

Design Access Statement

Mowbray Farm - Barn 6 Conversion of redundant barn to Dwelling

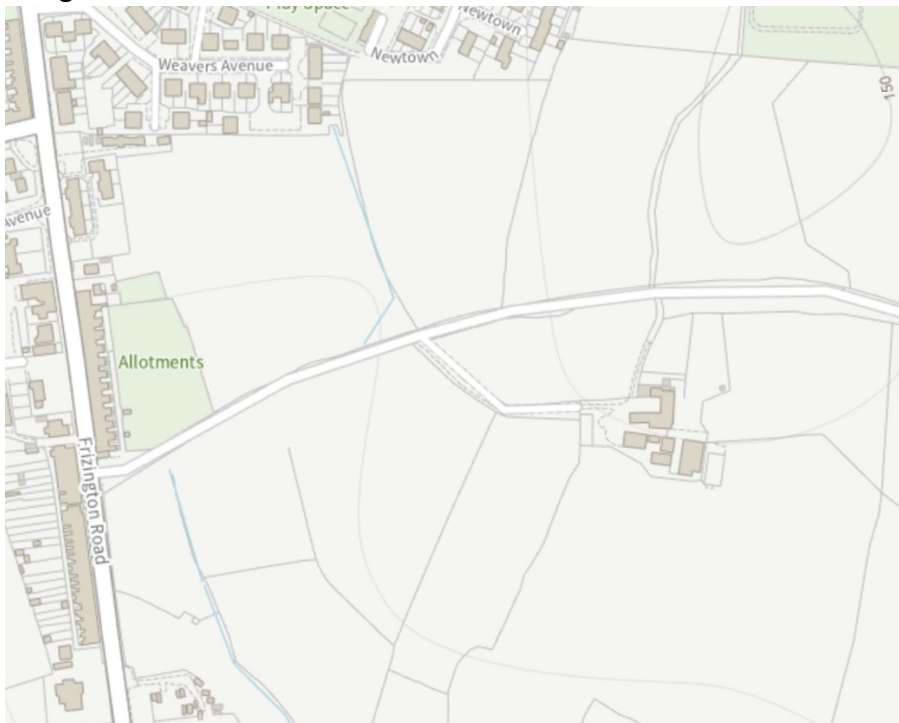
Location

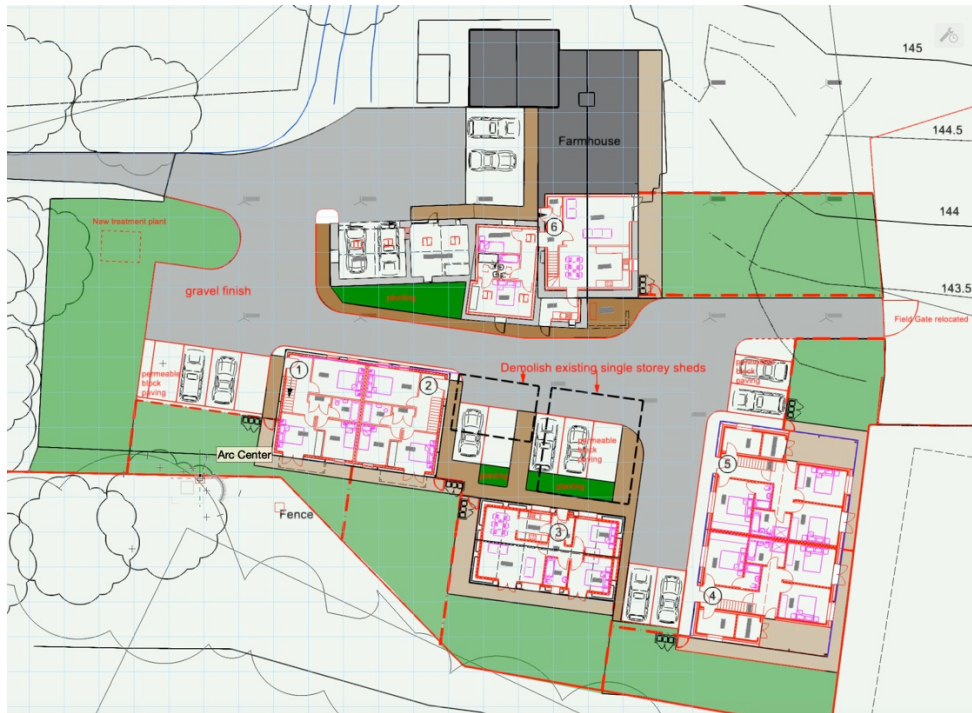
Frizington is a village in Cumbria, England, near the Lake District National Park.

Historically, it was a collection of farms and houses but became a unified village as a result of the mining (both coal and iron ore) opportunities in the area.

It lies by road 4.9 miles (ca. 8 km) east of Whitehaven, 38.2 miles (ca. 61 km) southwest of Carlisle and 44.4 miles (ca. 71 km) north of Barrow-in-Furness.

Mowbray farm is on the southern outskirts of Frizington town centre in an elevated position consisting of a large farmhouse with barns attached and several detached out buildings and a large area of land. Great Views to the east and south Lake District falls.





Proposed plan

Proposals

The existing farmhouse remains. The proposal is to convert the existing redundant farm buildings into various dwellings.

The proposals are to be submitted under two separate applications: -

(A) under Class Q – agricultural building to dwelling for the three agricultural sheds.

Class Q was seen by Government as a way of assisting the housing shortage normally found in rural areas, without endangering our open countryside through the conversion of existing buildings.

Under a separate application: -

Barn 1 - 2 semi-detached three bed dwellings

Barn 2 & 3 to be demolished to create courtyard parking

Barn 4 – 2 bed detached bungalow

Barn 5 - 2 semi-detached three bed dwellings

(B) **Barn 6** - Conversion of the barn attached to the farm house which falls outside of Class Q size limitation.



Farm house (left) and Barn 6 (right)



Barn 6 North elevation



Barn 6 – part south elevation



Barn 6 Internal



Barn 6 – internal

Barn 6 is a stone built barn attached to the farmhouse consisting of a two storey barn directly attached to the farmhouse leading to a single storey series of stone barns all with render finish and under a slate roof.

Proposals include a small amount of demolition to a lean too side extension and conversion of the barns within the building footprint to form a 4 bed dwelling with workshop and open car port area.

The lounge is orientated to the Lake district views.

Since the building floor area exceeds the 150m² limit under Class Q Barn 6 is submitted as a separate application for a change of use of a redundant barn.

Layout

The proposals take advantage of the of the existing buildings layout and access with private gardens and parking adjacent each property. The proposed building floor plan layout takes full advantage of the Lake District views and south and east aspects.

The design proposals are contained within the existing building footprint and the height is generally retained

Appearance

Barn 6 proposals for the conversion with render and slate roof covering to give an attractive contemporary farm building appearance.

Dwellings will be highly insulated with timber frame internal leaf and heating provided by air source heat pump together with solar PV panels to the roof.

Access

The farm is accessed off Frizington Road/ Lane End onto an existing single-track access serving the farm. The access track will be extended with the addition of passing bays. The farmyard area is a gravel finish which will be refurbished. Parking areas will be surfaced with permeable block paving linked to paved areas leading to the dwelling entrance doors. Internal layouts will conform to Building Regulation Document Part M.