

Design and Access Statement



Planning Branch Ltd

**SITE: Hill Green, Drigg, Holmrook,
CA19 1XD**

**PROPOSAL: Erection of roof over
midden**

November 2023

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INTRODUCTION

Planning Branch Ltd has been commissioned to provide this report to support the roof over the existing Midden at Hill Green, Drigg, Holmrook.

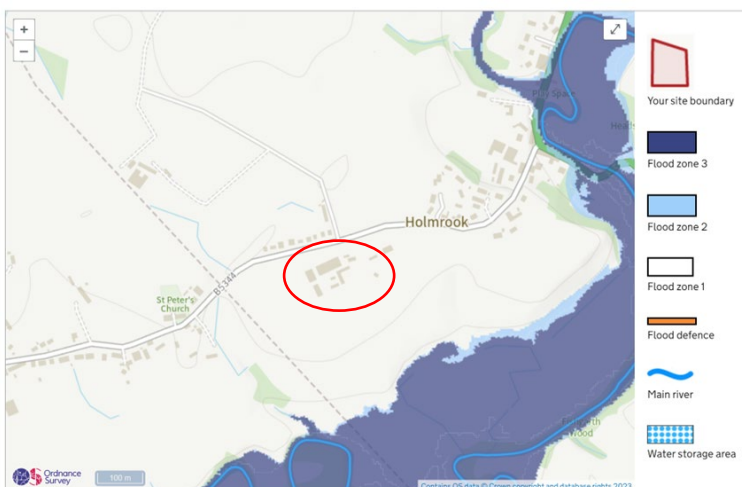
SITE DESCRIPTION



The site is the site of the existing midden and is located adjacent to existing agricultural buildings and would be located adjacent to the roof over the yard which is a separate application, as indicated above.

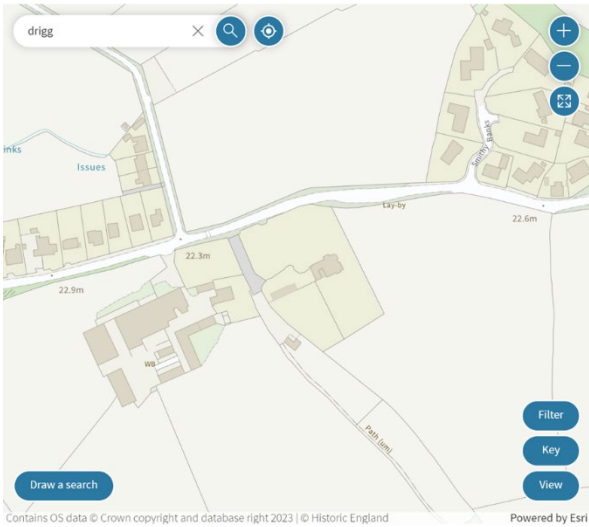
CONSTRAINTS

Flood Map & Drainage



The site is within flood zone 1. The surface water would enter the existing surface water system on the farm.

Heritage Asset

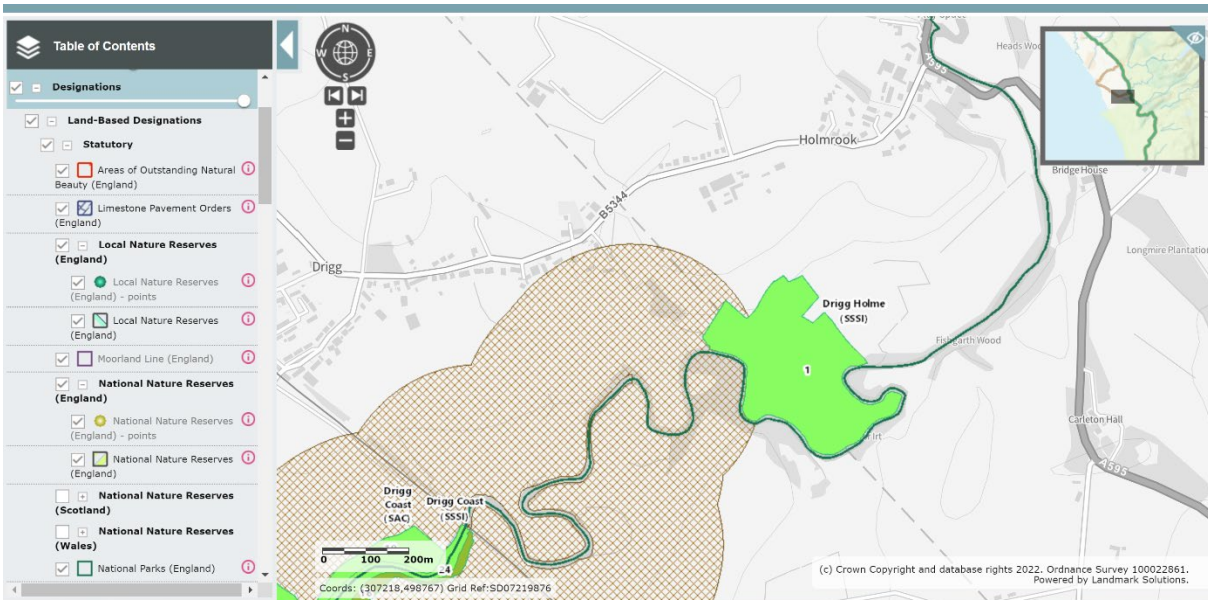


As shown above, there are no designated heritage assets near the farmstead, therefore there will be no adverse impact on heritage.

Designations

SSSI

The Drigg Holme SSSI is located approximately 200m from the farmstead.



The proposal is proposed to improve pollution control and thus would have a positive benefit.

PLANNING HISTORY

4/21/2290/0F1 - ERECTION OF AN AGRICULTURAL BUILDING- Approved - 09/07/2021

Two separate applications have been submitted for the roof over the silage pit and roof over the yard areas.

PROPOSAL



The proposal is for the erection of a roof over the midden to reduce dirty water runoff. The proposal includes the removal of the existing block built building on the site that is in need of improvements.

LAYOUT AND SCALE

20m by 11.9m area – 238m²

3.6m to the eaves and 4.3m to the ridge.

LANDSCAPING

Due to the nature of the proposed development no landscaping is needed as it would not have a wider impact on the surrounding area as it is surrounded by existing agricultural buildings.

APPEARANCE/DESIGN

The lower wall will be a concrete panel wall to the north and east and open on the west.

HIGHWAYS & ACCESS

No changes to the existing access which the farmstead.

PLANNING POLICIES

The most relevant guidance and policies to this development are:

National Planning Policy Framework (NPPF)

Copeland Local Plan 2013-2028

ST1 – Strategic Development Principles

ST2 – Spatial Development Strategy

ASSESSMENT

Residential amenity

The nearest properties are located over 82m to the north on the opposite side of the road. The existing farmstead is located between the neighbours and the proposal. Due to the distance and the type of development roofing over the existing use and the intervening farm buildings, the proposal would not have an adverse impact on the residential amenity of the neighbours.

Landscape



The building is located within the yard area and surrounded by other farm buildings. Due to the matching materials, scale and position the proposal would not have a wider landscape impact in accordance with policies. The removal of the existing building would have a positive impact.

CONCLUSION

The proposed works to roof over the midden will reduce dirty water runoff and utilises design and materials to match the existing building. The proposals comply with the criteria set out above.