionate decision-making, and
- Local planning policy requirements relating to biodiversity protection, without triggering the formal BNG regime.

The Local Planning Authority is therefore respectfully requested to note the statutory exemption and that no biodiversity information is required to validate or determine this application.

12. Drainage

The installation does not alter existing drainage patterns.

Rainwater continues to fall directly onto permeable ground. No hardstanding or impermeable surfaces are introduced as part of the proposal

13. Local & National Planning Policy

I have highlighted below sections of the Copland Local Planning Policies and the subsequently linked National Planning Policy Framework (NPPF) which I feel harmonise with the proposed domestic solar photovoltaic installation.

On 1st April 2023, Copeland Borough Council ceased to exist and was replaced by Cumberland Council as part of the Local Government Reorganisation of Cumbria.

Cumberland Council inherited the local development plan documents of each of the sovereign Councils including Copeland Borough Council, which combine to form a Consolidated Planning Policy Framework for Cumberland.

The inherited the local development plan documents continue to apply to the geographic area of their sovereign Councils only.

The Consolidated Planning Policy Framework for Cumberland comprises the Development Plan for Cumberland Council until replaced by a new Cumberland Local Plan.

The National Planning Policy Framework

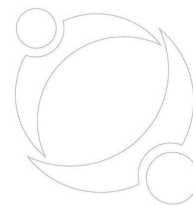
Paragraph 8 – Sustainable Development (Three Objectives)

Planning decisions should pursue environmental objectives, including mitigating and adapting to climate change and moving to a low-carbon economy.

Relevance:

Domestic solar PV directly contributes to the environmental limb of sustainable development by reducing reliance on fossil-fuel electricity and lowering operational carbon emissions.

Paragraph 11 – Presumption in Favour of Sustainable Development



Plans and decisions should positively seek opportunities to meet development needs in line with the Framework.

Relevance:

Small-scale renewable infrastructure that supports climate objectives should be approved where there is no demonstrable harm.

Paragraph 86 – Planning for Climate Change

Planning policies and decisions should **support the transition to a low-carbon future**, taking account of climate change mitigation and adaptation.

Relevance:

On-site renewable generation at a domestic scale is explicitly aligned with this objective

Paragraph 155 – Renewable and Low Carbon Energy (Key Paragraph)

“When determining planning applications for renewable and low carbon development, local planning authorities should:

- (a) not require applicants to demonstrate the overall need for renewable or low carbon energy, and
- (b) recognise that even small-scale projects make a valuable contribution to cutting greenhouse gas emissions.”

Relevance (very strong):

This paragraph is routinely relied upon by Inspectors to support domestic and small-scale solar, including ground-mounted arrays.

It removes the need to justify “need” and confirms that householder-scale schemes carry positive planning weight.

Paragraph 156 – Weight to Renewable Energy Benefits “Local planning authorities should approve the application if its impacts are (or can be made) acceptable.”

Relevance:

Where visual, landscape and amenity impacts are acceptable (as here, due to siting within curtilage and behind boundary walls), approval should follow.

Paragraph 159 – Design of Renewable Energy Development

Planning decisions should ensure renewable energy developments are appropriately sited, designed sensitively, and avoid unacceptable impacts.

Relevance:

The proposal:

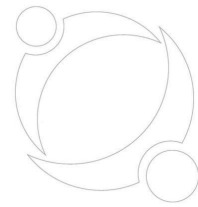
- Is within domestic curtilage
- Is low-profile
- Is visually contained
- Avoids countryside encroachment

This paragraph supports approval where those tests are met.

Paragraphs 131 & 135 – Well-Designed Places

Development should be:

- Visually attractive
- Sympathetic to local character
- Establish a strong sense of place
- Protect amenity of neighbouring land uses

**Relevance:**

The array is subordinate to the dwelling, visually recessive, and causes no amenity harm—meeting the design tests.

Paragraph 187 – Proportionate Decision-Making

Planning applications should be assessed with a proportionate approach, avoiding unnecessary documentation or burdens.

Relevance:

Supports a concise DAS and proportionate assessment for a minor householder renewable proposal.

Copeland Local Plan 2021-2039

2021-2039 has now been adopted and replaces the older 2013-2028 document. For the 2021-2039 Plan, relevant policy strands include:

- **Policy DS1** – Presumption in Favour of Sustainable Development
Supports development that accords with the plan and national policy.
- **Policy DS2** – Reducing the Impacts of Climate Change
Supports on-site renewable energy generation and low-carbon development.
- **Policy DS6** – Design and Development Standards
Requires development to be proportionate, well-designed, and respectful of character and amenity.
- **Policy DS7** – Hard and Soft Landscaping
No harm to landscape character; existing landscaping retained.
- **Policy N1** – Conserving and Enhancing Biodiversity and Geodiversity
No biodiversity harm; BNG exemption applies.
- **Policy N6** – Landscape Protection
No unacceptable landscape or visual impacts.

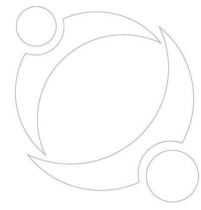
Under the adopted Copeland Local Plan 2021–2039, the proposal accords with policies promoting sustainable and well-designed development (in particular Policy DS6 – Design and Development Standards) and safeguarding landscape and amenity.

14. Vision

The proposal is strongly supported by national and local planning policy. The Copeland Local Plan 2021–2039 promotes well-designed development that supports climate change mitigation and renewable energy generation. Paragraphs 86, 155 and 156 of the National Planning Policy Framework require decision-makers to support renewable and low-carbon development and to approve proposals where impacts are acceptable, recognising that even small-scale schemes make a valuable contribution.

The solar array is located wholly within the domestic curtilage, behind existing boundary treatments, is low-profile, visually contained, and gives rise to no unacceptable impacts on landscape character or residential amenity. The development is proportionate, reversible, and delivers clear environmental benefits.

There are no material planning harms that would justify refusal. The proposal therefore represents sustainable development and should be approved in accordance with the development plan and the National Planning Policy Framework.



15. Appendices

Photo 1 – Aerial Photo of Plot Facing



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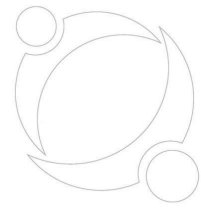


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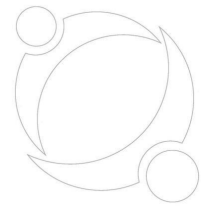


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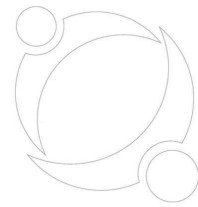


Fig 2 –Planning Approval



Cumberland Council
Cumbria House
107-117 Botchergate
Carlisle
Cumbria CA1 1RD
Telephone 0300 373 3730
cumberland.gov.uk

Solway House Business Centre
Parkhouse Road
Carlisle
CA6 4BY
FAO: Mr Raymond King

Please Contact: Sarah Papaleo
Officer Tel No: 01946 598514
My Ref: 4/23/2045/0F1
Date: 14 July 2023

Dear Mr King,

**APPLICATION FOR NON-MATERIAL AMENDMENT TO PLANNING PERMISSION
4/23/2045/0F1
ERECTION OF DETACHED DWELLING TOGETHER WITH DETACHED GARAGE
(REVISION OF APPROVED APPLICATION 4/22/2078/0F1)**

LAND ADJACENT TO BELVERDERE, CLEATOR

I refer to your application for the above received on 27th June 2023.

The proposed amendments as set out below are considered to be acceptable and can be agreed as non-material amendments to the original planning permission:-

- To replace the proposed facing stonework, including the stone lintels, cills, mullions and quoins from the approved stone to natural Burlington Slate.

I suggest this is attached to the existing Notice of Grant of Planning Permission for safekeeping.

Please note that approval under any other legislation, including Building Regulations consent, is not granted by this letter and should be subject of a separate approval.

If you have any queries, please contact the officer on the above number.

Yours sincerely

Jane Meek
Assistant Director, Thriving Place and Investment

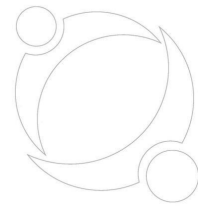


Fig 4 – Adopted Planning Settlement Boundary Map (Local Plan) Zoomed in



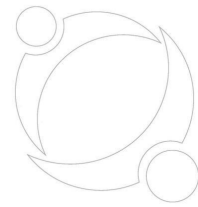


Fig 5 – Flood Map (Environment Agency)



Flood map for planning

Your reference	Location (easting/northing)	Created
Dent View House	302985/514568	17 January 2026 15:03

Your selected location is in flood zone 1, an area with a low probability of flooding.

You will need to do a flood risk assessment if your site is **any of the following**:

- bigger than 1 hectare (ha)
- in an area with critical drainage problems as notified by the Environment Agency
- identified as being at increased flood risk in future by the local authority's strategic flood risk assessment
- at risk from other sources of flooding (such as surface water or reservoirs) and its development would increase the vulnerability of its use (such as constructing an office on an undeveloped site or converting a shop to a dwelling)

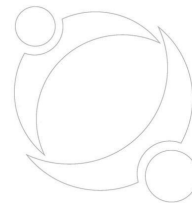
Notes

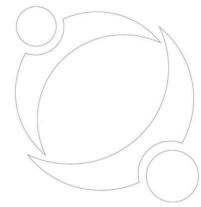
The flood map for planning shows river and sea flooding data only. It doesn't include other sources of flooding. It is for use in development planning and flood risk assessments.

This information relates to the selected location and is not specific to any property within it. The map is updated regularly and is correct at the time of printing.

Flood risk data is covered by the Open Government Licence which sets out the terms and conditions for using government data. <https://www.nationalarchives.gov.uk/doc/open-government-licence/version/3>

Use of the address and mapping data is subject to Ordnance Survey public viewing terms under Crown copyright and database rights 2026 AC0000807064. <https://flood-map-for-planning.service.gov.uk/os-terms>





THE END