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Construction Phase Health and Safety Plan -  
**New ALDI Store -**  
**Aldi Whitehaven,**  
**Preston Street,**  
**Whitehaven CA28 9BS**



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## **ALDI STORE**

**Aldi Whitehaven,**  
**Preston Street,**  
**Whitehaven CA28 9BS**

# **PROJEKT CONSTRUCTION**

## **CONSTRUCTION PHASE HEALTH, SAFETY &**

## **ENVIRONMENTAL PLAN**

### **REV. 0**



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Construction Phase Health and Safety Plan -  
**New ALDI Store -**  
**Aldi Whitehaven,**  
**Preston Street,**  
**Whitehaven CA28 9BS**

|  |    |
|--|----|
| <u>Construction Phase H&amp;S Plan: Construction Phase Plan Introduction</u>                             | 5  |
| <u>Construction Phase H&amp;S Plan: Project Description</u>  | 7  |
| <u>Construction Phase H&amp;S Plan: Client Details</u>   | 12 |
| <u>Construction Phase H&amp;S Plan: Design Team Details</u>  | 12 |
| <u>Construction Phase H&amp;S Plan: Principal Designer</u>   | 12 |
| <u>Construction Phase H&amp;S Plan: Principal Contractors Details</u>                                    | 12 |
| <u>Construction Phase H&amp;S Plan: Structural Engineer</u>  | 13 |
| <u>Construction Phase H&amp;S Plan: Services Engineer</u>  | 13 |
| <u>Construction Phase H&amp;S Plan: Quantity Surveyor</u>  | 14 |
| <u>Construction Phase H&amp;S Plan: Building Control and Inspection</u>                                  | 14 |
| <u>Construction Phase H&amp;S Plan: Project Time Scale</u>   | 15 |
| <u>Construction Phase H&amp;S Plan: Site Location</u>  | 16 |
| <u>Construction Phase H&amp;S Plan: Duties And Responsibilities</u>                                      | 18 |
| <u>Construction Phase H&amp;S Plan: Management Structure Contacts</u>                                    | 20 |
| <u>Construction Phase H&amp;S Plan: Management Structure Contacts</u>                                    | 20 |
| <u>Construction Phase H&amp;S Plan: Emergency Information &amp; Contacts</u>                             | 20 |
| <u>Construction Phase H&amp;S Plan: Emergency Information &amp; Contacts</u>                             | 21 |
| <u>Construction Phase H&amp;S Plan: Arrangements for Monitoring &amp; Review</u>                         | 22 |
| <u>Construction Phase H&amp;S Plan: Exchange of Design Information</u>                                   | 23 |
| <u>Construction Phase H&amp;S Plan: Liaison Between Parties on Site</u>                                  | 28 |
| <u>Construction Phase H&amp;S Plan: Consultation with Workforce</u>                                      | 29 |
| <u>Construction Phase H&amp;S Plan: Handling Design Changes</u>  | 31 |
| <u>Construction Phase H&amp;S Plan: Contractor Selection &amp; Control Procedures</u>                    | 31 |
| <u>Construction Phase H&amp;S Plan: Exchange of H&amp;S Info Between Contractors</u>                     | 35 |
| <u>Construction Phase H&amp;S Plan: Security, Induction &amp; On Site Training</u>                       | 35 |
| <u>Construction Phase H&amp;S Plan: Welfare Facilities &amp; First Aid</u>                               | 37 |
| <u>Construction Phase H&amp;S Plan: Accident &amp; Near Miss Reporting &amp; Investigation</u>           | 38 |
| <u>Construction Phase H&amp;S Plan: Risk Assessment &amp; Method Statement Production &amp; Approval</u> | 39 |
| <u>Construction Phase H&amp;S Plan: Site Safety Rules</u>  | 41 |
| <u>Construction Phase H&amp;S Plan: Fire &amp; Emergency Procedures</u>                                  | 42 |
| <u>Construction Phase H&amp;S Plan: Temporary Site Services</u>  | 42 |
| <u>Construction Phase H&amp;S Plan: Existing &amp; New Services</u>                                      | 43 |
| <u>Construction Phase H&amp;S Plan: Preventing Falls</u>   | 54 |
| <u>Construction Phase H&amp;S Plan: Fragile Materials</u>  | 54 |
| <u>Construction Phase H&amp;S Plan: Maintenance of Plant &amp; Equipment</u>                             | 54 |
| <u>Construction Phase H&amp;S Plan: Lifting Operations</u>   | 54 |



Architects | Construction

Construction Phase Health and Safety Plan -  
**New ALDI Store -**  
**Aldi Whitehaven,**  
**Preston Street,**  
**Whitehaven CA28 9BS**

|   |                              |
|---|------------------------------|
| <u>Construction Phase H&amp;S Plan: Poor Ground Conditions</u>                | 55                           |
| <u>Construction Phase H&amp;S Plan: Site Traffic Management</u>               | 55                           |
| <u>Construction Phase H&amp;S Plan: Storage of Hazardous Materials</u>        | 61                           |
| <u>Construction Phase H&amp;S Plan: Existing Unstable Structures</u>          | Error! Bookmark not defined. |
| <u>Construction Phase H&amp;S Plan: Accomodating Adjacent Land Use</u>        | 66                           |
| <u>Construction Phase H&amp;S Plan: Working Over Near Water</u>               | 68                           |
| <u>Construction Phase H&amp;S Plan: Removal of Asbestos</u>                   | 70                           |
| <u>Construction Phase H&amp;S Plan: Contaminated Land</u>                     | 71                           |
| <u>Construction Phase H&amp;S Plan: Manual Handling</u>                       | 73                           |
| <u>Construction Phase H&amp;S Plan: Use of Hazardous Substances</u>           | 74                           |
| <u>Construction Phase H&amp;S Plan: Reducing Noise &amp; Vibration</u>        | 75                           |
| <u>Construction Phase H&amp;S Plan: Construction Risk Assessment Toolkit</u>  | 82                           |
| <u>Construction Phase H&amp;S Plan: Health &amp; Safety File Arrangements</u> | 97                           |
| <u>Fire Safety Management Plan: Day To Day Fire Safety Management</u>         | 97                           |
| <u>Fire Safety Management Plan: Activity Specific Hazard(s)</u>               | 97                           |
| <u>Fire Safety Management Plan: Fire Alarm Type</u>                           | 97                           |
| <u>Fire Safety Management Plan: Emergency Lighting</u>                        | 97                           |
| <u>Fire Safety Management Plan: Fire Drills &amp; Traiining</u>               | 97                           |
| <u>Fire Safety Management Plan: Smoking Policy</u>                            | 97                           |
| <u>Fire Safety Management Plan: Liaison With Local Fire Authority</u>         | 98                           |
| <u>Fire Safety Management Plan: Related Permits To Work</u>                   | 98                           |
| <u>Fire Safety Management Plan: Site Storage Arrangements</u>                 | 98                           |

## APPENDICES

- A – Site Layout & Location Plan
- B – Emergency Contacts / Routes to Nearest Hospital, Police, Fire Authority



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Construction Phase Health and Safety Plan -  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

- C – Existing service mains locations / new service provisions
- D – Site Set Up & Welfare Drawing
- E – Traffic Management Plan
- F – Site Fire Plan
- G – Site Investigation Report Summary
- H – Project Programme
- I – Out of Hours working schedule
- J - Internal Arrangement & Customers Access
- K – Site Specific Induction
- L – Fire Risk Assessment
- M – First Aid Risk Assessment
- N – Site Health & Safety Register
- O - Residual Risk Register
- P – Weekly Scaffold checklist
- Q – Site Manager Handover form



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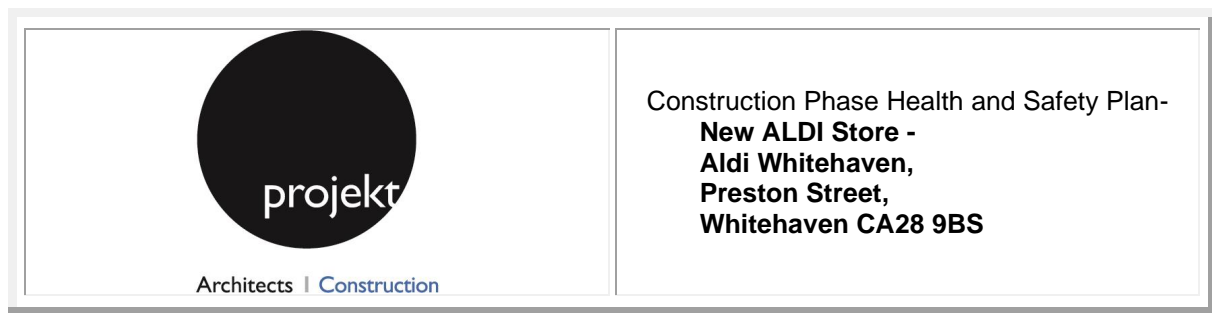
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**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

## Construction Phase Plan Introduction & General Forward

As an integral part of the effective management of all health and safety procedures, Projekt Construction together with the Client, Designers and Principal Designer conduct an annual review of “on site” health and safety management performance as regularly monitored through a programme of site safety inspection audits. All audit findings both positive and negative are collated and reviewed in order to identify adverse trends and matters to be addressed through the provision of additional training or changes to procedures. The 2023 H&S annual review identified the following areas for specific safety focus throughout 2024 /2025 and is derived directly from actual site audit findings. These items have therefore been given specific focus in order to prevent future reoccurrence.

### TOP 10 H&S INITIATIVES FOR 2024/25 -

1. Ensure suitable & sufficient arrangements are in place for managing construction health issues of Cancer (asbestos/silica dust), hazardous substances (construction dust/cement/dust within welfare areas) and physical health risks (noise/vibration/manual handling). Refer to HSE construction health website. Check gloves are being worn as required (gloves notice is in place). Check dry sweeping poster is displayed.
2. Ensure a permit to dig (including pre-start checklist) is in place for all excavation works, with a focus on the arrangements in place for the physical identification on site, avoidance & protection of existing services. Check adequate edge protection to excavations to provide clear demarcation and prevent persons & materials falling.
3. Ensure that all site staff (including support staff ie cleaner) and visitors on the site sign in & out and receive the site induction – reminder sign-in/sign out signage to be located in prominent places on the Site. Ensure all site staff have a valid CSCS card and the Site Manager has records for all staff on site at the time. Ensure hard hat checks (< 5 years old & not fake) completed during site induction.
4. Ensure scaffolds have been designed & installed by competent persons; statutory inspections are being undertaken in a timely manner & if Scaff-tag system is in place it is completed correctly; check Site Manager is completing the Scaffold Inspection Check Sheet form; check that any scaffold modifications to have been undertaken by competent persons.
5. **Ensure security of the full perimeter of the Designated Construction Areas meet the benchmark standard of the 2m high, difficult to climb, Heras fence panel (double clipped) and existing features are not unduly relied as part of the site perimeter unless they achieve the same standard as Heras fencing. Check Site perimeter fencing is being periodically checked by Site Manager.**
6. Ensure site plan (including access points, escape routes, muster point location, TMP, fire plan & signage) is up to date and reflects current site arrangements. Check segregation of vehicles & pedestrians (physical barriers/signage). All vehicles to have operational flashing beacons. **Check there are suitable arrangements in place for safe reversing.**
7. Ensure Contractors are reviewing RAMS at the point of work and these are being modified to address unexpected events and suit actual site conditions/equipment. Check Contractor only using the plant & equipment identified in their RAMS & users trained.
8. Ensure suitable & sufficient arrangements are in place for access to and work undertaken at height, including appropriate equipment type, edge protection, safe storage of materials (eg brick guards) inspections (weekly inspection required for towers under 2m high) & training of operatives. Ensure a Principal Contractor ladder / step ladder permit is in place.
9. Ensure plant & equipment has POWER & LOLER inspections completed, and certificates are available for inspection on site (Principal Contractor to insist provided by the Contractors).
10. Ensure adequate discussions and liaison takes place with all adjacent landowners, **third parties** & Store Manager (for extensions, 20-year upgrades and Project Fresh) with regards to works interfaces in order to provide for the ongoing maintenance of any emergency access/egress routes.



### **Extra Considerations –**

#### Procedure For Handover To A Temporary Site Manager

Site Inspector to check for implementation of the Projekt Construction Procedure For Handover To A Temporary Site Manager, including ensuring a copy of Projekt's 'Appointed Person – Construction Handover Information' form is completed and available on site.

The procedure is as follows:

- We will need to appoint a suitably qualified temporary Site Manager/Supervisor from one of our on-site Contractor teams.
- The Appointed Person must be made aware that they could be called upon to cover the site supervision role in the unlikely event that our Site Manager is called away from site or is unavailable to attend for whatever the reason.
- The form needs to be populated in advance with all of the site-specific information and details of the pre-appointed site supervisor thus enabling it to be finally completed with dates and times etc. in the event of such an occurrence being implemented.
- If in the unlikely event that the site cannot be temporarily supervised by a pre-appointed person or by the Construction Manager then the site works need to be closed down.

#### Health

Raise awareness of health issues other than those identified in the HSE Business Plan 2022 for the Construction Sector which are included in Top 10 initiative No1. Examples include UV protection / skin cancer / hand protection (gloves) / checking date of hard hat / dehydration / fatigue / personal hygiene / respiratory infections (eg cold / flu) / waste management / ecology & environment (eg invasive species) and other current industry hot topics that may arise (eg mental health awareness / modern slavery).

#### Arrangements in place for managing the risks associated with Covid-19

Raise awareness of health issues to ensure Coronavirus / COVID-19 updates from government communicated to all, with any action required being communicated to site personnel.

This Construction phase H&S Plan is developed to address the hazards and issues detailed in the Pre-construction Information (including Residual Risk register) and together with standard site hazards identified by the site set up appraisal undertaken by Projekt Construction. The plan also acts as a site safety control document that compliments the Projekt Construction site health & safety management system. The residual hazards identified from the HTP PCI Rev A – project ref. 21340-MC) dated 22.11.24 are as scheduled in the residual risk register and matters raised are addressed in the following sections.

#### **Significant Residual Hazards**

Principal Contractor and Contractors must give consideration to the significant residual hazards identified in the Residual Risk Register – **Appendix O**

This Residual Risk Register contains details of the significant residual issues identified by the Designers DRAs. Significant residual issues are those that a competent Principal Contractor would not be aware of or are unusual or difficult to identify. In addition, detail construction risks which have not been designed out. The hazards associated with all phases of the project, including investigation, construction, operation, and maintenance. It should be reviewed and revised as necessary throughout the various stages of design until handover.

All designs must be completed in accordance with the relevant parts of European and British Standards & Specifications, Building Regulations, Aldi Engineering Specifications and any other Specification referred to in the Contract.



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**Construction Phase Health and Safety Plan-  
New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

Contractors with design responsibility will be responsible for the design of all temporary works and permanent works identified as Contractor Design in the Contract. All such work will be considered to be “design” under the CDM Regulations. Details of all design work carried out by the Principal Contractor (or his sub-contractors or suppliers) will be copied to the Design Team / Principal Designer. Residual issues from design risk assessments must be incorporated into the construction method statements. Record drawings, and all relevant design and residual hazard information, must be provided to the Principal Designer to incorporate into the Health & Safety File.

All temporary and permanent works must minimise the risk of damage to the existing services and public highway road construction.

It is to be noted that the Residual Risk Register is a “live” document and is to be reviewed and updated regularly, eg in design and site progress meetings. Risks should be identified as closed when no longer relevant. Any residual risks should be identified to the Principal Designer to incorporate into the Health & Safety File.

This Construction phase plan developed to provide details of proposed control measures to ensure the safety of all relevant parties during the Construction Phase. Mitigating measures to avoid, reduce, or remove risk have been incorporated into this construction phase plan and design, with notation included on the Drawings and other documents as appropriate.

This plan must be further developed to include contractors risk assessments/ method statements and approvals, new contact details, H&S file information, amendments to safety plans, amendments to clients and contractors’ rules and any changes to the risk profile associated to design variations.

Projekt Construction H&S Policy and the requirements of this construction phase H&S plan will be implemented by use of Projekt Principal Contractors CDM procedures.



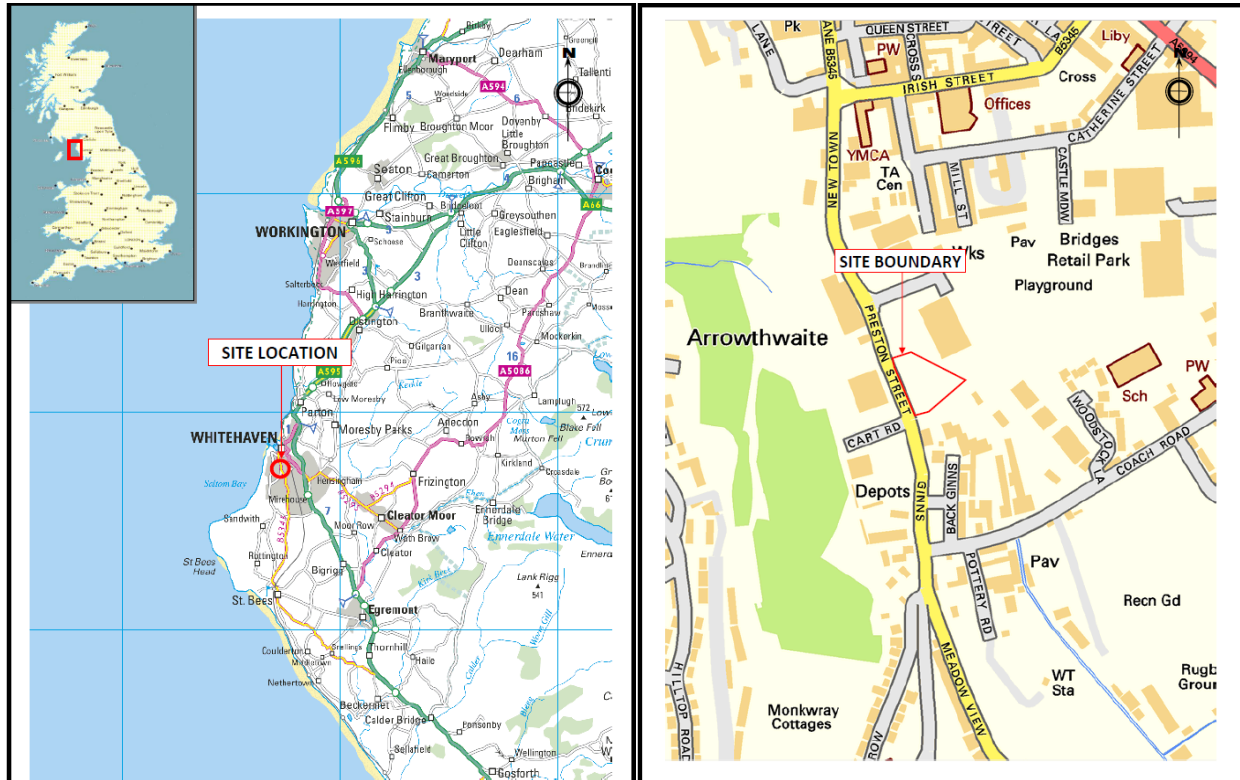


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# Construction Phase Health and Safety Plan- New ALDI Store - Aldi Whitehaven, Preston Street, Whitehaven CA28 9BS

## Project Description – See Appendix A for Site Layout & Location Plan

The site is located to the immediate east of Preston Street, Whitehaven, Cumbria.



A number of developments including a pottery, colliery school, auction mart, public house and mortuary once occupied this site. However, many of these features have since been demolished with remnants of former structures seen across the site area. The site, centred on National Grid Reference 297290, 517540, is located to the immediate east of Preston Street, Whitehaven, Cumbria, CA28 9DL.



The site is bordered by a mix of residential properties and commercial retail units along the main B5435 Preston Street.





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Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

To the east the site borders cycle route 72 with a fitness centre and school further along up Coach Road.

The aim of the project is to construct a new Aldi store and associated car park on Brownfield land. Previously; Early plans (dated 1867) show the site as already being developed with several uses including a stone yard, pottery and colliery school noted across the site. By 1956, several phases of redevelopment have occurred, adapting the site to other commercial uses such as an Auction Market and Mortuary, Mission Hall and public house, with many of the buildings demolished by 2018. Recent aerial imagery suggests the northern portion of the site is used as a car park, whilst the southern portion of the site has been allowed to become overgrown and derelict. This site is advised to be located within a high risk setting with regards potential shallow recorded and unrecorded workings within the Bannock coal seam. As such workings within the seam are considered to pose a potential risk to the site in regard to issues that arise from shallow coal mining activities.

***Nature and scope of the work to be carried out -***

The scope of works comprises

**Enabling work -**

- Asbestos monitoring and control during enabling including Site Walkover and Sampling Survey, and subsequent Watching Brief with Air Monitoring
- Archaeological monitoring and control during enabling
- Treatment and removal of invasive plant species – knotweed
- Temporary access for enabling work
- Mains sewer 375 dia. Diversion EX MH – C1, subject to UU approvals
- Drainage FW outfall saddle connection to existing brick egg culvert, subject to UU approvals
- Drainage SW outfall saddle connection to existing culverted water course, subject to EA approvals
- Oversite vegetation clearance, grubbing up and removal of redundant hard-standing, and relic underground obstructions, and subsequent ground remediation
- Service diversions
- Installation of retaining structures to enable ground level formation.
- Mine working remedials - it is recommended that an allowance be included for localized probing and grouting (if required) across to building footprint on a typical minimum 6m centre grid to more accurately assess the level of risk in this regard. Should workings be encountered an allowance should then be included for remedial works in the form of grouting to mitigate the risk to the development.

**Main build works -** the supply, delivery, off-loading, construction, installation, site testing, commissioning & performance testing as necessary of a single storey Aldi foodstore - blade-roof building with vehicular, pedestrian and cycle access, car parking and landscaping. Access to the site is off Preston Street B5435. The B5435 Preston Road is a busy single lane (in each direction) carriageway that is subject to a 30mph speed limit, access via the B595 which is a main trunk Road-route. The trunk road is part of a network from the A66 / M6.

**Construction of new store –**

Main works temp hardstandings; site service access road north/south, together with temporary site compound, and crane platform is to be installed.

- Oversite Reduced Level & Stone Hard standings
- New off-site service provisions for the site
- New Service and drainage infrastructure
- A new store construction: construction of a single storey flat roof building with clad walls, cantilevered solid canopy; external loading area; trolley bay; refrigeration plant compound. The store will have a gross internal area of 1890m2 with 1315m2 (net) Retail Area, 423m2 Warehouse and 121m2 Amenity Area
  - Entrance / Exit Lobby to the west
  - General Sales/Retail area



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**Construction Phase Health and Safety Plan-  
New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

- Warehouse (including loading bay)
- Plant Room
- Managers Office
- Cleaners Cupboard
- Staff Room
- Customer Accessible WC
- Female WC
- Male WC
- Lobby
- Meeting Room

- Solar panels to roof.
- Design and installation of a Mansafe system to roof.
- External Plant compound to East Elevation.
- Foundations and Floor Slab - Due to the nature of the anticipated ground conditions, shallow conventional foundations (i.e. strip or pad) are unlikely to represent a viable foundation solution.
- Piled foundations and a suspended floor slab are recommended.

**Associated infrastructure -**

- Installation of new FW drainage with outfall to drainage stubs, north-east edge of the site.
- Installation of new SW drainage with outfall to drainage stubs, north-east edge of the site.
- Installation of surface water drainage with associated attenuation in the car park.

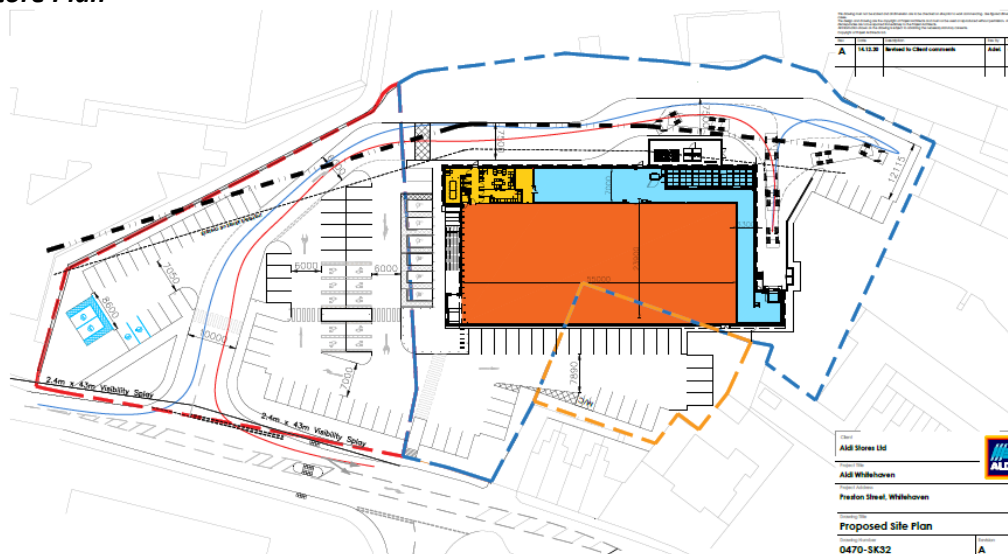
**Landscaping –**

- Planting of new trees
- Creation of new native planting areas

**Hardscaping –**

- Formation of car park – o/a site area of 10037m<sup>2</sup>; 89 Standard bays, 6 Accessible bays, 10 Parent & Child bays, 6 staff parking bays (total 111 no.)
- External works to include associated vehicular, pedestrian, cycle access and landscaping works
- S278 highways entrance alteration works
- Boundary Treatment – Knee rail fence with railings to be provided and weld mesh security / timber fencing to the rear of the ALDI building.

**Proposed Store Plan -**





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**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

**Cumberland Council (CBC) Planning Application Ref 4/23/2314/0F1 (Erection of a discount foodstore with associated access, parking, hard and soft landscaping, and associated works)** - permission yet to be approved for the erection of a retail unit (Class E) with associated car parking, hard and soft landscaping and associated works at Land at Preston Street, Whitehaven for Aldi Stores Ltd

**NOTE - Pre-commencement conditions to be addressed by Project Construction -**

The Approved planning application as submitted requires the following conditions to be addressed:

**Item 8** – No development shall commence until a Construction Environmental Management Plan (CEMP) has been submitted to and approved in writing by the Local Planning Authority. (Submitted 29.1.25 awaiting approval)

**Item 9** – No development shall commence until a Construction Surface Water Management Plan (CSWMP) has been submitted to and approved in writing by the Local Planning Authority. (Submitted 29.1.25 in CEMP - CSWMP awaiting approval)

**Other conditions** to be addressed by H3E/ Harris Partnership prior to works commence / the first use of the development

**INFORMATIVES Informative:**

**Highways:**

Need for an agreement with the Cumberland Highway Authority - Section S278 (Highways Act, 1980). And the possibility of an S38 Agreement. The Highway Authority will require the applicant/developer to enter into a legally binding agreement to secure and the proper implementation of the proposed highway works including an appropriate Bond. There is normally a three-months' notice period associated with Traffic Management Act Notifications.

Highways Authority – Cumberland Highways Authority. **Note - On 1 April 2023, Copeland Borough Council was abolished and its functions were transferred to the new unitary authority Cumberland, which also covers the former districts of Allerdale and Carlisle**



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Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

#### Client Details

| Contact Type            | Client   |   |
|-------------------------|--|---|
| Company or Contact Name | Address  | Contact Information   |
| Mr Simon Plumb          | Aldi Stores Ltd<br>Faverdale North<br>Faverdale Industrial Estate<br>Darlington<br>County Durham DL3 0UW | Telephone: 01325 341015<br>SP Email: <a href="mailto:simon.plumb@aldi.co.uk">simon.plumb@aldi.co.uk</a><br><br>Admin Email: Construction Admin (NRE GB)<br><a href="mailto:construction.admin@aldi.co.uk">construction.admin@aldi.co.uk</a> |

#### Principal Designer Details

| Contact Type  | Principal Designer - The Harris Partnership (THP)                           |  |
|---|---|--|
| Company or Contact Name                                       | Address   | Contact Information  |
| THP<br>Mr Alun Rogerson<br>(CDM Adviser & Principal Designer) | Harris Project Management Ltd<br>2 St John's North,<br>Wakefield<br>WF1 3QA | Telephone: 01924 291 800<br>Mobile: 07471037141<br>Email: <a href="mailto:a.rogerson@harrispm.com">a.rogerson@harrispm.com</a> |

#### Lead Designer Details

| Contact Type                          | Lead Designer – Architect - The Harris Partnership Ltd                   |  |
|---------------------------------------|--|--|
| Company or Contact Name               | Address  | Contact Information  |
| Projekt Architects<br>Mr Simon Lawson | The Harris Partnership Ltd -<br>2 St John's North,<br>Wakefield, WF1 3QA | Telephone: 01924 291 800<br>E-mail: <a href="mailto:simonlawson@harrispartnership.com">simonlawson@harrispartnership.com</a><br><a href="http://www.harrispartnership.com">www.harrispartnership.com</a> |

#### Principal Contractor Details

| Contact Type                             | Principal Contractor – Projekt Construction   |   |
|--|---|---|
| Company or Contact Name                  | Address   | Contact Information   |
| Projekt Construction<br>Mr David Forrest | Projekt Construction, Studio 204,<br>Maling Exchange, Hoult's Yard,<br>Walker Road,<br>Newcastle upon Tyne, NE6 2HL | Telephone: 0191 2262000<br>Mobile: 07793240652<br>Email: <a href="mailto:david.forrest@projektconstruction.com">david.forrest@projektconstruction.com</a> |



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Construction Phase Health and Safety Plan-  
**New ALDI Store -**  
**Aldi Whitehaven,**  
**Preston Street,**  
**Whitehaven CA28 9BS**

### Structural / Civil Engineer

| Contact Type  | Structural & Civils Engineer – Hydrock, now Stantec   |   |
|---|---|---|
| Company or Contact Name   | Address   | Contact Information   |
| 3E Consulting Engineers<br>Mr Dean Gray (Structures)<br>Mr Michael Laverick (Structures)<br>Mr Martin Pearce (Civils)<br>Mr Steven Kirsopp (Civils) | Hydrock, now Stantec<br>2 Esh Plaza,<br>Sir Bobby Robson Way,<br>Great Park, Newcastle upon<br>Tyne, NE13 9BA | Tel. 0191 230 2993<br>DG Mob. 0777 836 5220<br>ML Mob. 07833 861574<br>MP Mob. 07866 104081<br>Email:<br><a href="mailto:dean.gray@3econsult.com">dean.gray@3econsult.com</a><br><a href="mailto:Michael.laverick@3econsult.com">Michael.laverick@3econsult.com</a><br><a href="mailto:martin.pearse@3econsult.com">martin.pearse@3econsult.com</a><br><a href="mailto:stevenkirsopp@hydrock.com">stevenkirsopp@hydrock.com</a> |

### Building Services Engineer

| Contact Type   | Building (Mechanical & Electrical) Services Engineer – Wilson Gray Consulting                |  |
|--|--|--|
| Company or Contact Name  | Address  | Contact Information  |
| WGC<br>Mr Adrian Gray (Director)<br>Mr Peter Wilson (Mech)<br>Reece Deward (Elect) | Wilson Gray Consulting<br>Swan Building<br>Prestwick Park<br>Newcastle Upon Tyne<br>NE20 9SJ | Telephone: 0191 6916770<br>AG Mob. 0749 5626738<br>PW Mob. 0749 5626737<br>RD Mob. 0787 0636653<br>Email: <a href="mailto:adrian@wilsongrayconsulting.com">adrian@wilsongrayconsulting.com</a><br>Email: <a href="mailto:peter@grayconsulting.com">peter@grayconsulting.com</a><br>Email: <a href="mailto:reece@grayconsulting.com">reece@grayconsulting.com</a> |

### Utility Services Engineer

| Contact Type                            | Utility Services Engineer - Utility Connections   |  |
|---|---|--|
| Company or Contact Name                 | Address   | Contact Information  |
| Utility Service Design<br>Mr Dan Swales | Utility Connections<br>5200 Cinnabar Court, Daresbury<br>Park<br>Daresbury, Warrington, WA4 4GE | Telephone: 0844 499 6404<br>Mob. 077100 95352<br>Email: <a href="mailto:dan.swales@utilityconnections.co.uk">dan.swales@utilityconnections.co.uk</a> |

### Refrigeration Engineer

| Contact Type                           | Refrigeration Services Engineer - WAVE  |  |
|--|---|--|
| Company or Contact Name                | Address   | Contact Information  |
| WAVE Refrigeration<br>Ms Caitlin Earle | WAVE Refrigeration<br>1 <sup>st</sup> Floor<br>23 Cavendish Street<br>Keighley BD21 3RB | Telephone: 01535 287032<br>Mob. 07713137941<br>Email: <a href="mailto:caitline@wave-refrigeration.com">caitline@wave-refrigeration.com</a><br><a href="http://www.wave-refrigeration.com">www.wave-refrigeration.com</a> |



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Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

#### Quantity Surveyor

|                                  |   |   |
|----------------------------------|---|---|
| Contact Type                     | Quantity Surveyor – Summers Inman   |   |
| Company or Contact Name          | Address   | Contact Information   |
| Summer Inman<br>Mr Martin Hunter | Summers Inman<br>Bevan House, Sir Bobby Robson<br>Way, Great Park, Newcastle upon<br>Tyne, NE13 9BA | Telephone: 0191 284 1121<br>DD: 0191 246 8380<br>Email: martin.hunter@summers-inman.co.uk |

#### Health and Safety Auditor

|   |   |   |
|---|---|---|
| Contact Type  | Health and Safety Inspector – Atkins Realis   |   |
| Company or Contact Name   | Address   | Contact Information   |
| Atkins Realis<br>Mr Jack Stoddart<br>Managing Health & Safety<br>Consultant | Atkins Realis<br>Health & Safety Services,<br>Property, PPS<br>Dunedin House,<br>Columbia Drive<br>Stockton-on-Tees, TS17 6BJ | Telephone: 01642 525200<br>Mob. 07825 263867<br>Email: jack.stoddart@atkinsrealis.com |

#### Building Control and Inspection

|  |   |  |
|--|---|--|
| Contact Type                                   | Building Control and Inspection - Alpha Building Control Ltd  |  |
| Company or Contact Name                        | Address   | Contact Information  |
| Alpha Building Control Ltd<br>Mr Steve Ackroyd | Alpha Building Control Ltd<br>3 Mowbray House<br>Olympic Way<br>Richmond<br>North Yorkshire<br>DL10 4FB | Telephone: 01748 352356<br>Mob. 07985 144385<br>Email:<br><a href="mailto:steve.ackroyd@alphabcltd.com">steve.ackroyd@alphabcltd.com</a><br><a href="mailto:admin@alphabcltd.com">admin@alphabcltd.com</a> |





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Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

### Project Time Scale

|  |   |
|--|---|
| Mobilisation Period                              | The minimum time allowed between the appointment of Principal Contractor and instruction to commence work on site (Mobilisation Period) is 4 weeks. The Principal Contractor to submit a developed Construction Phase Health & Safety Plan to the Client a minimum of 2 weeks before the Construction Phase Start Date.   |
| Timescale  | o/a 39-week programme (Incl. 1wk Hols)  |
| Approximate Start Date                           | Date: Main Works – 31 <sup>st</sup> March 2025  |
| Construction Time Estimate (Based on 5-day Week) | <p>STAGE 1 - Site Establishment, Isolate &amp; fence off knotweed area / Perimeter security fencing, Electric &amp; Water Temporary Kiosk install and Services connections to site, Archaeological Works, Ground Remediation, Access Road, site compound, and temporary Car Park formation, local services infrastructure isolation and diversion, retaining wall's</p> <p>STAGE 2 - Drainage protection &amp; connections, Reduced level and graded stone formation new building footprint, including perimeter workspace margin.</p> <p>STAGE 3 – Substructure and drainage</p> <p>STAGE 4 – Building Superstructure</p> <p>STAGE 5 – Building Envelope</p> <p>STAGE 6 – External Infrastructure, customer car park, New Service infrastructure and drainage</p> <p>STAGE 7 – Fit Out &amp; external finishes.</p> <p><b>39 weeks overall</b> (Incl. 1wk Hols)</p> <p>Enabling works start 3<sup>rd</sup> February 2025</p> <p>Main Construction Start on Site Mon 31<sup>st</sup> March 2025</p> <p>Practical Completion / Handover of building works Friday 31<sup>st</sup> October 2025</p> <p>Anticipated Store Opening Thursday 6<sup>th</sup> November 2025</p> |



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Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

## Site Location

The proposed new ALDI Whitehaven Store will be located on vacant land to the eastern side of Preston Street. The site is located to the southern side of Whitehaven town centre adjacent to the B5345, Preston Street.. The site, centered on National Grid Reference 297290, 517540, and is located to the immediate east of Preston Street, Whitehaven, Cumbria, CA28 9DL.

The site is roughly within the north-west of the town and is currently an area of hardstanding carpark with an area of scrub to the south. The scrub sits atop an area of previously developed land. The site is surrounded by residential and commercial areas with Preston Street bounding to the west, and Cycle Route 72 to the east. Areas of amenity grass are present very close to the north-east and south-east of site (47metres and 62m respectively). Despite the local area generally being urban, there are some relatively natural greenspaces in the locality which include some areas of woodland west, south-west, and north-east of site, as well as some woodland adjacent to the site boundary. The site is also only 800m from the west coast.

**GOOGLE MAPS** – New ALDI Store - Preston Street, Whitehaven CA28 9BS

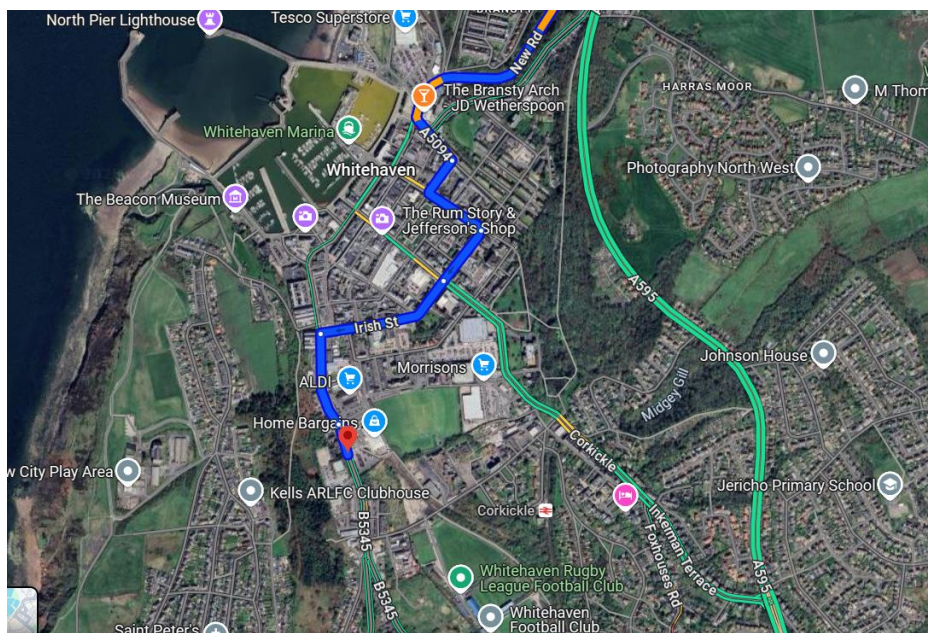
**OS GRID REFERENCE** - Grid Reference: 54.542116, -3.588267

**EASTING (X) - 297290, NORTHING (Y) 517540**

**WHAT3WORDS** - ///player.feels.candy

**ADDRESS** - New ALDI Store - Aldi Whitehaven, Preston Street, Whitehaven CA28 9BS

Site Location Plan –





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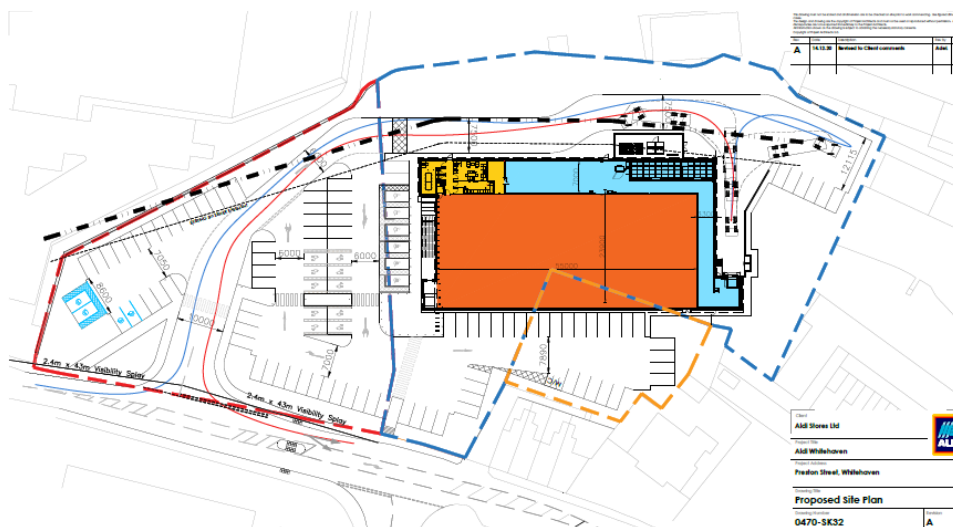
## Construction Phase Health and Safety Plan- New ALDI Store - Aldi Whitehaven, Preston Street, Whitehaven CA28 9BS

Existing site plan –



The site is bounded to the south-western corner of the site by existing residential premises at Bentinck Row. The southern boundary is formed by open land leading to Coach Road, with residential premises beyond. The western site boundary is formed by Preston Street, having commercial premises and an ASDA supermarket on the opposite side of the road. The northern site boundary is formed by a Home Bargains retail outlet, with the other retail premises and the existing ALDI Whitehaven store beyond (which will be replaced by this development). The eastern site boundary is formed by vacant land, leading to a gym and existing residential premises. The land directly beyond the eastern boundary is subject to a live planning application for the erection of 35 No residential houses under Planning Application No 4/22/2466/0F1, refer to Appendix C for details.

Proposed store plan –





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Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

## Duties and Responsibilities

### **Site Manager – TBC is charged to ensure that :-**

The following areas are suitably set up and maintained throughout the duration of the project:

1. All necessary safety signs and posters that address all relevant hazards, mandatory requirements, site traffic safety, first aid, employee information etc.
2. Adequate welfare facilities, their services with arrangements for daily cleaning.
3. Arrangements are made for defined traffic routes and maintenance of an agreed traffic management plan.
4. Co-ordinate arrangements for temporary works, following approvals / sign off / checking processes
5. Installation of fire points and alarms where required.
6. Maintain a first aid point with suitable equipment and name of first aider identified.
7. Ensure suitable PPE is used appropriately.
8. Ensure that adequate supervision of contractors is provided at all times works are being carried out
9. Ensure that all operatives and site visitors comply with the site daily “signing in” and “signing out” procedure at all times.
10. Ensure that the site is left safe and secure and checked at the end of each working day. *(Work areas secured using 2m min. Heras or timber hoarded fence, boundaries checked secure daily)*
11. Ensure that all excavations and scaffolds are left in a secure manner at the end of each day fenced off and ladders removed. *Note – Access Ladders put beyond use at end of working day (either removed or have ladder guard installed)*
12. Ensure that suitable and sufficient arrangements are in place for the management of health and safety at all times Construction Works is taking place on site. The Site Manager to record arrangements in writing and erect a sign at site office indicating site responsible person contact details. On appointing responsible person for site cover – site manager to retain copies of SMSTS / First Aid / CSCS certification. Any delegated responsibility (eg ensuring working areas are secured) should be clearly identified. Activities subject to a Permit to Work to be clearly identified.

### **Construction Phase Plan Development:**

13. Obtaining, approving, and installing Contractors RA & Method Statements into the H&S Plan as an on-going process.
14. Adding Suppliers Contact Details
15. Adding COSHH data information sheets
16. Adding commissioning & test certificates
17. Amend fire safety & traffic management plans as works dictate
18. Collate “as built” information as works proceed to assist production of as installed drawings
19. Coordinating, communicating and liaison with all third parties involved with the contract works.
20. Site Manager to be the responsible person re liaison with HSE personnel and contacts.
21. Maintaining the Site Safety Coordination Register
22. Assess competence and resources of Contractors
23. Obtain contractors construction method statement
24. Review and Approve Contractors Risk Assessment/Method Statement
25. Ensure that Contractors Operatives and other affected parties are briefed on the approved Method Statement.
26. Ensure all plant is supplied with appropriate certification.
27. Ensure all contractors sign in and out on a daily basis.
28. Issue and cancel Permits to Work as deemed necessary.
29. Ensure all relevant induction training and toolbox talks are delivered.
30. Liaise with the Clients representative on H&S matters.





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Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

31. Check that all operatives and staff on site have the appropriate CSCS training certificate/card in accordance with the Aldi policy.

**Measuring Performance**

32. Undertake and record daily site H&S inspections
33. Check and ensure that PUWER inspections and testing is being complied with by all appointed Trades to include ensuring that Projekt Construction acting as PC receives copies of PUWER registers covering plant and equipment to be deployed on the project.
34. Enforce site rules.
35. Ensure all operative receive Site Induction Briefs before being allowed to work on site. Ensure all site visitors also receive a tailored Site Induction Brief appropriate to the purpose of their site visit.
36. Issue corrective action notices
37. Report H&S performance to project meeting.
38. Regular inspection of scaffold arrangements, ensuring statutory inspections completed as required



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Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

#### Management Structure Contacts

| Contact Type            | Site Manager – Temporary Works and Fire Site Safety Coordinator       |                         |
|-------------------------|---|-------------------------|
| Company or Contact Name | Address   | Contact Information     |
| TBC                     | New ALDI Store -<br>Shop Row,<br>Philadelphia Lane,<br>Durham DH4 4UG | Tel. TBC<br>E-mail: TBC |

#### Management Structure Contacts

| Contact Type            | Safety Advisor – Carney Consultancy  |   |
|-------------------------|--|---|
| Company or Contact Name | Address  | Contact Information   |
| Dave Carney             | Carney Consultancy<br>Suite 2, The Smokehouse<br>7 & 8 Clifford's Fort<br>The Fish Quay, North<br>Shields<br>Tyne & Wear, NE30 1JE | Telephone: 0191 296 36 52<br><a href="http://www.carneyconsultancy.co.uk">www.carneyconsultancy.co.uk</a><br>info@carneyconsultancy.co.uk |


#### Management Structure Contacts

| Contact Type   | Local Planning Officer – Cumberland Council   |  |
|--|---|--|
| Company or Contact Name  | Address   | Contact Information  |
| Contact –<br>Planning Officer<br><br>Planning Application<br>Number:<br><b>4/23/2314/0F1</b> | Development Management,<br>Market Hall,<br>Market Place,<br>Whitehaven,<br>CA28 7JG | Tel: 0330 373 3730<br>E-mail: <a href="mailto:Development.Control3@cumberland.gov.uk">Development.Control3@cumberland.gov.uk</a><br>web: <a href="https://www.cumberland.gov.uk/planning-contact-us">https://www.cumberland.gov.uk/planning-contact-us</a> |

#### Management Structure Contacts

| Contact Type                  | Highways Planner – Cumberland Highways |  |
|-------------------------------|--|--|
| Company or Contact Name       | Address                                | Contact Information  |
| Contact – Highways<br>Planner | Highways Authority -                   | Tel. 0300 303 2992<br>E-mail: <a href="mailto:betterhighways@cumbria.gov.uk">betterhighways@cumbria.gov.uk</a><br>Web: <a href="https://www.cumberland.gov.uk/parking-roads-and-transport/streets-roads-and-pavements">https://www.cumberland.gov.uk/parking-roads-and-transport/streets-roads-and-pavements</a> |



|   |  |
|---|--|
|  <p>projekt<br/>Architects   Construction</p> | <p>Construction Phase Health and Safety Plan-<br/><b>New ALDI Store -<br/>Aldi Whitehaven,<br/>Preston Street,<br/>Whitehaven CA28 9BS</b></p> |
|---|--|

**Emergency Information & Contacts – For route to A&E West Cumberland Hospital see Appendix B**

|                         |  |  |
|-------------------------|--|--|
| Contact Type            | A&E - West Cumberland Hospital                                       |  |
| Company or Contact Name | Address  | Contact Information  |
| Contact – A&E           | West Cumberland Hospital<br>30 Homewood Hill,<br>Whitehaven CA28 8JY | Emergency Tel. 999<br>Non-Emergency Tel. 111<br>Hospital Tel. 01946 693181<br>Web: <a href="https://www.ncic.nhs.uk/locations/west-cumberland-hospital">https://www.ncic.nhs.uk/locations/west-cumberland-hospital</a> |

**Emergency Information & Contacts - Cumbria Constabulary – Whitehaven Police Station see Appendix B**

|                         |  |   |
|-------------------------|--|---|
| Contact Type            | Nearest Police Station – Whitehaven Police Station |   |
| Company or Contact Name | Address  | Contact Information   |
| Cumbria Police          | 15 Scotch St,<br>Whitehaven CA28 7NL               | Tel. 0300 1240111<br>Emergency: 999<br>Non-Emergency 101<br>Web: <a href="http://www.cumbria.police.uk">www.cumbria.police.uk</a> |

**Emergency Information & Contacts – Fire Station - Whitehaven Fire Station see Appendix B**

|                         |  |   |
|-------------------------|--|---|
| Contact Type            | Nearest Fire Station - Main St, Whitehaven       |   |
| Company or Contact Name | Address  | Contact Information   |
| Whitehaven Fire Station | Fire Station,<br>Main St,<br>Whitehaven CA28 6XD | Emergency Tel. 999<br>Telephone: 01946 505665<br>Web: <a href="https://www.cumbriafire.gov.uk/about-us/fire-stations/whitehaven-fire-station">https://www.cumbriafire.gov.uk/about-us/fire-stations/whitehaven-fire-station</a> |

**Emergency Information & Contacts see Appendix B**

|  |                        |   |
|--|------------------------|---|
| Contact Type                             | Electric               |   |
| Company or Contact Name                  | Address                | Contact Information   |
| Electricity<br>(Electricity North West). | Electricity North West | 24 Hour Emergencies: 0800 1954141<br>Dial before U dig: 0870 1600 910 |

**Emergency Information & Contacts see Appendix B**

|                                     |                       |                               |
|-------------------------------------|-----------------------|-------------------------------|
| Contact Type                        | Gas                   |                               |
| Company or Contact Name             | Address               | Contact Information           |
| Gas Leak(National Gas emergencies). | Northern Gas Networks | 24 Hour Escapes: 0800 111 999 |



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Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

**Emergency Information & Contacts see Appendix B**

|                                     |  |                                      |
|-------------------------------------|--|--------------------------------------|
| Contact Type                        | Water  |                                      |
| Company or Contact Name             | Address  | Contact Information                  |
| North West Water (United Utilities) | NWW – (United Utilities)<br>North West Cumbria | Telephone: 08457462200 - 03456723723 |

**Emergency Information & Contacts see Appendix B**

|                         |  |  |
|-------------------------|--|--|
| Contact Type            | Telecom                                    |  |
| Company or Contact Name | Address                                    | Contact Information                                |
| BT Openreach            | Willow Holme,<br>Carlisle, Cumbria CA2 5RT | Dial Before You Dig: 0800 9173993<br>0800 028 4387 |

**Emergency Information & Contacts see Appendix B**

|                         |                                 |                                  |
|-------------------------|---------------------------------|----------------------------------|
| Contact Type            | Environment Agency - Flood line |                                  |
| Company or Contact Name | Address                         | Contact Information              |
| Flood line              | Environment Agency              | Tel. 08459881188 / 0345 988 1188 |

**Neighbour - Contacts**

|                  |                                    |  |
|------------------|------------------------------------|--|
| Contact Type     | Adjacent Property – Home Bargains  |  |
| Adjacent site    | Address                            | Contact Information  |
| Business Manager | Preston St, Whitehaven<br>CA28 9DL | Tel. 0194667588<br>Web: <a href="http://www.homebargains/whitehaven">www.homebargains/whitehaven</a> |

**Neighbour - Contacts**

|                  |                                  |   |
|------------------|----------------------------------|---|
| Contact Type     | Adjacent Property – Argo Fitness |   |
| Adjacent site    | Address                          | Contact Information   |
| Business Manager | Coach Rd,<br>Whitehaven CA28 7TB | Tel. 07418605528<br>Web: <a href="http://www.argofitness.co.uk">www.argofitness.co.uk</a> |

**Neighbour - Contacts**

|                  |  |  |
|------------------|--|--|
| Contact Type     | Adjacent Property – Coach Road Motor Works                 |  |
| Adjacent site    | Address  | Contact Information  |
| Business Manager | The Old Motor Works, 2<br>Coach Rd, Whitehaven<br>CA28 9BX | Tel. 01946690690<br>Web: <a href="http://coachroadmotorworks.co.uk">http://coachroadmotorworks.co.uk</a> |

**Neighbour - Contacts**

|                  |   |   |
|------------------|---|---|
| Contact Type     | Adjacent Property – Asda Whitehaven Supermarket |   |
| Adjacent site    | Address   | Contact Information   |
| Business Manager | Preston St,<br>Whitehaven CA28 9DL              | Tel. 01946851300<br>Web: <a href="http://www.storelocator.com">www.storelocator.com</a> |



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Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

## Arrangements for Monitoring & Review

Routine Health & Safety inspections will be undertaken on a weekly basis by the site manager and the findings recorded in the company's Relevant Inspection Form filed in the site H&S records file: Other daily walk around site inspections will be carried out and all recorded in the site diary.

Pre-Construction Information will be kept on site for information for all parties.

Unannounced H&S Audits will also be undertaken by Senior Management to assess the development of the H&S plan, suitability of H&S inspections, and collation of H&S file information and to also advise on H&S matters.

Contractors will be expected to have adequate supervision/competent persons on site with the ability to carry out H&S inspections relative to their tasks; this will be highlighted in the site induction.

Significant hazards and the management of the remedial action will be recorded on the H&S inspection record forms and communicated to all parties for comments and action as necessary. This will include significant and adverse findings from all Statutory Inspections and workings of all Trade Contractors and if applicable their sub trades as deemed appropriate and relevant.

Site Safety Inspections to assess the on-going development of this Construction Stage H&S Plan will be carried out by Atkins Realis on behalf of the Client and safety report copies to be provided to the Site Manager to allow highlighted issues to be dealt with in the appropriate manner and timescale on site.

Reports to be tabled at the site progress meetings and issues discussed and disseminated.

## Exchange of Design Information

### ***Existing Health & Safety Files / As-Built information –***

#### ***Asbestos Reports –***

No ACM's have been identified on site. Reference Preston Street, Whitehaven Geo-environmental Appraisal & Coal Mining Risk Assessment 31.1.22 for Aldi Stores Limited; Borehole soils sampling - in total, 4 no. samples of made ground were screened for asbestos fibres; none were detected.

The site is brownfield and has a history of previous use - Early plans (dated 1867) show the site as already being developed with several uses including a stone yard, pottery and colliery school noted across the site. By 1956, several phases of redevelopment have occurred, adapting the site to other commercial uses such as an Auction Market and Mortuary, Mission Hall and public house, with many of the buildings demolished by 2018. Recent aerial imagery suggests the northern portion of the site is used as a car park, whilst the southern portion of the site has been allowed to become overgrown and derelict. In addition underground mining activities require ground remediation.

PC to remain vigilant to the potential of coming across unidentified hazardous materials & contaminated land ensuring site operatives have been adequately informed about the nature of the risk involved. Recommend a minimum of a desktop study to be carried out.

All previous structures on the Site have been demolished and removed by others have been taken down to slab level only. Existing foundations/slabs are to be removed and grubbed out as part of the works. Whilst Ground Investigations have not encountered any asbestos. there remains a risk of encountering unidentified ACM during groundwork - Projekt



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**Construction Phase Health and Safety Plan-  
New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

have arranged for a Site Walkover and Sampling Survey, together with a Watching Brief with Air Monitoring during ground remediation.

There remains the risk of asbestos in any remaining foundations of the buildings or existing services associated with the previous land use and thus the need for watching brief for asbestos. Therefore, all staff likely to come into contact with ACMs, and those supervising such staff, must have recent suitable & sufficient asbestos awareness training. If whilst undertaking the Works, Contractors discover any material with potential to contain asbestos, they are to stop works & immediately notify the Site Manager who will seek advice of an Environmental Consultant. All staff on site undertaking enabling and excavation should have asbestos awareness training in case of contact with unexpected asbestos.

All ACMs should be removed by a licensed Contractor. Asbestos removal & disposal must be undertaken by a licensed & competent Asbestos Removal Contractor and in accordance with all relevant legislation. Only suitably competent staff should be engaged on asbestos removal works, provided with appropriate PPE & supervision, working under a Permit to Work. Ventilation should be provided & air monitoring undertaken, if deemed necessary by risk assessment.

The above-mentioned procedures are mentioned and brought to the attention of site operatives during their site induction. Details of the any ground investigation findings re Asbestos will be communicated to all personnel at Site Induction, with subsequent RAMS and Toolbox talks to manage and communicate on this and other hazards throughout the project, to ensure all workers are aware and follow appropriate working methods required. Contractors generally to follow HSE guidance EM1 – Asbestos Essentials – What to do if you uncover or damage material that may contain asbestos.

***Topographic survey –***

The site is approximately 2.48 Acres in area and is an irregular shape. The site is currently an area of open, disused, brownfield land accessed off Preston Street. Site address - Preston Street, Whitehaven CA28 9BS

- To the north is a carpark with boundaries defined by stone walls. The surfacing is poor and the pay machines were out of order at the time of the site visit. Despite this the car park appeared relatively well used.
- The second area is found to the south, to the rear of the 'The Ginns' and has been fenced off from the remainder of the site. 'The Ginns' accessible from an entrance which is between the two row of houses at Bentinck Row, Whitehaven, CA28 9BS. The plot does not appear to have been managed in a fair quantity of time and is being colonised by Buddleja. Old concrete pads remain and a quantity of old worn tyres have been deposited here.

The final area is the large space which forms the majority of the site. Following demolition of the buildings which formerly occupied the area, the plot appears to have been left unmanaged. It has now been colonised with a dense swathe of pioneer species, primarily Goat willow. Navigation of this portion of this site is arduous given the density of stems. Japanese knotweed was also found in multiple locations.

The site slopes uphill to the south. There were no apparent drainage issues at the time of survey.

A topographical survey drawing of the site produced by Ellam Land Surveys dated October 2004, and provided by the Client indicates that the ground level across the site slopes gently downwards from west to east, between about 9.8m and 8.2m Above Ordnance Datum (AOD). A topographical & GPR Survey was also carried out by Three Sixty Group with drawings produced in February 2019. These are to be referred to for full details: Drawing PRO/W'HAVEN/001 – Whitehaven; Updated Topographic Survey; Scale: 1:200@A0



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Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

### ***Hydrock 3E Site Investigations –***

The Site Investigation reports are available and should be referred to for full details:

E12964-1 PRA and SI Report - PRELIMINARY RISK ASSESSMENT AND GROUND INVESTIGATION WHITEHAVEN – by DTS Raeburn Limited Nov 2016

H3E -P18-351 - Aldi, Whitehaven - Phase 1 Geo-environmental Assessment - dated 22.09.18

H3E - P18-351 Aldi Whitehaven - Geo-environmental Appraisal and Coal Mining Risk Assessment dated 31.01.22

The following information has been extracted from the Site Investigation reports. Please refer to the full reports in Appendix 1 for further details.

- Shallow Seam Mining – below entire site. High Risk.
- Culvert Easement – runs to the perimeter of the Northeast of site. See drawing: 12553\_CO\_001 for location.
- Made Ground – depths to 0.9m to 2.10m
- Superficial Deposits – depths 2.9m to 4.5m
- Ground Gas – CO2 Moderate Risk
- Gas Migration – Moderate Risk
- Groundwater – Moderate Risk. 1.3m to 3.00m

### ***Ground Loadbearing Considerations -***

Due to the identification of the shallow made ground and upper superficial deposits it is recommended that a conservative CBR value of 2% be initially adopted at this stage for these materials, subject to the completion of in-situ plate bearing tests at formation level during the development works. These plate bearing test will be completed prior to reduce level dig on site.

Before using any heavy plant or vehicles, or storing materials, ground bearing conditions must be considered and suitable working bases (including temporary pads) established where required, to ensure the machinery/materials remain stable and to ensure unintentional damage is not caused to existing roads or underground services.

### ***MINING-***

Please see below extract from the report titled: P18-351 Aldi Preston Street, Whitehaven - Geo-environmental Appraisal and Coal Mining Risk Assessment 2022. The report highlights a recommendation on site for localised probing and grouting as a result of the extent of shallow mining under the site.

From the findings of the rotary investigation works an intact and banded coal seam has been identified below the site from depths of between 18.50m and 25.90m (4.00m to 14.8m below rock-head level), ranging in thickness between 2.00m to 3.20m, which is considered to be attributable to the Bannock Band coal seam.

No evidence of voids, broken ground or loss of flush was recorded at any of the rotary borehole locations, completed during these investigation works, and the previous works completed by DTS Raeburn in 2016, indicating a possible absence of workings within the Bannock Band seam below the site.

However, as shown on the mine abandonment plan workings within the Bannock Band seam are recorded to extend below the whole of the site at shallow depth, and as such the potential for intact coal identified at the rotary borehole locations to be representative of unmined 'pillars' of mineral left to support the roof between worked areas, cannot be wholly dismissed at this stage.

Therefore, as a precautionary measure it is recommended that an allowance be included for localised probing and grouting (if required) across to building footprint on a typical minimum 6m centre grid to more accurately assess the



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Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

level of risk in this regard. Should workings be encountered an allowance should then be included for remedial works in the form of grouting to mitigate the risk to the development.

**Flood Mapping** – Flood risk and drainage issues associated with the proposed construction for a new food retail store off Preston Street Whitehaven -

Flood-map-planning-2019-10-16T08\_45\_48.003Z - 16 Oct 2019. Site location (easting/northing - 297298/517524) is in flood zone 1, an area with a low probability of flooding. Existing drainage surveys -

**CL124189 Pow Beck Culvert - SW**

**UU Culvert - FW**

**Further Investigations** - A ground investigation will be required to confirm the site conditions. This should include as a minimum: mini-percussive boreholes and trial pits (if significant disturbance can be tolerated) to determine shallow ground conditions, deep rotary borehole investigations to determine the presence and condition of the Bannock coal seam beneath the proposed development, gas and groundwater monitoring, geotechnical and chemical laboratory analysis. Based upon the findings of the mini percussive drilling works, it is likely that low strength superficial deposits will be identified below the site and deeper cable percussive boreholes with rotary follow on may also be required to determine ground conditions at depth and aid in foundation design.

#### **Utilities -**

Feasibility report by Utility Connections Project no. 3151 dated – 19.1.21.

UC report assesses the diversion and new connection works required prior to construction of new Aldi Preston Street, Whitehaven Retail store. The report takes into account the requirement for disconnection of services to any existing plots where demolition will take place, diversion of assets affected by construction of the Aldi store and assumptions on how supplies can be maintained.

#### **ECOLOGICAL SURVEYS -**

##### **PRELIMINARY ECOLOGICAL APPRAISAL –**

AllAboutTrees Arboricultural Impact Assessment report 4.9.23;

**Wildlife Habitats** - As part of the survey the significant trees were inspected from ground level for signs of wildlife habitation, in particular birds and bats.

Existing properties at the site removed – The site unlikely to support wildlife in current state of remediation, however working methods should be followed to ensure that all mammals are safeguarded.

A separate biodiversity net gain report is being prepared for the site, subject to final landscaping plans. The aim will be a net gain in biodiversity on site. Failing this, off-site mitigation will be considered.

**Trees** - AllAboutTrees has been able to ascertain with Copeland Borough Council (the Local Planning Authority) on Thursday 3rd August 2023 that there are no restrictions protecting the trees on the site. The site is not within a Conservation area and there are no TPOs imposed on any trees within the site. The British Standard Root Protection Areas (RPAs) are indicated by the red circles surrounding the trunk position of the trees on the associated plans. Tree Removals - It will be necessary to remove some of the existing trees to facilitate the proposed development

**Ashtrees Japanese Knotweed Report** - Japanese Knotweed Working Method Statement & Management Plan 10/12/2018 - Japanese Knotweed is actively growing at the above address. Methods of treatment and removal to





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Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

comply with Japanese Knotweed as listed on Schedule 9, Section 14(2) of the Wildlife & Countryside Act (1981)

**Preliminary Ecological Appraisal & Biodiversity Net Gain Report** - Avison Young & Aldi - August 2023

All habitats on site are due to be destroyed and replaced with new habitats. The site is likely to support roosting, foraging, and nesting birds including amber and red-listed species. Bats will likely commute through site, although no roosting opportunities are available. Small mammals including hedgehogs are likely to utilise site for cover and foraging and it is likely that common invertebrates will make use of clearings and vegetation within the willow scrub. Mammals – Working methods should be followed to ensure that all mammals are safeguarded.

**Design Standards** – All designs must be completed in accordance with the relevant parts of European and British Standards & Specifications, Building Regulations, Aldi Engineering Specifications and any other Specification referred to in the Contract.

All significant design change proposals will be assessed and managed by the Principal Designer in conjunction with the Lead Designer and the Construction Manager. Where significant changes are made suitable and sufficient design risk assessments will be undertaken and passed to the Principal Designer for comments and coordination. These control measures and procedures will include any design works undertaken by Specialist Contractors.

**Significant Residual Hazards & control measures** - Refer to Residual Risk Register.

**Temporary works and permanent works identified as Contractor Design in the Contract** - All such work will be considered to be “design” under the CDM Regulations. Details of all design work will be copied to the Principal Designer. Residual issues from design risk assessments must be incorporated into the construction method statements. Record drawings, and all relevant design and residual hazard information, must be provided to the Principal Designer to incorporate into the Health & Safety File. All temporary and permanent works must minimise the risk of damage to the existing services and public highway road construction.

All temporary ground support must be designed, installed, maintained & removed in accordance with the recommendations in CIRIA Report 97 Trenching Practice – 2<sup>nd</sup> Edition. The Contractors to make available design & calculations for any temporary excavation support based on the information provided within the SI information & undertake any additional SI required to satisfy their design requirements.

The layout of the new infrastructure - design to comply with the Workplace (Health, Safety & Welfare) Regulations 1992, Building Regulations and relevant Fire Regulations and fully DDA compliant. The proposed new canopy is not designed to be walked on and construction materials must not be stored on it.

All Temporary (structural) Works design's prepared and submitted for approval by the Principal Contractors or Contractors will be independently checked by Aldi's Structural Engineer i.e. H3E Consulting before works are allowed to proceed on site. The Appointed Temporary Works Co-ordinator will be the Site Manager. Principal Contractor will appoint and identify the Temporary Works Co-ordinator (TWC) (and Supervisor where required) in accordance with BS5975. It is expected that the TWC will prepare, maintain, and update a Temporary Works Schedule or Register for the duration of the works.

In addition to access scaffolds the temporary works envisaged on the Stockton contract include –

- Site Welfare



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Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

- Hoardings / fences / screens
- Banner frames
- Traffic Management
- Excavation support
- Shuttering and formwork
- Sheet piling
- Dewatering
- Crane / major plant platforms
- Steel erection, where additional support / propping / bracing required.
- Safety netting
- Edge protection

This list is not exhaustive, to be developed to include temporary work items raised in production and review of contractor plans and methods...to be reviewed regularly as the work on site develops.

Note - The steel frame relies on vertical bracing for stability. Temporary bracing may be required depending on the erection sequence. The Steelwork Contractor must produce design & method statement prior to erection. All baseplates to be detailed with a minimum of 4 HD bolts (refer to H3E specification G10). The frame design has no unusual design features. Normal erection procedures & safety precautions by a competent Steelwork Contractor will be adequate. Bolted connections to be adopted where possible.

All temporary and permanent works must minimise the risk of damage to the existing assets and services.

The Principal Designer will be responsible for updating the existing Health & Safety File and ensuring it is formally issued to the Client at the end of the Construction Phase.

The Remediation Validation Report, prepared on completion of the ground remediation works, will form part of the Health and Safety File.

The Principal Contractor and all Designers must ensure that all relevant information, as outlined in the CDM Regulations, is provided to the Principal Designer within 2 weeks of the works being taken over. This should include details of any services that have been abandoned or disconnected but not removed.

The Principal Contractor will be responsible for collating all relevant information from Contractors.

#### **Liaison between Parties on Site**

All parties on site will be informed of all relevant H&S and project information by the following-

1. Sub-Contractors will be issued with the complete Construction Phase Plan via drop-box system or other agreed method (and any amendments as an ongoing process). A Pre-Start Meeting will be held, where possible, at least 2 weeks in advance of the start on site date for the respective works. At site induction the H&S Plan will be comprehensively communicated together with site rules and other standards as laid down by the Principal Contractor.
2. Contractors will be made aware by induction and posters of which works require a Permit to Work as a rule. Other works that may require a Permit to Work from risks identified in RA's/MS's will be communicated individually to relevant persons involved.
3. The Principal Contractor will be holding site safety/liaison meetings as deemed necessary to ensure Sub-Contractors are aware of all site construction activities, location of large plant, planned deliveries, identified hazards and any



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Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

significant changes.

4. Prior to commencement of the works a Letter drop notification will be actioned advising adjacent property occupiers of impending works. The Site Manager will seek to continue good relations with neighbours throughout the development.
5. The Principal Contractor will liaise with adjacent neighbours ([Particularly Adjacent Properties – Residential properties on adjacent Bentinck Row / Home Bargains](#)) regarding any construction operations that may affect their normal daily routine of business, and this will take into account environmental considerations such as local traffic management, extended working hours or noisy operations. Construction methods will be considerate of adjacent "live" commercial operation & protection of assets - roads / footpaths / lighting / drainage etc...)
6. Out of hours work / weekend working – subject to compliance with planning pre-commencement conditions as agreed with the Local Authority.
7. Communication on site - Any staff whose first language is not English must be accompanied by someone able to communicate/translate any instructions or warning signage etc.

#### Consultation with Workforce

The main methods for communicating safety information on this project will be via initial safety inductions and briefings to include structured toolbox talks, risk assessments, method statements, posters, safety signs and permits to work where applicable. Also, presentations on the company safety policy and manual will be made as part of the formal site induction training programme. All visitors entering the site will be subject to a Visitors Induction Presentation detailing their level of authorization and making them aware of the site rules for visitors. Moreover, visitors will only be allowed on site if wearing the appropriate level of PPE and will in the main be escorted around the site by the Site Manager unless they can demonstrate understanding of site safety issues by qualification i.e. possession of a CSCS card or equivalent. Visitors will only be allowed to take site photographs with the express permission of the Site Manager. The Toolbox/Safety Briefings talks identified for delivery re the main scope of works for this project are: -

- General Safety Induction and Site Rules
- Coronavirus & COVID-19
- Asbestos Awareness
- Invasive species – Knotweed Treatment
- Environmental and Ecological Management
- Ground remediation – method/sequence
- Traffic Management
- Excavations and Earthwork Support – SSOW and Control Measures (incl. ACM / UXO /Contaminants)
- Confine Space Working – SSOW and Control Measures
- Dust prevention & Control
- Vibration & Control
- Working in and around existing live services – SSOW and Control Measures
- Lifting Operations and Lifting Plans – SSOW and Control Measures
- Working at Height Internally and Externally – SSOW and Control Measures
- Manual Handling
- Scaffolding and Edge Protection – SSOW and Control Measures

There may be others derived from the detailed RA & MS produced for all medium to high-risk activities and these will be



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Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

recorded on the Master A3 Control Chart located on the site notice / *hazards* board.

All Toolbox talks will be recorded to include operative name, company, date of talk and talk content. Bullet points of this briefing will be available for individuals as an aid memoire.

Site Safety Meetings will be set up as necessary to brief and co-ordinate all contractors to insure there is an awareness of all operations and their timing on site. To this end the programme of work will be reviewed, revised and disseminated on regular basis, and in particular in respect of all medium/high risk activities.

Regular structured toolbox and task talks will be given on site to communicate relevant safety information. Contractors will be actively encouraged to contribute in a constructive way to the discussions and development of solutions where there is a problem or particular hazard. Part of the theme we use to develop a positive health and safety culture involves the contribution of all to safety which we consider essential for success.

**Management of issues associated with Covid-19 Corona virus** – Whilst the UK Government’s Living with COVID-19 plan is clear that the pandemic is not yet over, the removal of the Working Safely during Coronavirus (Covid-19) guidance, along with the health and safety requirement for employers to explicitly consider COVID-19 in their risk assessments, from 1st April 2022 means that the Construction leadership Council Site Operating Procedures are no longer current and remain available as a reference document. Whilst they will no longer reflect the latest Government guidance, businesses across the supply chain have welcomed the consistency that the Site Operating Procedures have provided and they may wish to maintain elements of social distancing for the time being. The Use of Face Coverings in Construction also remains available as a reference document, and it is recommended the good practices the industry has adopted since the pandemic began are retained.

All Contractors will be required to follow government guidance, Projekt Construction COVID-19 policy - and promote site operating procedures in line with current Government Guidance or Construction Leadership Council (CLC) procedures. ***Subject to COVID-19 policy and risk assessment and to comply with guidance, as and when required measures will be taken to reduce risk***, the works being subject to the following arrangements:

- Keeping up to date and complying with all Government, HSE, Client Specific and industry guidance and requirements (e.g. Construction Leadership Council Site Operating Procedures).
- Identifying work activities that cannot be undertaken or must be stopped as compliance with Government guidelines (e.g. on social distancing) are not possible and advising the Client accordingly.
- Safely closing down and isolating any activities / work areas which cannot continue in line with Government guidance.
- Giving special attention to areas where social distancing is more difficult and workers need to use regularly (e.g. welfare facilities, toilets, drying rooms, canteen etc.), implementing special arrangements and providing additional guidance and procedures as necessary
- Ensuring all site staff are fully aware of, and kept updated with, latest Government guidance and rules specific to their site activities.
- Policing site rules and compliance with Government guidance.
- Arrangements for minimising risk to third parties (e.g. members of the public).
- Arrangements for minimising risk to visitors and delivery drivers.
- Arrangements for dealing with any staff who become ill whilst on site. All arrangements must be recorded in the Construction Phase Plan.

The Principal Contractor will also co-ordinate the issue of COVID-19 Essential Worker Authorisation letters which will be provided by the Client when required.



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Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

## Handling Design Changes

All design changes will be subject to a verbal assessment between the Lead Designer and the Construction Manager. Where it is believed a change is significant or the proposals change the H&S risk profile significantly the Principal Designer will be contacted by phone and where necessary detail a Design Risk Assessment to be provided to communicate the revised findings and identify any additional residual risks that are to be managed on site. All changes that affect current site arrangements will be communicated to all contractors without delay and fully discussed at the next progress/safety liaison meeting and before operations/changes are commenced. Significant Design changes that require the consultation and involvement of the Principal Designer will be recorded by the Lead Designer in a Register of Design Changes.

## Contractor Selection & Control Procedures

### Contractors

All Contractors, self-employed operatives and Designers will be vetted on behalf of the Client by the Principal Designer in advance of any new and significant appointments to evaluate health & safety competence and available suitably experienced resources levels to be deployed in respect of site health & safety management. This vetting procedure will also be undertaken on behalf of the Client by the Principal Contractor for lesser risk trades and in respect of project specific issues when the contractors under consideration are to be appointed from the approved supply chain listings. The Contractor's will be required to complete an initial questionnaire and that will be subject to an appraisal by the Principal Designer/Principal Contractor to quantify the level of competence and adequacy of resources being offered. As already stated, the competence checks for new contractors who are to carry out medium to high-risk works must be completed and signed off by the Client before the official orders can be raised. All Subcontractors for this project will be on the approved list.

### Plant & Operatives

All plant and operatives will be evaluated to ensure the appropriate safety standards are adopted. Plant operatives will be required to provide evidence, in the form of the appropriate registration card/certificate, (CITB or Equivalent, i.e. CCDO, CTA or CPCS card) that a satisfactory standard of operation/competence has been obtained under the test conditions of an approved assessor. To demonstrate that plant and equipment supplied is acceptable and meets the appropriate standards records of maintenance, test records, records of thorough examinations, electrical test certificates, and gas installation test certificates will be required where necessary. For lifting operations evidence of competence for banks men and slingers will be required in the form of a suitable certificate provided by an approved training company, lifting plans will also be required prior to lifting operations taking place. It will be the responsibility of the Site Manager to ensure the above standards are implemented.

### Traffic Management – See **Appendix E** Traffic Management Plan

The Designated Construction Areas will be for the sole use of the Principal Contractor. All site staff & visitors must undergo the Principal Contractor site induction prior to entering any part of the site. Access to Designated Construction Areas - The Designated Construction Areas will be for the sole use of the Principal Contractor. All site staff & visitors must undergo the Principal Contractor site induction prior to entering any part of the site.



Architects | Construction

**Construction Phase Health and Safety Plan-  
New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

The Traffic Management plan has been developed for the site, with a view to segregating pedestrians from vehicular movement where possible. The plans are to be shown to all operatives as part of the site induction. Construction traffic will be separated from the workforce by barriers. Vehicle access to the Site for all construction traffic during the works will be via Preston Street service entry. The initial Traffic Management Plan is subject to development as the works progress.

Separate access routes are provided for vehicles and pedestrians (vehicles and pedestrians physically separated by distance, not just a barrier). A site speed limit 10mph to be observed by all vehicular traffic on site and policed by the Principal Contractor. Signage to be provided and maintained. When work is undertaken at night or within partially completed buildings, the Principal Contractor will ensure appropriate safety lighting is provided and used. Contractors to provide any site-specific task lighting.

## Whitehaven – Enabling Site Establishment



- Timber Hoarded fence
- Vehicle turning area
- Temp Pedestrian access
- Enabling compound – extent to boundary lines
- Skips
- 20ft Container
- Temp 24ft SCU Welfare
- Temp Track Mat access
- Contractor Parking
- First Aid Station
- Muster Point
- Fire Point
- Post & Heras Fence / Tree protection
- Pedestrian Barriers

Initially during Enabling work the site will be split into 2 areas - A parking area accessed off Preston Street to the west and an enabling construction works area to the East with entrance access between the residential properties at Bentinck Row. A pedestrian avenue linking the 2 sections of the site.

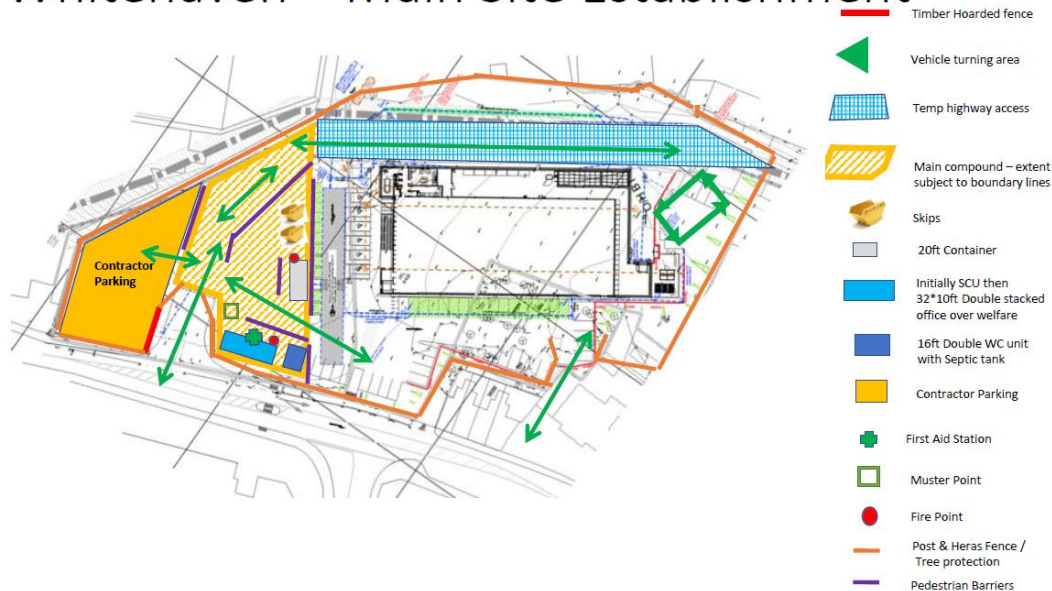




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Construction Phase Health and Safety Plan-  
**New ALDI Store -**  
**Aldi Whitehaven,**  
**Preston Street,**  
**Whitehaven CA28 9BS**

## Whitehaven – Main Site Establishment



For the main works, upon entering the site **via western access gate** construction vehicles will be directed to the delivery area, once unloaded construction traffic to vacate via a designated route to avoid reversing, exiting via the same entrance. Non-construction vehicles will also access **via the western access gate** and will be directed to a dedicated parking area. Any amendment to this arrangement subject to site management approval. During the main construction works the eastern access between the residential properties at Bentlinck Row will be restricted in use to minimise residential neighbour impact.

As far as is physically possible separate construction /pedestrian routes will be provided in order to segregate plant and wagon traffic flows from site personnel. From the Philadelphia Lane footway a contractor pedestrian access gate will provide safe segregated pedestrian access to the car parking area / site compound and, ensuring safe access / egress for site personnel, away from trafficked areas.

Site access roads must be kept clear at all times for customers and deliveries to the adjacent commercial properties, construction traffic & Emergency Services vehicles. Suitable & sufficient turning facilities must be provided to avoid the need for vehicles to reverse. No plant, materials or equipment should be placed in a position where, in the event of an accident, malfunction or misuse, it could fall within 3m of any existing building, public or private road or footpath.

Following approval from local authorities, construction works local to highways (ALDI store entrance) will be conducted in accordance with NRSWA requirements with provision and maintenance of appropriate signage and barriers. Contractors carrying out highways & street-works will as part of their RAMS include measures to maintain adjacent public highways, public access routes, private access roads, footpaths and walkways clean of dust, mud, materials & construction debris. They will also be required to protect existing street lighting columns, road signs, manhole/gulley covers and other existing street furniture from potential damage from their work activities. The public highways and



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Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

footpaths will remain in operation during Construction Works and must kept available for use by delivery vehicles, private vehicles, and cyclists, except where closure or diversions necessary put in place during Groundwork's activities. Warning signage is necessary to give traffic advance warning of construction vehicles turning etc.

The traffic management plans indicating delivery areas will be brought to the attention of all personnel during induction, together with details of allocated site parking area for non-construction vehicles, and pedestrian safe areas - to ensure high level awareness by all parties. Prior weekly delivery scheduling by all contractors being a basic site requirement – advised at site induction, co-ordinated on a weekly basis with the site manager. In order to keep the highway clear, supplier deliveries not conforming to the scheduling requirement will be sent away. Immediately on arrival all delivery drivers will be advised to report to the Site Manager. This system of traffic management will prevent stacking of traffic to surrounding roads. A Banksman will be used at all times where material deliveries and movement of plant pose significant risks and are identified as part of the ongoing daily management of all H&S matters.

Car parking must only take place within the Main Site Compound / designated car parking areas indicated on the traffic management plans. Contractors' staff must not park their vehicles on Bentwick Row or other adjacent streets. All endeavours will be made in order to provide on-site parking for site operatives.

Construction materials will be delivered to the site compound or if needs be directly to the work zone. Anticipated and planned construction material deliveries will be reviewed on a weekly basis and in the case of large, heavy or bulky loads a specific pre agreed unloading location will be identified together with the means to safely unload and position. Specific safe access/egress routes and areas to be kept clear of materials will be noted on the Traffic Management Plan. Should it be deemed necessary large deliveries will be scheduled out of hours or at off peak traffic times thus avoiding congestion. Recent Health & Safety bulletins have highlighted that cyclists are being injured by manoeuvring wagons; particular attention and care will be given to this problem when site deliveries are being made.

#### **Site Compound and Welfare Area Plan – See Appendix D**

The site compound & Welfare areas will be set up as per the plans provided. Temporary power and water supplies to the site welfare / compound will be installed as part of enabling works.

#### **Material Suppliers & Storage**

All materials to be unloaded and stored in accordance with manufacturer's instructions and are not to be left so that they pose a danger to children by being able to be rolled etc. Material storage areas (within the fenced work areas) will be grade and levelled hard standing areas. Plant and materials must be stored within the Designated Construction Areas. Unloading of materials must only be undertaken within the Designated Construction Areas and by mechanical means. Manual handling of heavy materials should not be permitted. If unloading requires working at height then suitable procedures must be adopted to comply with the Regulations, including the use of harness restraints where applicable. Delivery wagons should be equipped with suitable inflatable offloading surround bags. All materials should be stored, stacked and handled in a safe manner. The height of material stacks should be minimised and should not exceed the suppliers' safe recommendations. All fabrication must be completed off site or within the Designated Construction Areas. Safe access to and egress from unloading / storage and fabrication areas must be maintained at all times for delivery and emergency vehicles.

All suppliers of any type of material or system to be used on the project will be required (as part of the order/contract with the Principal Contractor) to provide all relevant details on the COSHH and other occupational health hazards, installation criteria, safe lifting methods, maintenance, operational hazards etc. Only suppliers that meet these



Architects | Construction

Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

standards will be used by Projekt Construction. It will be the responsibility of the Site Manager to ensure the above standards are implemented.

Plant re-fuelling – location of re-fuel station to be site compound. Proprietary fuel containers to be suitable for site use – double bunded, with drip tray – located away from natural watercourses. A spill kit to be available at the site office to deal with any accidental spillage. Use of the re-fuelling facility is subject to MDS/COSHH/RAMS for the work. Contractor RAMS are subject to a Site Manager approval process to ensure adequate controls in place for the works. In event of spillage of hazardous material or liquids the contractor who brought the material to site will be responsible for clearing away spillage to the satisfaction of the Site Manager and Environmental Agency if they have become involved. Projekt Construction will ensure that an adequate spill kit is available on site at all times.

#### Exchange of H&S Information between Contractors

All risk assessments / plans of work, method statements, programme of work, O & M manuals and other relevant information will be obtained by the Principal Contractors Site Manager and disseminated as necessary to the relevant Contractor's. Where the risks are significant, and more coordination is needed to promote the management of safety, a safety coordination meeting will be arranged by the Construction/Site Manager. Copies of the existing site services, and other relevant information will all be available on drop-box site for all Trade Contractors information.

Good lines of communication and liaison as required will be maintained between Projekt's Site Manager and local residential / retail premises managers' ([Principally – Bentwick Row residents and Home Bargain Retail](#)). Other party contact dependent on specific requirements.

#### Security, Induction & On Site Training

Access to Designated Construction Areas - The Designated Construction Areas will be for the sole use of the Principal Contractor. All site staff & visitors must undergo the Principal Contractor site induction prior to entering any part of the site. Traffic Management Plan will be explained to ensure understanding on site access routes. Separate access routes are provided for vehicles and pedestrians. A site speed limit 10mph to be observed by all staff and policed by the Principal Contractor

##### **EXISTING SITE SECURITY ARRANGEMENTS & CRIME ISSUES –**

At the time of the writing the site boundary is a mixture of masonry, timber and railing fences. On commencement of construction activity, any open / vulnerable boundary lines will be secured with the install of post and Heras fencing.

The site is within the Whitehaven policing neighbourhood, under the Cumbria Constabulary region.

Most commonly reported crimes during Nov 2024

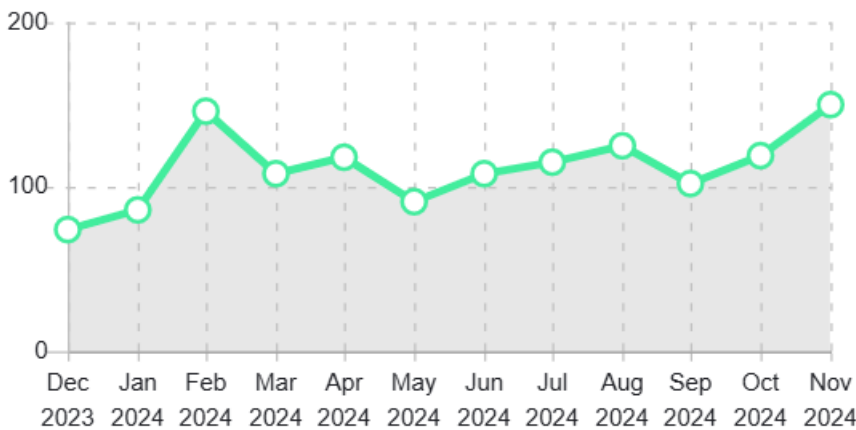
|                              |    |
|------------------------------|----|
| Violence and sexual offences | 52 |
| Anti-social behaviour        | 27 |
| Criminal damage and arson    | 23 |
| Public order                 | 14 |



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Construction Phase Health and Safety Plan-  
**New ALDI Store -**  
**Aldi Whitehaven,**  
**Preston Street,**  
**Whitehaven CA28 9BS**

### Crime per Month



The Principal Contractor will provide all reasonable measures to exclude the public from the Designated Construction Areas and to protect all site staff from harm. The Principal Contractor will liaise with the local Police on all security matters.

On commencement of construction works the boundary fencing will be inspected to ensure existing fences are secure, where required the fences will be repaired or replaced with post and Heras fencing. Refer to site establishment layout drawing & Traffic Management Plan– **appendix D...**

The perimeter security fences will be inspected on a daily basis to ensure its integrity and ensure effectiveness remains intact at all times. For Construction an external CCTV system will be installed and maintained to ensure 24/7 vigilance of the site, with visiting mobile security employed where deemed necessary by the site management. If the visiting guard patrol is ineffective, and security provision proves inadequate – will escalate to provision of security guards “out of hours”....

The condition of the existing / Heras boundary fences, along with CCTV site security will be checked and condition monitored for the duration of the construction works, in the event of any damage occurring repairs will be addressed as required.

Good lines of communication will be maintained with neighbours to ensure good relations. Note - a letter drop notifying neighbours of the works will be carried out as part of the initial enabling works.

The security of larger items of plant and equipment will be the responsibility of the owner or hirer, and these must be left in an inoperable state outside of working hours and generally be parked up within the site compound area. The site will be left in a secure condition at the close of each working day and the Site Manager will carry out an inspection to check the security of both the site boundary fencing and the site compound. Inspection to include - Daily inspection of perimeter / party walls / fencing and to advise neighbours immediately of any damage identified, allowing access for repair fencing by agreement.

Appropriate signage will be placed around the perimeter of the working area warning members of the public of the potential hazards. The site manager to ensure that the perimeter fence is inspected and secure at the end of each working day. Advisory signage will be provided to direct visitors to the site office and signing in point.



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Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

All visitors, contractors, delivery drivers, self-employed and consultants on site (unless escorted by the Site Manager) will be given Health & Safety induction training that implements the Projekt Construction Site Induction Programme and also the site specific Health & Safety rules. Contractors whose first language is not English will be advised that they must provide an English speaking operative on site at all times. At time of Induction TBT on Coronavirus / COVID-19 to be addressed – all personnel to be advised of and comply with Government guidelines and site operating procedures.

Induction and Toolbox Training will be coordinated by the Site Manager and the respective trade contractor's supervisors and all candidates will be required to sign a declaration that they have received and understood the induction / training.

Where operatives are subject to disciplinary action induction training will be repeated unless the breach of site rules results in expulsion from site in which case the Company will receive notification to review their respective training policies.

Young Persons employed (under 18) - for a placement in a construction – Risk assessment required. Training needs to provide them with clear and sufficient instruction, training and supervision to enable them to work without putting themselves and other people at risk. It is to be noted that young people are likely to need more supervision than adults. Good supervision will help you get a clear idea of the young person's capabilities and progress in the job and monitor the effectiveness of their training. Consider what work the student will be doing or observing, the risks involved and how these are managed. Construction / Site Manager to be satisfied that the instruction, training and supervisory arrangements have been properly thought through and that they work in practice. Note - Employers must ensure that all persons who use work equipment have received adequate training for the purposes of health and safety, including training in the methods which may be adopted when using work equipment, and risks which such use may entail and the precautions to be taken. Induction - for students, explain the risks and how they are controlled, checking that they understand what they have been told. Check that students know how to raise any health and safety concerns.

**A copy of the site induction can be found in [Appendix K](#)**

#### **Welfare Facilities & First Aid – to be located as indicated – [See Appendix D](#)**

There are no existing welfare facilities on the Site.

The welfare facilities for this project will address the standards detailed in HSG - CIS No 59 'Provision of welfare facilities at fixed construction sites. For Enabling an 24' Self Contained Unit will be used (serviced & cleaned weekly), together with a 20' secure store and for Main Construction works the site accommodation facilities will consist of 2no. 32' secure doubled stacked serviced units (Office / Meeting / Welfare - to have windows facing away from residential properties / blocked to prevent overlooking), a 16' secure WC unit, and a 20' secure store. The accommodation units will be serviced weekly for the duration of the Construction work. Welfare facilities include toilets, washing facilities, changing and rest areas, drinking water and eating facilities for up to 50 persons for the construction period of the project and will be located as seen on the site welfare plans Appendix D. Enabling accommodation located to East area of the site, The main site accommodation will be located to the south west corner of the site. Cabins and site parking located to avoid drainage & kerb lines.

Subject to approvals, and so far as practicable the toilet block would be directly connected to existing live foul sewage system on site as will the mess cabin. Failing to secure temporary sewer connection a septic tank will be provided to service the site WCs etc. In addition to the provision of welfare facilities, regular maintenance, and cleaning of them will be carried out by outside professional cleaners controlled by the Site Manager.



Architects | Construction

Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

Coronavirus / COVID-19 – welfare facilities will be monitored by site manager for numbers using facilities. In the event of elevated risk from COVID-19, measures to control / reduce impact on site personnel will be introduced, such as – capacity being restricted to 50% norm – Cleaning regime to be enhanced to comply with Government guidelines and site operating procedures.

The Principal Contractor will be responsible for the storage, collection & disposal of foul waste. Welfare facilities designed to prevent any contamination of watercourses or groundwater.

Site Manager will be First Aid trained and an up to date First Aid box will be located in the Site Office. The Enabling and Ground Works contractors will also be asked to provide a qualified First Aider to cover the works in the case of the site manager not being available for any reason.

It is not intended that LPG storage areas will be required on site as temporary office heating will be via mains electricity and black element convector heaters. In the event LPG gas cylinders are required for groundwork / steelwork activities – they will be stored in a secure cage in the site compound.

Should it be required diesel fuel storage will be provided by double skinned, bunded tanks secured within the site compound area.

The site secure storage container will be used to store other chemicals and cleaning agents etc. The secure container is located as shown on the site set up drawing.

Contractor car parking must only take place within the designated parking areas of the site. Contractors' staff must not park their vehicles on Bentwick Row or other adjacent residential Streets. All endeavours will be made to provide on-site parking for site operatives.

## Accident & Near Miss Reporting & Investigation

### **Accident reporting -**

All accidents, near miss, illness and defective equipment must be reported by Contractors to the Principal Contractor who will formerly record & report the same to - The client and HSE as required and in line with our company procedures. Projekt Construction appreciates its duties under RIDDOR 2013 (<http://www.hse.gov.uk/riddor/>) and the importance of undertaking formal accident investigations to review procedures and prevent similar failings. These investigations will be undertaken by the site manager and or the appointed safety consultant for the project.

The company's accident reporting procedure is detailed in the H&S Policy and the accident and dangerous occurrence forms are accessible from Projekt Construction on site H&S Management System.

**Near Miss reporting system** – Projekt procedure communicated with all site personnel as part of site induction. Near Miss process as follows -

Site Managers' conducts regular TBT's on Near Miss using the below guide - "8 tips for your near miss reporting system." You can use these as a basis for setting up your near miss reporting program.

1. Promote a positive view on reporting near misses.
2. Ensure employees know there are no negative consequences to reporting a close call.
3. Educate employees on why near miss reporting is important, the critical role they play in signaling safety issues and instructions on how to report.





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Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

4. Establish that reporting of near misses is easy, and anonymous if necessary.
5. Investigate near misses seriously to determine the root cause.
6. Take corrective measures and/or preventative measures to prevent further occurrences.
7. Communicate what actions will be taken after the near miss investigation.
8. Continue encouraging near miss reporting and participation in health and safety.

Just because there was a near miss this time does not mean next time won't be a serious accident. So, promote near misses & reporting, investigate seriously and take proactive measures to prevent accidents and injury.



Near miss reports to be collated weekly & forwarded to Projekt office – enabling near miss register update / communication to all sites via Tool-box-talk...

Near Miss report updates reviewed at monthly client meetings – so that learning can be shared.

### Risk Assessment & Method Statement Production & Approval

No work will start until activity specific risk assessments/Plan of work/method statements have been formally approved by the Principal Contractor. For all operations of a medium/high risk nature as identified on the master Risk Assessment and Method Statement Control Chart which will be maintained by the Site Manager. Currently the RA/MS log is being updated as Subcontractors are being recruited.

All assessments, method statements, etc. will be recorded and managed via the Site Co-ordination Register. Contractors will be required to provide construction method statements and supporting information where appropriate which will be incorporated into the Construction Phase H&S Plan and File accordingly.

All risk assessment and method statements will be assessed by the Site Manager before work starts and the Contractor informed of the findings.

As a minimum standard, risk assessments & method statements MUST contain the following-

1. Identification of significant risks.
2. Name of manager/supervisor responsible and counter-signed.
3. Sequence of construction work and dates for works to be carried out.
4. Appropriate risk control measures i.e. written safe system of work, permits, safety equipment, PPE etc.
5. Emergency procedures.



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Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

Risk Assessments. Plan of work & Method Statements will be produced for the following operations as a minimum:

1. Asbestos related works
2. Knotweed related works
3. Secure boundary hoarding / fencing erection
4. Ground remediation
5. Groundworks
6. Excavations for foundations & Drainage.
7. SW / FW outfall connections
8. Structural steel erection and temporary propping required.
9. Roof works including the canopy installation.
10. Shopfront work including unloading and installation of large glass panes.
11. Unloading and installation of large items of mechanical / refrigeration plant
12. Mains Service installations / diversions.
13. Mechanical, Refrigeration & Electrical installations including isolation / test procedures/lock off systems.

The full list of RA/MS will be prepared and listed on the RA/MS Control Chart Appendix N.

**RAMS to address unexpected event /contingency situation;** In the event of an unexpected occurrence – the site manager will stop the specific work and contact the contractors employer / line manager requesting they update their project specific RAMS to include the event arising.

#### **PPE – provision & use**

Projekt policy in relation to Personal Protective Equipment (PPE) is to only use this equipment where other risk reduction methods have already been introduced and a residual risk remains, or where, by the nature of the task, it is necessary to use some form of PPE to safeguard health.

The health and safety of all personnel who may be affected by physical agents such as hazardous substances, noise, vibration, heat/cold or falling/ejected particles will need to be considered, and control measures implemented to prevent this or, if not possible to prevent it entirely, to reduce the risk as far as is reasonably practicable.

Following HSE and industry guidance and codes of practice regarding PPE provision and use - we accept that health and safety are management responsibilities; however, we rely on the co-operation of all employees to meet this obligation.

PPE provision & use – contractors to provide PPE where contractors risk assessment requires.

Noted contractors to provide PPE for their use, however, at the site office we will have a minimal stock of - safety helmets / high viz vests / goggles / safety glasses / boots / gloves / ear defenders – for issue by site manager where work progression requires. We consider that every employee has the obligation and right to inform management if they feel that tasks may represent a risk to their own or others health and that PPE may reduce or eliminate this risk.

We expect all employees to recognise that they have a duty to take reasonable precautions to avoid injury and ill-health occurring to themselves and others.



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Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

## Site Safety Rules

### Site Safety Rules

1. Follow all rules and instructions given on posters, safety signs and given by managers and supervisors.
2. Co-operate with site management on all matters of health & safety.
3. Properly use and wear all safety equipment and report any defects to a Site Manager.
4. Do not report for work if you are under the influence of alcohol or drugs.
5. Do not consume food or drink on site. All food must be consumed at the designated areas.
6. No horseplay or dangerous behaviour will be tolerated on site.
7. No radios for playing music can be used on site.
8. No alterations to plant, equipment or and especially standing scaffolding must be made unless authorised.
9. Wash hands and remove personal protective clothing/equipment before eating.
10. Immediately report, to a Site Manager, any hazardous situations.
13. NO SMOKING on site except for the designated area.
14. Only authorised personnel that have signed the register will be allowed on site and to use the scaffolding.
15. All temporary electrical supplies and associated power tools MUST be 110V. With the exception of floor tiling operations, the use of higher voltage equipment/plant is not envisaged. Floor tiling operations carried out will be serviced by 415V three phase power supplies and will be strictly in accordance with procedures adopted and agreed on previously completed Aldi sites. Battery tools are preferred.
16. All accidents, dangerous occurrences, medical treatment and illnesses must be reported to the Site Manager.
17. No work activities shall commence without the knowledge of the Site Manager.
18. All site plant MUST be accompanied by the appropriate test certification.
19. No vehicle/plant is to reverse without the operation being planned to prevent injury and supervised by a competent person.
20. All plant and operatives must be accompanied by suitable certificates for test/examination and competence respectively. Copies of certificates must be given to the Principal Contractor before work commences.
21. On hot sunny days be aware of the risks of UV exposure and sunburn which can be very harmful. Keep covered up and if necessary, wear sun block lotion.
22. Report all accidents, incidents and near misses, hazardous situations and any defects to tools, equipment or working platforms to the site manager as soon as they occur. This to include details of all trade contactor accident book entries which must also be copied to the Site Manager.
23. All operatives, visitors and 3rd party personnel must ensure that they sign in and sign out when entering and leaving the site. The sign in logbook is available and is located within the site canteen on a shelf next to the Safety Notice Board.
24. Car parking must only take place within the Main Site Compound. Contractors' staff must not park their vehicles on the adjacent Bentwick Row, or other adjacent service roads or streets.
25. Ensure communication and site compliance with Government Guidance regarding Coronavirus/COVID-19



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Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

## Fire & Emergency Procedures

A Fire Safety Management Plan will be developed for all projects and all projects will be subject to a Fire Risk Assessment (**Appendix L**) to identify the main activities with a particular fire risk. The Fire Safety Plan will be developed by the Construction Manager, or the Site Manager and the assessment will take place on site by the Site Manager. The Fire Safety Plan will include the following-

1. Project details.
2. Details of key personnel e.g. Fire Marshall, Fire Safety Coordinator, Site Manager, local fire station etc.
3. Arrangements for the nature and location of fire points.
4. Location's, type and numbers of fire extinguishers and other portable firefighting equipment
5. Records of regular checks carried out to fire extinguishers to ensure that they are maintained in a current state of readiness.
6. Details of alarm and practice evacuation.
7. Use of H&S permits to work i.e. Hot Work Permits. These will be subject to separate RA/MS and will include details of fire suppression equipment to be deployed and post completion /after-hours inspection measures to be taken.
8. Storage of materials.
9. Fire Plan illustrating exit routes, location of fire action signs, exit signs, muster points and fire points. These plans will also be regularly reviewed and updated to reflect the issue of partially completed works and the changing nature of escape routes.
10. All identified emergency exit routes and exit doors will be inspected daily by the site manager to ensure they remain suitably signposted and kept clear of materials, plant, leads and cables.

The prescribed minimum safety standards, monitoring arrangements, statutory and workplace inspections as set out in the H&S Plan will be subject to daily monitoring by the Site Manager and augmented by 3rd party monthly auditing by the appointed safety consultants.

Adverse findings and observations will be dealt with on the day and recorded as such.

## Temporary Site Services

All temporary site services will be installed by competent persons, following approval of an appropriate method statement and subject to daily H&S monitoring. Electrical services will be subject to a three-month inspection and test by an approved electrician i.e. NICEIC or ECA. Site temporary electric arrangements will be recorded on a schematic record drawing to be held within the Temporary Electrics Register. Water supply will be installed by the successful Mechanical Contractor and will comply fully with all current regulations.

When work is undertaken at night or within partially completed buildings, Principal Contractor will ensure appropriate safety lighting is provided. Contractors to provide appropriate task lighting for their works and ensure used.



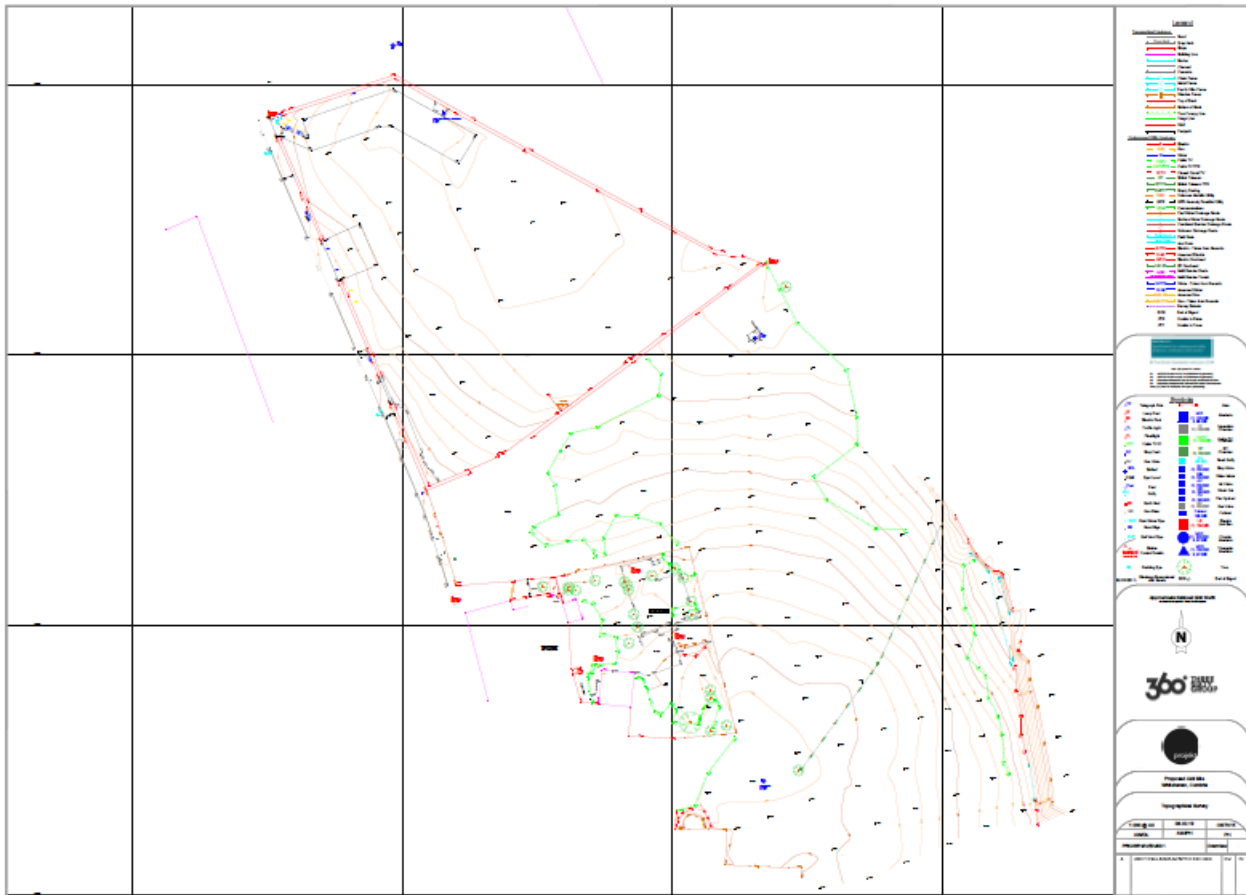
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Construction Phase Health and Safety Plan-  
**New ALDI Store -**  
**Aldi Whitehaven,**  
**Preston Street,**  
**Whitehaven CA28 9BS**

Existing & New Services – See **Appendix C** for copies of all existing service mains locations / new service provisions

#### UTILITY SURVEY DRAWINGS

A Utilities Survey was carried out by Three Sixty Group – Whitehaven Underground Utility Survey 002 Rev A



Information provided from the Utility companies & the GPR utilities survey of the Aldi site, to be reviewed by the Designers and all identified services shown on the drawings. The accuracy of this information cannot be guaranteed as modifications may have been made that have not been recorded. Topographic survey & drainage survey are available and are being used to produce contract drawings. Existing services that will be affected by the project are listed below:

#### **EXISTING UTILITIES -**

Utilities - Feasibility report by Utility Connections Project no. 3151 dated – 19.1.21.

At this time UC awaiting input from service authorities.

#### **UTILITY DECOMMISSIONING ACTIVITIES**

Utility Connections – Utility Consultant to contact relevant service authorities and provide details of all service decommissioning / isolation records for the site. Details of diversions and new installation works to be provided. This information shall be forwarded as part of site H&S file record, to be compiled together with any 'as-built' drawings and forwarded to the utility owner and to the Principal Designer and also to the Construction Works Principal Contractor

#### **Offsite Constraints;**



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Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

**Electric -**

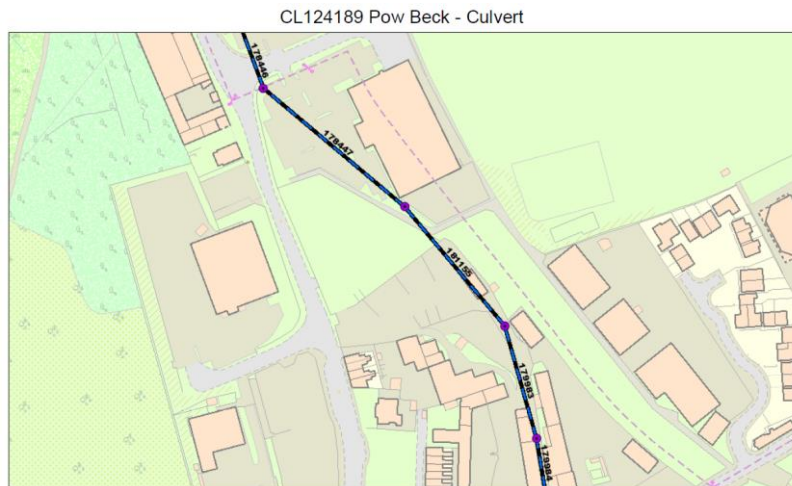
- Electricity North West–Offsite reinforcement Off-site network reinforcement works are required as part of the 175KVA connection offer from Electricity North-West, specifically the upgrade of nearby substation to accommodate the additional load.
- Electricity North-West – Proposed access into the store car park. There are multiple LV mains positioned in the footpath of the Preston Street in the area where the new access into the store carpark will be constructed, dependant on the current depth of the cables they may need to be slewed or diverted to a depth suitable for carriageway.

**Openreach** - Existing BT Pole and overhead lines in the South of the boundary The Openreach record indicates that there is an existing BT pole and overhead line positioned within site tight to the western boundary immediately adjacent to the junction of Preston Street and Cart Road. At this stage it's unclear if the overhead line serves one or all of the terraced houses located on Preston Street. This may require diverting if proven to be an onsite constraint

**Existing drainage –**

Culvert Easement – runs to the perimeter of the Northeast of site. See drawing: 12553\_CO\_001 for location.

Pow Beck – runs to the perimeter of the Northeast of site – drawing CL124189 refers – 1700mm Brick Culverted Water Course -



Foul sewer runs to the perimeter of the Northeast of site. See UU Sewer drawing: OS Sheet no. NX9717 NW dated 10.10.16 -





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# Construction Phase Health and Safety Plan- New ALDI Store - Aldi Whitehaven, Preston Street, Whitehaven CA28 9BS



OS Sheet No: NX9717NW

Printed By: Property Searches

Scale: 1:1250 Date: 10/10/2016

| Station | Chainage | Depth | Notes |
|---------|----------|-------|-------|
| 100     | 0+00     | 1.50  | 100   |
| 101     | 0+05     | 1.50  | 101   |
| 102     | 0+10     | 1.50  | 102   |
| 103     | 0+15     | 1.50  | 103   |
| 104     | 0+20     | 1.50  | 104   |
| 105     | 0+25     | 1.50  | 105   |
| 106     | 0+30     | 1.50  | 106   |
| 107     | 0+35     | 1.50  | 107   |
| 108     | 0+40     | 1.50  | 108   |
| 109     | 0+45     | 1.50  | 109   |
| 110     | 0+50     | 1.50  | 110   |
| 111     | 0+55     | 1.50  | 111   |
| 112     | 0+60     | 1.50  | 112   |
| 113     | 0+65     | 1.50  | 113   |
| 114     | 0+70     | 1.50  | 114   |
| 115     | 0+75     | 1.50  | 115   |
| 116     | 0+80     | 1.50  | 116   |
| 117     | 0+85     | 1.50  | 117   |
| 118     | 0+90     | 1.50  | 118   |
| 119     | 0+95     | 1.50  | 119   |
| 120     | 1+00     | 1.50  | 120   |

| Symbol   | Description |
|----------|-------------|
| [Symbol] | 100         |
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OS Sheet No: NX9717NW

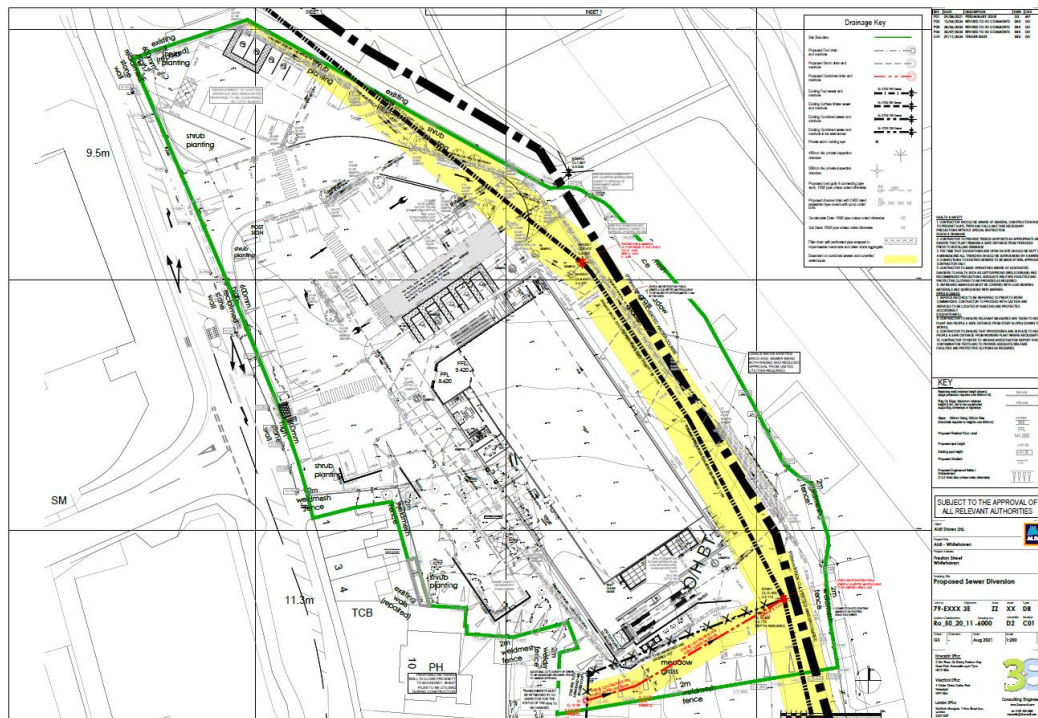
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Sheet: 1 of 1

United Utilities

SEWER RECORDS

In order to progress the new store development, the works proposed require existing 375dia. FW sewer to be diverted on the south boundary of the site – H3E Sewer Easement drawing indicates protected zone/ sewer diversion -







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**Construction Phase Health and Safety Plan-  
New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

The presence of existing "live" services at the site perimeter / on site are to be brought to the attention of site operatives during the site induction. Any identified "live" services to be demarcated and/or protected from contact and/or damage throughout the works. Records of any service isolation / diversion required to be provided to the Client and Principal Designer for inclusion within the CPH&SP.

All services should be assumed live until proved otherwise. Any live or abandoned service should be marked appropriately on site, protected and either removed or reinstated to the satisfaction of the owner.

| Service                | Location  | Marked   | Action/Status   | By   |
|------------------------|---|--|---|--|
| Mains Water            | Site boundary / on-site   | NWL "Live" services at site boundary/ onsite - services to be identified / protected during the works.       | <b>Isolation cert.'s TBA for redundant supplies.</b><br>The unidentified sized mains will be retained and protected. New Services to be installed / protected during the works. | Groundworker/ NWW / UU                                   |
| Electricity            | NPG plans show LV supplies at site boundary. LV supplies to be located                            | Locate / ID / Protect services   | <b>Isolation cert.'s TBA for redundant supplies.</b><br>Protect mains service supplies across site / boundary. New Services to be installed / protected during the works.       | Groundworker / ENW                                       |
| BT                     | Existing BT Poles and overhead lines at the west boundary   | BT OH services indicated on site boundary – to be located on site  | <b>BT pole services diversion TBC / Isolation cert.'s TBA for redundant supplies.</b><br>New Services to be installed / protected during the works.                             | Groundworker / Openreach                                 |
| Gas Main               | No existing gas infrastructure on site. Existing services at site boundary                        | "Live" PE services at site boundary, location TBC – to be located & marked during enabling.                  | <b>Isolation cert.'s TBA for redundant supplies.</b>  | Groundworker / NGN                                       |
| SW Drains<br>FW Drains | Existing on/off site FW/SW MH's on as EA/ UU / H3E drawings. MH lids clearly indicate the routes. | EA/UU/ H3E drawings indicate mains / locations.  | During the Enabling works FW sewer to be diverted and FW & SW stubs to be installed for new site drainage connections.  | Site Manager / Ground Works Contractor                   |
| Temp Power Supply      | Electric kiosk to be installed – at site compound adj. west gate                                  | Supply / temp. connection for site compound and to ALDI store - Will be installed in SWA cable and ID marked | Metered electric supply to be installed during enabling. Connection to the site set up by the Electrical Contractor The mains electric supply cable installed by ENW            | ENW / Site Manager/ Groundworker / Electrical Contractor |



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Construction Phase Health and Safety Plan-  
**New ALDI Store -**  
**Aldi Whitehaven,**  
**Preston Street,**  
**Whitehaven CA28 9BS**

|                   |  |   |   |  |
|-------------------|--|---|---|--|
|                   |  |   | Group terminated in an on-site kiosk.   |  |
| Temp Water Supply | Water kiosk to be installed – at site compound west gate | Alkathene – barrier pipe - temporary service pipe to be installed to serve the site set up. | Metered supply to kiosk installed during enabling. Temp. site supplies / connection to the site set up by Enabling Contractor - Service to be identified / protected during the works. Pipework is to be lagged to prevent freezing up. | NWW /UU/ Site Manager/ Groundwork Contractor |

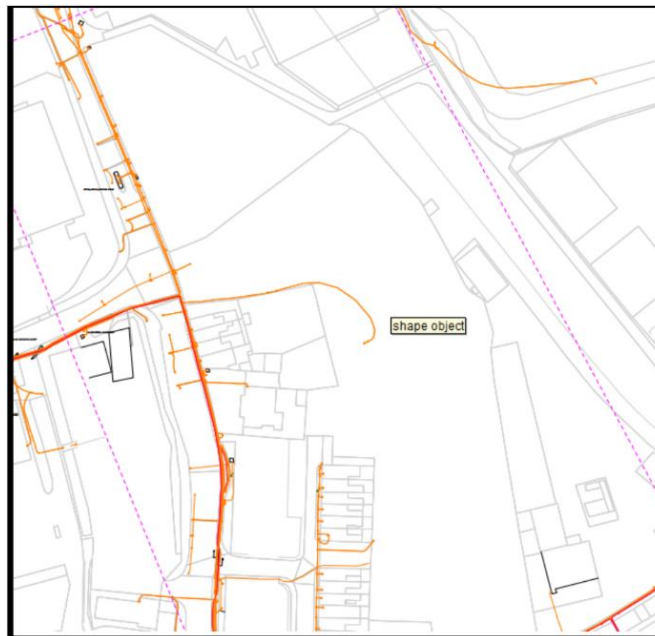
As a minimum standard all ground works must comply with the standards detailed in the HSE's book 'Avoiding Danger from Underground Services' Ref-HSG47.

**Proposed Services –**

New electricity, water and telecommunications services for the store will be installed.

**Electricity –**

Onsite Network The Electricity North West asset record indicates that there is an existing underground low voltage cable on site which previously supplied one of the demolished units located on the former industrial estate. The cable will need to be disconnected to facilitate the proposed development and a suitable location would be within the footpath of Preston Street -

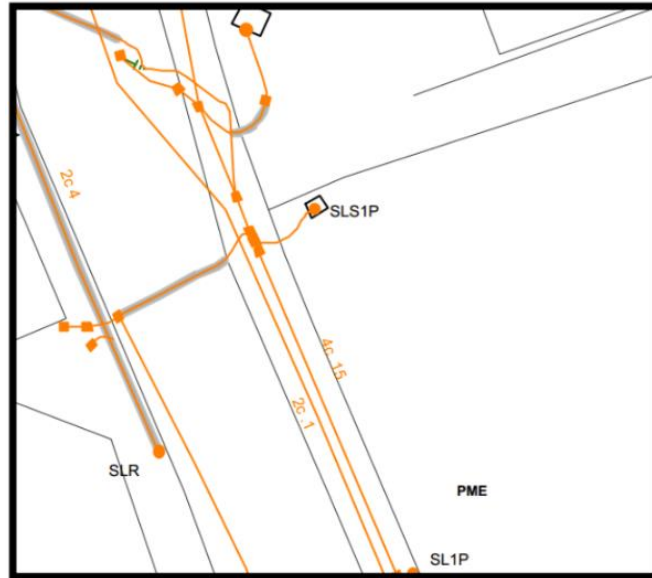


The Electricity North West asset record shows an existing underground low voltage cable entering the site boundary at the North West corner of the site, the cable supplies an existing 'Pay and Display ' ticket machine located in the council car park area and will need to be disconnected prior to the machine being removed -

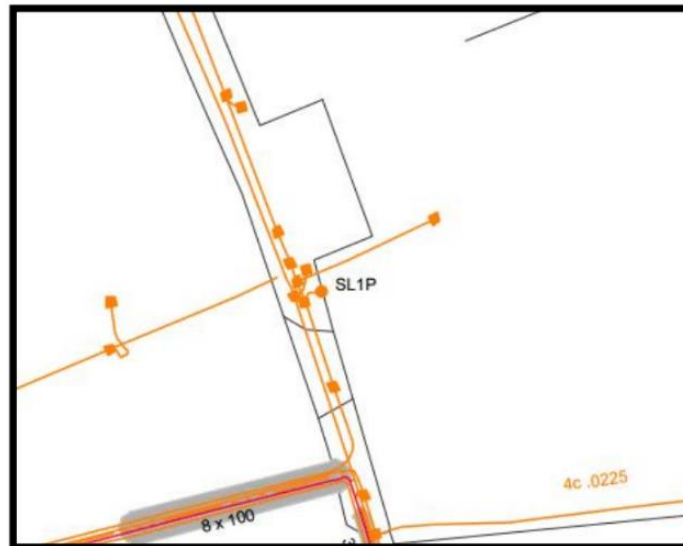


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Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**



The Electricity North West asset record also shows an existing underground low voltage cable entering the site boundary from Preston Street adjacent to Cart Road, the purpose of this cable is unknown at this time however if it is established to be live it will need to be disconnected back in the footpath of Preston Street to facilitate the proposed development –



Offsite Network - The Electricity North West asset record indicates that there are multiple LV mains positioned in the footpath of Preston Street in the area where the new access into the store carpark will be formed. As a result the LV mains may potentially have to be slewed or possibly diverted to a depth suitable for carriageway, this can be confirmed by carrying out a trial pit exercise in the footpath to confirm the depth of the apparatus. There is also an existing lighting column positioned in the footpath of Preston Street which

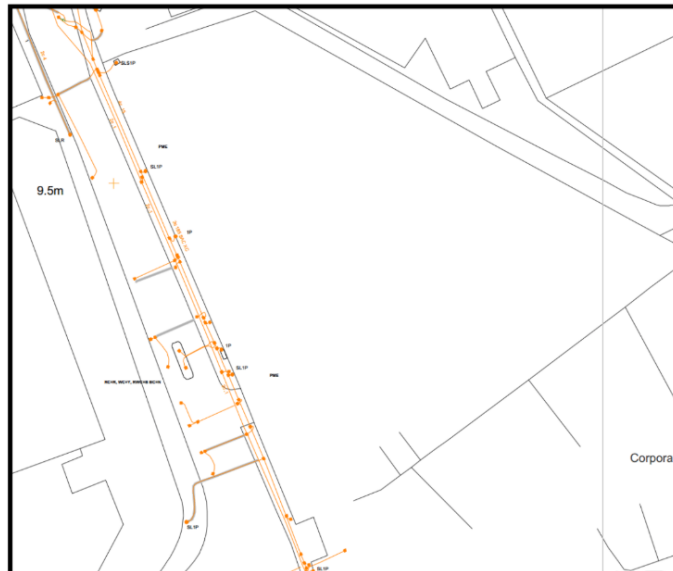




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Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

will need to be disconnected and removed to facilitate the construction of the new access into the store carpark.



**ENW** A new connection for Electricity (Capacity of 175 kVA) is to be provided to the new store. Utility Connections to confirm that Electricity North West to provide a low voltage Point of Connection from the existing network – southeast of the site. The supply cable will be installed by ENW. The ENW cable will terminate at a new 500A Industrial Service Units (ISU), complete with a 400 A cut-out, 500/5A CT's and 315A fuses, all located in the Plant Room.

**Potable Water –**

**Off Site Network –** The asset record also shows an existing 160mm potable water main positioned in the carriageway of Preston Street, the main serves numerous properties around the vicinity of the site but ultimately will remain unaffected by the proposed development.

**On site -** The United Utilities asset record indicates that there is an existing 25mm/32mm service pipe within the council carpark area, the service pipe enters the site boundary from Preston Street.





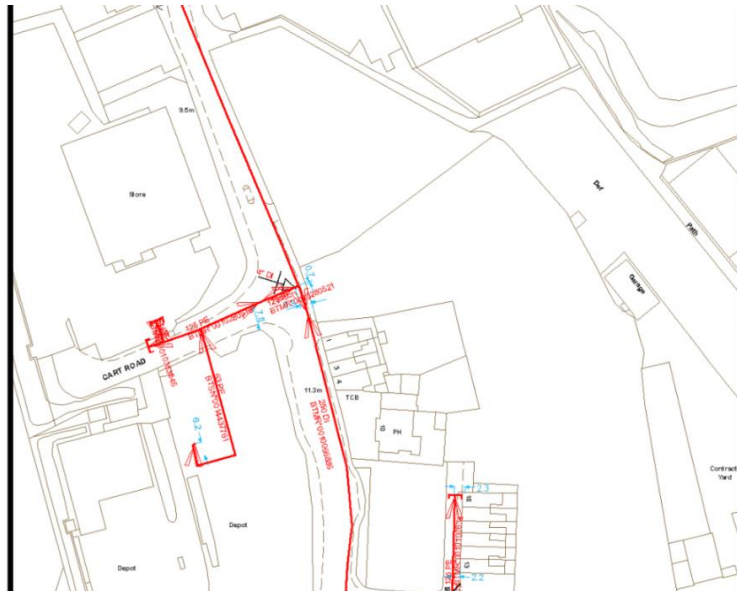


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Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

It is assumed that the 25/32mm potable water connection to the proposed store can be provided from the existing unidentified main positioned in the southeast corner of the site. A peak flow rate of 0.229 litres per second will be requested from North West Water / UU. It's assumed that the point of connection will be provided from the existing main south east of the site. The Aldi team will install a new water main from connection point and into the building (Plant Room). Barrier pipe will be used.

**Gas Network** - The Northern Gas Networks asset record indicates that there is an existing 250mm low pressure gas main positioned in the carriageway of Preston Street, this main serves multiple properties around the vicinity of the site. Although the NGN asset record indicates that the main is positioned in the carriageway, we recommend that a trial pit exercise is undertaken in the footpath of Preston Street to ensure it doesn't conflict with the proposed access into the store carpark



**Openreach -**

**Onsite Network** - The Openreach record indicates that there is an existing BT pole and overhead line positioned within site tight to the western boundary immediately adjacent to the junction of Preston Street and Cart Road. At this stage it's unclear if the over-headline serves one or all of the terraced houses located on Preston Street. This may require diverting if proven to be an onsite constraint.

**Offsite Network** - Located to the south east of the site is an existing underground supply which previously supplied one of the units located on the former industrial estate demolished. It's anticipated that the underground supply will not directly conflict with the proposed store, however care should be taken when carrying out any landscaping. The Openreach record also indicates that there are existing underground supplies positioned to the rear of Bentinck Row and Ellison's Place in close proximity to the proposed service yard. It's anticipated that the supplies will not directly conflict with the construction however care should be taken when carrying out excavations in this area of the site.



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Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**



**Telecom – BT Openreach** Openreach will install a new below ground telecom cable (suitable for 1MB broadband). It is anticipated that the telecoms point of connection will be provided from an underground chamber positioned in the footpath of Preston Street. The Aldi team will install a new duct from the tie in point into the building (Plant Room). The cable will be installed by Openreach.

**Utility Connection proposed services drawings awaited.**

**Aldi Site - Surface water** flows from the development will be filtered and discharged via new 150mm dia. outfall connection into EA SW Pow Beck Culvert to northeast edge of the site. Subject to EA approvals.

**Aldi Site - Foul Sewerage** - Foul water flows to discharge via 150mm dia. FW stub into brick egg culverted sewer drain, connection northeast edge of the site. Subject to UU approvals

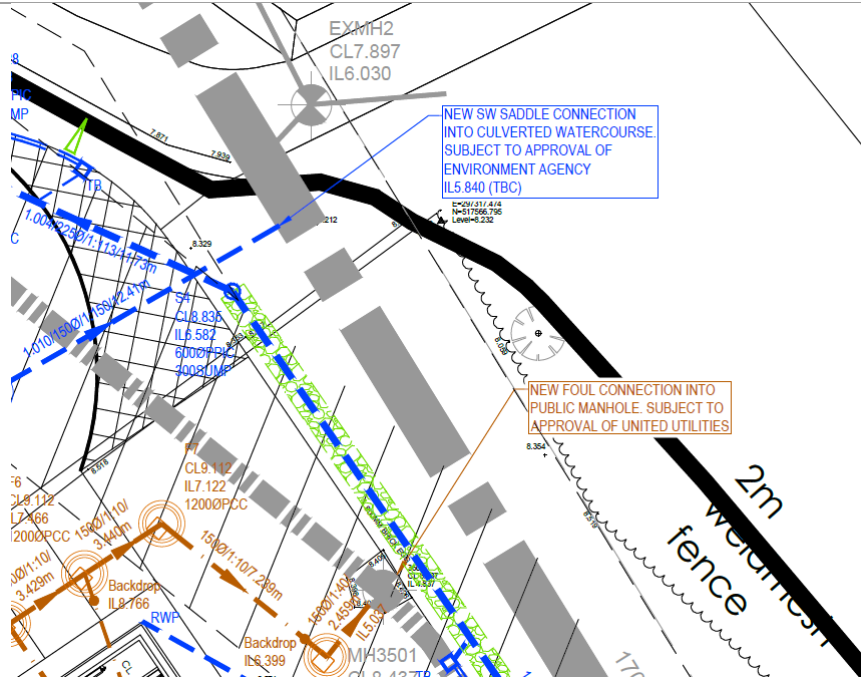
Extract from H3E proposed drainage plan 79-EXXXX-3E-ZZ-XX-DR-C-Ro-50-20-11-1000-S2-P01

FW&SW connection points to be established. To the northeast edge of the site - a 150mm FW stub provided for FW connection to UU sewer and a 150mm dia. stub provided for SW connection to Pow Beck Culvert.



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Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**



FW sewer diversion / connection requires permit from United Utilities. SW connection requires Environmental Authority exemption / permit.

**Car Park Lighting** - New 6m high lighting columns with low pollution LED lanterns will be installed in the Aldi car park, fed from the Aldi store.

**EV Charging** - Stations to be designed and installed.

**Cables Within the Aldi Site** Below ground ducts & cables will be installed from the Aldi store for the following:

- LV power cable to the illuminated post signs in the vicinity of the Aldi Site.
- High level alarm cable from the stormceptor By-pass separator at loading bay ramp.
- Ducts and cables for car park lighting.
- Ducts for Parking Eye, with space to be left in the Plant Room for future installation.

**Building Underfloor heating pipes & services** – manifold located in warehouse. Once installed, these services to be protected from damage.

The building contains electrical equipment associated with heating, lighting, ventilation & refrigeration installations. All incoming mains services are proposed to be located in the Plant Room. The heating controls, main electrical panels, security system panels etc. are all to be located in the Plant Room



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Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

## Preventing Falls

The principal contractors' minimum standards for working at height are-

1. No use of ladders except for access or if all other forms of access have been investigated and prove unusable on site.
2. Mobile elevation work platforms or tower scaffolds will be used for internal works and must be suitable for uneven ground and operatives trained and certificated in the use.
3. Scaffolding erected by competent persons and inspected every 7 days, following changes and all subject to formal handover certification confirming that scaffolding is safe for use. A Scaffold Tag system will be used to give immediate and clear evidence of standing scaffolds status re: being safe or otherwise to use.
4. Where fall arrest equipment is used a rescue plan for recovering a person must be drafted for Principal contractor approval.
5. All roof work must conform to the minimum standards detailed in HSE book 'Health and Safety in Roof Work' and also INDG 284 'Working on Roofs'.
6. Access to roof subject to access restriction / site specific RAMS
7. Prevent falls into excavations / existing pits and tanks until these are removed – areas where risk of fall to be temporarily fenced during works progression.
8. Roof access - As part of the store construction works, a mansafe will be installed on the roof to maintain the roof and solar PV panels. The mansafe will be accessed via the loading bay.

## Fragile Materials

Method statements for work identified with fragile materials must address leading edge protection, fall protection and protection from falling objects.

1. All roof works must conform to the minimum standards detailed in HSE book 'Health and Safety in Roof Work' and also INDG 284 'Working on Roofs'.
2. ALL roof areas are considered fragile / High risk areas – subject to access restriction / site specific RAMS – refer to site plan for location of roof lights

## Maintenance of Plant & Equipment

All plant on site will be hired and must be accompanied by suitable test certification. Where test certification is not applicable a completed PUWER compliance assessment will be required from the hire company.

In order to be used on site "All" small tools and plant must be subject to regular inspection and maintenance which will be recorded in the PUWER Inspection Log.

## Lifting Operations

Lifting equipment must not be located in the carriageway or footpath of Preston Street, Bentwick Row or site access road.

Lifting equipment must not be located on other third third-party land without the express written permission of the landowner.

Lifting equipment must not be located on any existing manhole/chamber cover or gulley or where it could fall within 3m of the site boundary or any existing structure.

Lifting equipment must not over-sway third party land (eg Adjacent Construction Site) without the express written permission of the landowner.



Architects | Construction

Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

Lifting equipment must not be located on any existing manhole/chamber cover or gulley or where it could fall within 3m of the site boundary or any existing structure. Designer to provide Site set up drawing to identify safe crane location, including all manholes/petrol interceptors and safe working area etc.

Lifting equipment must not over-sway the site boundary / third party land without the express written permission of the landowner

Lifting equipment must be positioned such that it cannot extend beyond the limits of the working area or damage any existing structures or services.

All lifting operations must be detailed in the Sub-Contractors method statement and the LOLER Regulations will be applied as a minimum standard. Where necessary information on materials, load to be lifted, centre of gravity, designed lifting points, type of slings/chains to be used, ground conditions, underground services, outrigger loads etc. will be obtained from suppliers and the Lead Designer and passed onto the Lifting Team by the Principal Contractor. A detailed lifting plan will be produced by the Appointed Person before crane operations commence all in accordance with LOLER Regulations

As part of the Principal Contractor's minimum standards a competent banks man and slinger signaller must be provided for all lifting operations.

All crane operatives must hold (& provide copies to the Principal Contractor) a current CITB CTA or CPCS card demonstrating competence on the use of the equipment. All lifting equipment to have current test certificates before use.

Crane use will be subject to approval of lifting plans developed in conjunction with Crane Lift Appointed Person.

## Poor Ground Conditions

**Ground Investigation (GI) reports / geotechnical information** - The following GI reports have been prepared to confirm actual ground conditions on the site. A copy is included in the Site Information:

E12964-1 PRA and SI Report - PRELIMINARY RISK ASSESSMENT AND GROUND INVESTIGATION WHITEHAVEN – by DTS Raeburn Limited Nov 2016

H3E -P18-351 - Aldi, Whitehaven - Phase 1 Geo-environmental Assessment - dated 22.09.18

H3E - P18-351 Aldi Whitehaven - Geo-environmental Appraisal and Coal Mining Risk Assessment dated 31.01.22

**Site History** - The earliest OS plans (dated 1867) shows the site as already being partially developed with several uses including a stone yard, pottery and colliery school noted across the site. By 1956, several phases of redevelopment have occurred, adapting the site to other commercial uses such as an Auction Market and Mortuary, Mission Hall and public house, with many of the buildings demolished by 2018. Recent aerial imagery suggests the northern portion of the site is used as a car park, whilst the southern portion of the site has been allowed to become overgrown and derelict.

### **Environmental Setting -**

- Geological plans record the majority of the site as being underlain by Alluvial deposits, with exception to the extreme south eastern boundaries where Glacial Till encroaches beneath the site. Site investigation works completed by DTS Raeburn on the northern portion of the site identified made ground to depths between 1.00m and 3.20m overlying organic clays with peat pockets/lenses underlain in turn by terrace gravel deposits at between 2.00m and 4.5m with stiff clay to depths of between 9.30m and 11.10m.
- Bedrock deposits of the Pennine Middle Coal Measures underlie the site, with sandstone recorded at 'rock-head' level. DTS Raeburn investigations record coal between the depths of 24.80m and 29.10m, to thicknesses of between 1.90m and 2.20m.
- From BGS and Coal Authority data, the Bannock coal seam is recorded as a shallow worked seam beneath the site.
- The bedrock deposits are classed as a Secondary A Aquifer with superficial soils classed as a Secondary Undifferentiated Aquifer (Glacial Till) and Secondary A Aquifer (Alluvium).



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Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

- There are no licensed groundwater abstractions within 500m.
- There are no licensed discharge consents within 500m.

Summary information extracted from the Site Investigation reports record;

- Shallow Seam Mining – below entire site. High Risk.
- Culvert Easement – runs to the perimeter of the Northeast of site. See drawing: 12553\_CO\_001 for location.
- Made Ground – depths to 0.9m to 2.10m
- Superficial Deposits – depths 2.9m to 4.5m
- Ground Gas – CO2 Moderate Risk
- Gas Migration – Moderate Risk
- Groundwater – Moderate Risk. 1.3m to 3.00m

Please refer to the full reports for further details.

#### **Ground Loadbearing Considerations -**

Due to the identification of the shallow made ground and upper superficial deposits it is recommended that a conservative CBR value of 2% be initially adopted at this stage for these materials, subject to the completion of in-situ plate bearing tests at formation level during the development works. These plate bearing test will be completed prior to reduce level dig on site.

Before using any heavy plant or vehicles, or storing materials, ground bearing conditions must be considered and suitable working bases (including temporary pads) established where required, to ensure the machinery/materials remain stable and to ensure unintentional damage is not caused to existing roads or underground services.

#### **Mining -**

Please see below extract from the report titled: P18-351 Aldi Preston Street, Whitehaven - Geo-environmental Appraisal and Coal Mining Risk Assessment 2022. The report highlights a recommendation on site for localised probing and grouting as a result of the extent of shallow mining under the site.

From the findings of the rotary investigation works an intact and banded coal seam has been identified below the site from depths of between 18.50m and 25.90m (4.00m to 14.8m below rock-head level), ranging in thickness between 2.00m to 3.20m, which is considered to be attributable to the Bannock Band coal seam.

No evidence of voids, broken ground or loss of flush was recorded at any of the rotary borehole locations, completed during these investigation works, and the previous works completed by DTS Raeburn in 2016, indicating a possible absence of workings within the Bannock Band seam below the site.

However, as shown on the mine abandonment plan workings within the Bannock Band seam are recorded to extend below the whole of the site at shallow depth, and as such the potential for intact coal identified at the rotary borehole locations to be representative of unmined 'pillars' of mineral left to support the roof between worked areas, cannot be wholly dismissed at this stage.

Therefore, as a precautionary measure it is recommended that an allowance be included for localised probing and grouting (if required) across to building footprint on a typical minimum 6m centre grid to more accurately assess the level of risk in this regard. Should workings be encountered an allowance should then be included for remedial works in the form of grouting to mitigate the risk to the development.

**Flood Mapping** – Flood risk and drainage issues associated with the proposed construction for a new food retail store off Preston Street Whitehaven -

Flood-map-planning-2019-10-16T08\_45\_48.003Z - 16 Oct 2019. Site location (easting/northing - 297298/517524) is located within Zone 1 area considered to be at 'Low Risk' from fluvial flooding (i.e. is not within a flood plain). However, the site is located within an area considered to be at potential risk of groundwater flooding of property situated below ground level and at surface.





Architects | Construction

Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

**Watercourses** - A watercourse is recorded beneath the eastern portion of the site, flowing south to north, noted as Pow Beck. There are also two unnamed watercourses however from inspection of the site sensitivity data they appear likely to be a continuation of Pow Beck. Existing drainage surveys refer -  
CL124189 Pow Beck Culvert - SW  
UU Culvert – FW

**Ground water** – The groundwater depths recorded during monitoring in November 2016 varied between 2.0mAOD (7.75m bgl) and 7.62mAOD (2.38m bgl) and may indicate separate bodies of perched ground water.

**Ground remediation and slab design** – subject to further clarification - Following a review of Coal Authority (CA) and available BGS data, this site is considered to be located within a high risk setting with regards potential shallow recorded and unrecorded workings within the Bannock coal seam. As such, further investigation works are considered necessary. Based on the information above, the site is considered to be at risk from shallow coal mining activities within the bannock coal seam. Therefore, deep rotary boreholes will be required to assess the potential mine workings beneath the proposed store. In addition, based on the information contained within the DTS Raeburn Ground Investigation Report, ground improvement techniques are unlikely to be suitable due the likely presence of peat deposits beneath the proposed store footprint. However, the DTS Raeburn report concentrates on areas local to the northern portion of the site where structural development is not proposed. Further ground investigations will be required to more definitively confirm potential foundation options. In the event similar ground conditions are encountered beneath the footprint of the proposed development, piled foundations and a suspended floor slab are recommended. Advice should be sought from a specialist piling contractor with respect to pile type and design depth if required.

**UXO** – The risk has been identified as low for this area however vigilance is advised.

**Unforeseen ground conditions / obstructions** - It is unknown if the existing buildings (previously removed) were piled or had basements. If these are encountered, a plan for cutting back will be agreed with the Client. It is possible that excavations may encounter foundations and redundant services associated with the historical structures on the site. All relevant information must be made available to Contractors to design any permanent or temporary works. **Appointed Groundwork Contractor to have procedure in place for dealing with unforeseen sub-surface obstructions in excavations, any removals being subject to approval of Principal Contractors Site Manager.**

If during completion of the Works, any potentially contaminated material is discovered in excavations, the Contractor should stop works immediately in the area of the material and notify the Principal Contractor who will inform the Client and agree a plan for testing and analysis.

During the demolition & remediation phases of the site development, the Contractors must protect the health & safety of site personnel and follow advice given in HSE document “Protection of Workers and the General Public during Redevelopment of Contaminated Land”. In summary, the following measures are suggested to provide a minimum level of protection:

- All ground workers should be issued with the relevant protective clothing, footwear & gloves. These protective items should not be removed from the site and personnel should be instructed as to why and how they are to be used.
  - Hand-washing and boot-washing facilities should be provided.
  - Care should be taken to minimise the potential for off-site migration of contamination by the provision of dust suppression & wheel cleaning equipment during the construction works.
- Good practices relating to personal hygiene should be adopted on the Site.  
Contractors to address groundwork protection measures in Risk and Method statements prior to progressing the works.

The Appointed Groundwork Contractor should undertake any additional SI he believes is appropriate to design any permanent or temporary works.

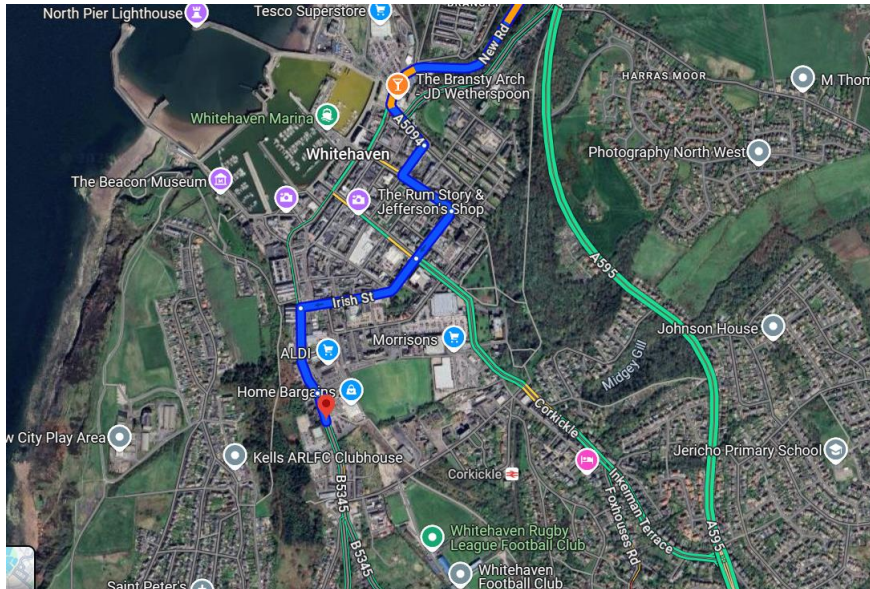


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## Construction Phase Health and Safety Plan- New ALDI Store - Aldi Whitehaven, Preston Street, Whitehaven CA28 9BS

### Access to site, existing traffic systems & constraints

**Local highway network** – The B5435 Preston Street is a busy single lane (in each direction) carriageway that is subject to a 30mph speed limit.



It is noted the road provides access to Coach Road which is subject to a 20mph restriction due to nearby school. The site will be generally accessed off Preston Street, with construction works traffic directed to use the western access gate. During the main construction works the eastern Cockpit access between the residential properties at Bentinck Row will be restricted in use to minimize residential neighbor impact.



The proposed site is located off Preston Street on the B5435 which is a main road trunk road Construction Traffic will be direct to utilize main roads A595 toward the north Cockermouth then onward to the A66 (east /west) and M6 (North / South).



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Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

Increased volumes of traffic should be expected during peak business hours. The above planned route has been prepared for contractor guidance. The site access / egress for construction vehicles Off Preston Street / site service road will be provided with a pressure wash cleaning facility for use as required before exiting onto the highway. The off-site traffic plan will be promoted at site induction to communicate the principle of construction vehicle movements.

**Personnel access** - The proposed location for site personnel access is from Preston Street into the site compound via a route with suitably placed personnel access gates and barriers. Upon entering the site - all site operatives are required to report to the site office for a site induction relating to site specific safety issues.

**Constraints -**

The site will be accessed off Preston Road. Increased volumes of traffic should be expected during peak business hours & school opening/closing hours. HGV movements to avoid school drop-off / pick-up and peak traffic times (ie between 8am – 9am and 15.00pm – 16.00pm)

Throughout most of the project's duration, the road network will be in use by the general public and a variety of vehicles. Contractors must take account of this and align with any specific Aldi contractor requirements or precautions as necessary.

Delivery drivers must be given advance warning of access route and hazards. Once the store has been constructed, Aldi delivery vehicles will drive into the Site using the same designated ALDI HGV access route, reversing into the loading bay and then exit in forward gear back via the designated HGV access. Vehicle access to the loading bay (brushed concrete finish) is designed to accommodate turning manoeuvres of the largest service vehicle (16.5m articulated goods vehicle).

**Restriction on access and vehicle movements around the Designated Construction Areas** - Site access roads must be kept clear at all times for customers and deliveries to the adjacent commercial properties, construction traffic & Emergency Services vehicles. Suitable & sufficient turning facilities to be provided to avoid the need for vehicles to reverse. No plant, materials or equipment should be placed in a position where, in the event of an accident, malfunction or misuse, it could fall within 3m of any existing building, public or private road or footpath.

**Emergency Escape Routes** - Sufficient fire exits from the building must be available at all times. Signage should be provided.

**Restrictions on working hours** - In accordance with the requirements of Planning Conditions (CBC Planning Application Ref 4/23/2314/0F1 / permission subject to conditions yet to be approved) – It is anticipated that in undertaking the: No external construction works, deliveries, external running of plant and equipment shall take place other than between the hours of 0730 to 1800 on Monday to Friday and 0730 to 1400 on Saturday. No internal works audible outside the site boundary shall take place on the site other than between the hours of 0730 to 1800 on Monday to Friday and 0800 to 1700 on Saturday. No construction works or works of demolition whatsoever, including deliveries, external running of plant and equipment, internal works whether audible or not outside the site boundary, shall take place on Sundays, Public or Bank Holidays.

For site traffic management refer to the Site Plan and it can be noted wherever possible plant routes have been segregated from pedestrian routes. Delivery drivers must be given advance warning of access route and hazards. Once the store has been constructed, vehicle access to the loading bay will continue via the western site entrance. Vehicle access to the loading bay (brushed concrete finish) is designed to accommodate turning manoeuvres of the largest service vehicle (16.5m articulated goods vehicle). Traffic Management plans will be updated as access provisions are amended.



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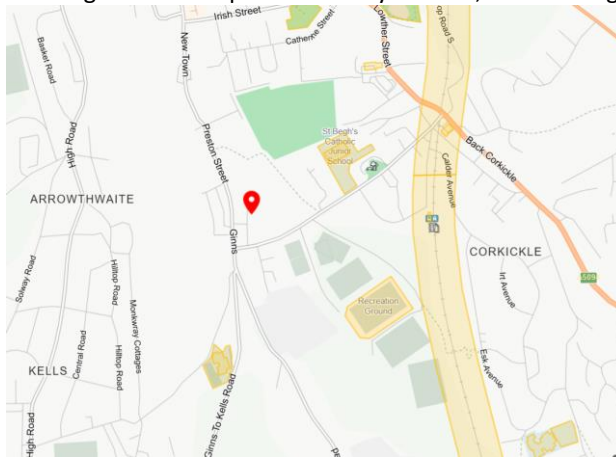
Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

Pedestrians will continue to use the existing footpaths / highways surrounding the site. Any temporary footpath and road diversions required to facilitate the works, will be in accordance with NRSWA, to be clearly signed and in accord with local authority permissions. Signage must be regularly inspected & maintained. The footpaths in the vicinity of the Site are used by vulnerable, elderly & disabled people.

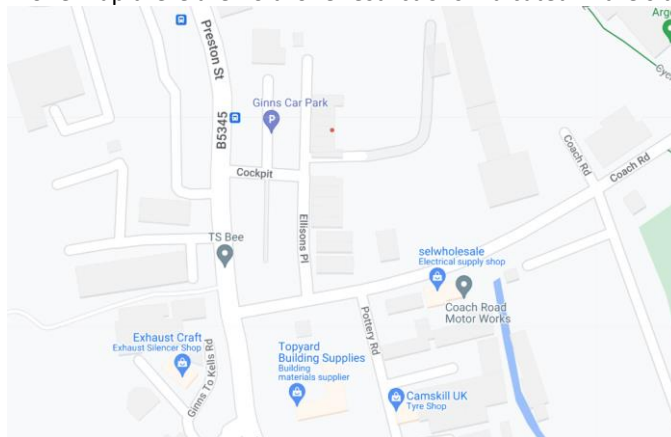
On appointment & included as part of the sub-contract - enabling and groundwork contractors, as part of their scope, to be tasked to keep all public highways, public access routes, private access roads, footpaths and walkways clean of mud, materials and construction debris.

#### **Drone Safety –**

Accessing the drone safety map in January 2025, the site is not located within a red airspace zone. Note – there are some areas indicated as Amber warning of hazards -predominantly schools, recreation grounds and rail network.



Accessing the UAS Restriction Zone map there are no drone restrictions indicated in the site area -



Note - Red zones are regulated high-risk areas and operation of drones may be hazardous or prohibited. This piece of airspace is in effect between Surface and 2200ft MSL.

The Air Navigation Order, as amended, sets out UAS Flight Restriction Zones (FRZ) around Protected Aerodromes for Unmanned Aircraft operating in the Open and Specific categories. The shape of FRZ is constructed by using the airfield's existing aerodrome traffic zone and, where applicable, a Runway Protection Zone(s) with a shape five kilometres by one kilometre starting from the point known as the 'threshold' at the end of each of the airfield's runways. Both zones extend upwards to a height of 2,000 feet above the airfield. Certain exceptions apply to the shapes of FRZ and RPZ and





Architects | Construction

Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

information regarding the exact dimensions of each FRZ/RPZ is published in the UK AIP (Section ENR 5.1 Prohibited, Restricted and Danger Areas). An Aerodromes FRZ and RPZ(s) are contiguous irrespective of how mapping tools may portray them.

It is illegal to fly any drone at any time within these restricted zones unless you have permission from air traffic control at the airport or, if air traffic control is not operational, from the airport itself. (AIP Section ENR 1.1 contains information for UAS operators and aerodromes in relation to requesting and granting permission for any unmanned aircraft flight within an FRZ/RPZ).

Prior to using a drone, please refer to the latest editions of the following for further information:

- The Drone Code.
- CAP 2005 Using a Drone for Work.
- CAP 722 Unmanned Aircraft System Operations in UK Airspace – Guidance

## Storage of Hazardous Materials

No Existing hazardous materials stored on site.

No significant hazardous materials or substances that could be considered as unusual for this type of work have been specified as part of the design at the time of compiling this document.

COSHH assessments should be carried out as a control measure to reduce exposure to a substance hazardous to health (Including the provision of systems of work and supervision, the cleaning of workplaces, premises, plant and equipment, the provision and use of engineering controls and personal protective equipment.

### ***Specified materials requiring particular precautions –***

Chemicals on site and H&S safety provisions - There are no known chemicals stored on the Aldi Construction site.

None of the other materials specified by the Designer are considered to require particular precautions to manage risks to health and safety, beyond those which a competent contractor may be expected to be familiar with on a project of this type. All materials, compounds & liquids must be stored in secure, bunded areas in accordance with the manufacturer's recommendations. The COSHH/ MS datasheets must be held on site and available for inspection by the Principal Contractor.

All storage of hazardous materials will be subject to a COSHH assessment and suitable security arrangements taken to ensure materials are isolated and adequately signed. Management of significant hazards associated with substances will be addressed during induction training and form part of the Toolbox Talk Programme. Diesel, (if and when required) will be held in a double skinned bunded tank and spill kits will be provided by the Contractor.

Spillages of any kind must be reported to the Principal Contractor when they occur. In event of spillage of hazardous material or liquids the contractor who brought the material to site will be responsible for clearing away spillage to the satisfaction of the Site Manager and Environmental Agency if they have become involved.

Projekt Construction will ensure that an adequate spill kit is available on site at all times.



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**Construction Phase Health and Safety Plan-  
New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

**Site Existing Use**

**Existing Site Information -**

**PREVIOUS LAND USE –**

Reference PRELIMINARY RISK ASSESSMENT AND GROUND INVESTIGATION REPORT FOR A SITE AT PRESTON STREET, WHITEHAVEN, CUMBRIA Prepared by DTS Raeburn Limited – Nov 2016. In order to establish the site history an inspection was made of historical maps and town plans, dating between 1867 and 2018. A summary of the information is provided below and a copy of the maps are available. It is not the intention of this report to describe in detail all of the changes that have occurred on or within the immediate vicinity to the site, only those pertinent to the proposed development.

| Map Dates      | On-Site Features  | Relevant Off-Site Features   |
|----------------|---|--|
| 1867 - 1899    | The site is recorded as mixed use with a Stone Yard occupying the northern portion of site, a Pottery to the centre and a Colliery School and associated playground on the southern portion.  | A railway line bounds the east of the site with largely undeveloped land recorded beyond. An old chemical works is recorded to the south west, noted as 'ruins' with a larger active works recorded approximately 100m south of the site. An old quarry is also recorded 209m north west of the site.  |
| 1899 - 1925    | All previous developments on the site are now recorded as demolished or adapted to accommodate an Auction Market. There is also a public house with the potential for a basement called the "Foxhound Inn" recorded to the central western portion of site. | The chemical works recorded to the south and south east are no longer shown. In addition, a clay pit is noted 216m south of the site.  |
| 1925 - 1938    | Some demolition and redevelopment to the building identified as Mission Hall in the south of the site   | No significant change.   |
| 1938 – 1957    | A Mortuary is recorded as being present on the central portion of site.   | The surface extraction features (sandstone quarry and clay pit) have been infilled.  |
| 1957 – 1975    | The Mission Hall has been redeveloped and the central portion of the site is recorded as a Corporation Yard.  | Generally, as above, however, the terraced housing located west of site has been demolished and a large cut and fill exercise has taken place to accommodate a large factory. Numerous other minor buildings have also been demolished primarily south and west of the site. The corporation extends south of the site boundary and has a builder's yard               |
| 1975 – 1993    | No significant change.  | Major reduction to the railway has occurred east of the site.  |
| 1994 - 2007    | The Auction Market and Mortuary have been demolished, however, the ground slabs and boundary walls still remain in place.   | The factory to the west has been demolished and rebuilt closer to the road, at current the development remains as unspecified commercial. Other than this minor demolition in the surrounding area has occurred.<br><br>Later in 1994 the railway is shown as being dismantled and the associated railway buildings demolished with a store building taking its place. |
| 2008 – present | All buildings on the site appear to have been demolished, though some remnants of old foundations may remain within the southern areas of the site where dense vegetation is now recorded. The north of the site has been re-purposed as a public car park. | No significant change.   |

The site was occupied by a stone yard and a pottery in the mid-19th century, and was redeveloped into an auction mart (at which cattle and livestock were sold) at around the turn of the 20th century. The auction mart remained until the early 20th century when it was relocated to new premises outside Whitehaven. The site has since remained vacant to the present day. The surrounding area has historically included a variety of industrial activities including railway





Architects | Construction

Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

sidings, chemical, textile and engine works, collieries, garages, boat builders and blacksmiths. However, the majority of these industries are no longer present in the area.

In summary, there is no history of previous significant contaminative use on the site. However, made ground/fill is anticipated below the site associated with construction, redevelopment and demolition of the former buildings previously present on site. However, it should be noted that the site uses bounding to the site to the south and east, namely chemical works and railways by have led to the deposition of potentially contaminated materials during the site history.

**Land Ownership** - Aldi are to purchase the site (freehold)

**Note** - Existing buildings, hardstanding's, foundations / slabs are to be removed and grubbed out as part of the developers advance demolition works.

**Existing confined spaces** – There are Culverts existing within the site. Access is restricted and subject to EA (Environment Agency) and UU (United Utilities) permissions. Refer to survey information / drawings indicating locations;  
**CL124189 Pow Beck Culvert - SW**  
**UU Culvert - FW**

**Material Storage** - All enabling / construction work must be designed to prevent material falling onto public areas, public highways or third-party land.

**Existing Site Boundary - SHARED SITE BOUNDARY LINES -**

The site is approximately 2.48 Acres in area and is an irregular shape. The site is currently an area of open, disused, brownfield land accessed off Preston Street. Site address - Preston Street, Whitehaven CA28 9BS

- To the north is a carpark with boundaries defined by stone walls. The surfacing is poor and the pay machines were out of order at the time of the site visit. Despite this the car park appeared relatively well used.
- The second area is found to the south, to the rear of the 'The Ginns' and has been fenced off from the remainder of the site. 'The Ginns' accessible from an entrance which is between the two row of houses at Bentinck Row, Whitehaven, CA28 9BS. The plot does not appear to have been managed in a fair quantity of time and is being colonised by Buddleja. Old concrete pads remain and a quantity of old worn tyres have been deposited here.

The final area is the large space which forms the majority of the site. Following demolition of the buildings which formerly occupied the area, the plot appears to have been left unmanaged. It has now been colonised with a dense swathe of pioneer species, primarily Goat willow. Navigation of this portion of this site is arduous given the density of stems. Japanese knotweed was also found in multiple locations.

The site slopes uphill to the south.



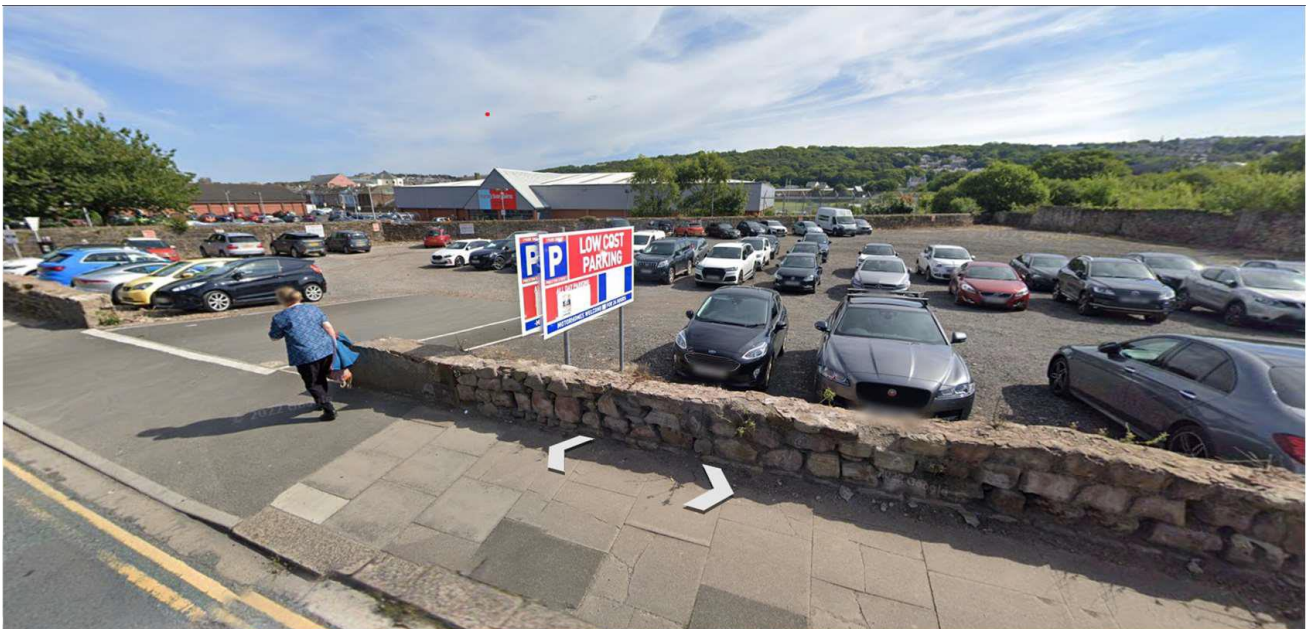
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Construction Phase Health and Safety Plan-  
**New ALDI Store -**  
**Aldi Whitehaven,**  
**Preston Street,**  
**Whitehaven CA28 9BS**

3D image from google earth –



View to existing car park from Preston Road from Google Earth-







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Construction Phase Health and Safety Plan-  
**New ALDI Store -**  
**Aldi Whitehaven,**  
**Preston Street,**  
**Whitehaven CA28 9BS**

View to existing car park from Preston Road (Google Earth) -



View from Coach Road (Goggle Earth) –





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Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

View from Coach Road (Goggle Earth) –



The scope of works requires some off-site construction work – S278 road entrance formation, and associated service diversions, in addition to this new service provision for the site. There is a need for an agreement with the Cumberland Highway Authority - Section S278 (Highways Act, 1980). And the possibility of an S38 Agreement. The Highway Authority will require the applicant/developer to enter into a legally binding agreement to secure and the proper implementation of the proposed highway works including an appropriate Bond. There is normally a three-months' notice period associated with Traffic Management Act Notifications. Highways Authority – Cumberland Highways Authority.

All Highways work will be carried out in accordance with the Highways Specification, with suitably qualified personnel in compliance with the New Roads and Street work Act 1991. All temporary ground support to be designed, installed, maintained & removed in accordance with the recommendations in CIRIA Report 97 Trenching Practice. Where required the contractor must prepare calculations for temporary work / support based on the information provided within the SI information & undertake any additional SI required to satisfy their design requirements.

#### Accommodating Adjacent Land Use

##### **ADJACENT PREMISES / LAND USE –**

The following list shows typical types of premises and their use around this construction site. This information must be considered when control measures are formulated for construction works, i.e. will the residents cause a hazard? Is a particular group of residents more at risk due to the construction works than others? Control measures required must be recorded in the method statements or safe systems of work documentation.

A summary of adjacent land uses is presented below:

- North: Public footpath, Home Bargains Discount store and other similar commercial properties.
- South: Light industrial units and residential properties.
- East: Whitehaven sports centre and playing fields with commercial units and residential properties beyond.



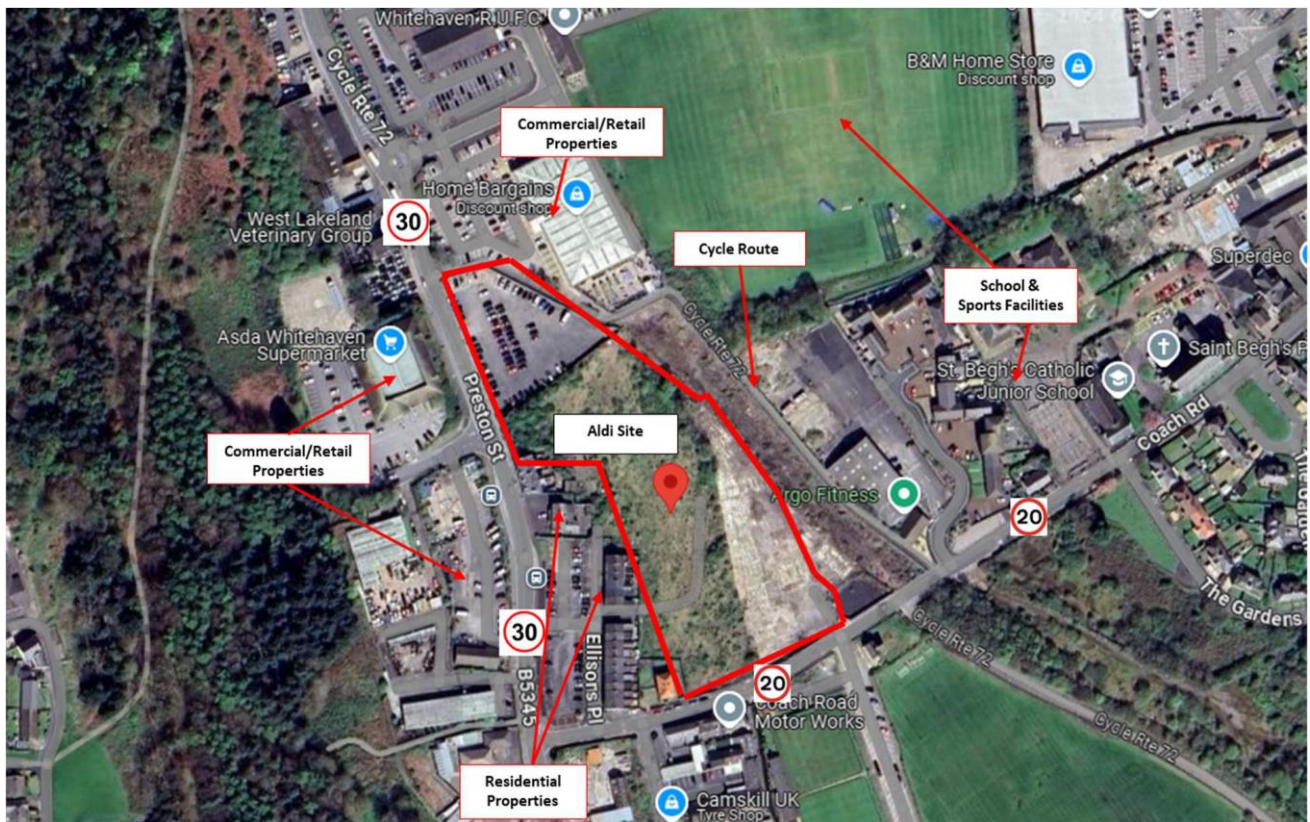


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Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

- West: Asda Supermarket and associated parking.

The surrounding land is of mixed use, primarily residential and commercial, with nearby education and leisure facilities to Coach Road. Cycle Route 72 is located to the Northeast. Please see the illustration below for adjacent / surrounding land uses -



**Continuing Operations -**

The following operations will remain in operation during the Construction Phase:

- Vehicle (including cycle) & pedestrian access along all public highways, footways & private footpaths and access to adjacent commercial properties (including escape routes to safety).
- Bus routes along A5435

All boundaries to the site will be secured with Heras or hoarded fencing - Neighbour's will be advised at the outset of construction works.

**Vulnerable parties / People with Special Needs** - The footpaths in the vicinity of the Site are used by elderly people, disabled people and by parents with young children accessing the nearby schools. The neighbour's footways will remain open during the Construction Phase.

The footpaths & roads around the site are used extensively by pedestrian & cyclists and will remain open during the Construction Phase.



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**Construction Phase Health and Safety Plan-  
New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

**Adjacent Construction Sites –**

There are currently no advised adjacent construction works adjacent the proposed ALDI Preston Street, Whitehaven to notify.

Prior to commencement of the works a Letter drop notification will be actioned advising adjacent property occupiers of impending works. The Site Manager will seek to continue good relations with neighbours throughout the development. Normal road cleaning will be carried out if deemed necessary and on road parking restrictions will be implemented.

At site induction contractors will be advised of Traffic Management Plan, with site deliveries and off-site vehicle movements planned to avoid peak school traffic movements.

Highway and Footway maintenance - The appointed Ground Works Contractor will be charged with maintenance of the public highways adjacent to the site entrance. They will have to have included for adequate resources to meet this obligation within their tender sum allowances as discussed and confirmed at the post tender interviews which precede placement of the official order for the works. These key contractors will have to be confirmed that they will discharge the obligation on a daily basis if necessary, throughout the course of their works or as and when required by the deployment of hired road brushes, and additional labour before a firm order will be placed. All other sub-contractors will be responsible for clearing away any waste following their respective works and leaving the area clear.

Traffic Management Plan developed to avoid congested traffic areas – as required in planning pre-commencement conditions – the detail to be agreed in advance of works with Durham County Council. At site induction contractors will be advised of Traffic Management Plan, with site deliveries and off-site vehicle movements planned to avoid peak school traffic movements.

**Working Over Near Water**

Hydrock 3E / DTS Raeburn were commissioned by ALDI Stores to examine the flood risk and drainage issues associated with the proposed construction for a new food retail store off Preston Street, Whitehaven.







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Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

**Flood Mapping** – Flood risk and drainage issues associated with the proposed construction for a new food retail store off Preston Street Whitehaven - Flood-map-planning-2019-10-16T08\_45\_48.003Z - 16 Oct 2019. Site location (easting/northing - 297298/517524) is in flood zone 1, an area with a low probability of flooding.

Reference existing drainage surveys -  
CL124189 Pow Beck Culvert - SW  
UU Culvert – FW

#### **WORKING NEAR WATER & SILT MANAGEMENT**

**Working Near Water** - There is a risk of drowning when working in close proximity to a watercourse, or of a vehicle overturning into the watercourse. Prior to commencing works, the Principal Contractor must establish a working protocol when working in close proximity to the watercourse and agree the working methods with the Client / Principal Designer. These methods and a Method Statement / Risk Assessment should be incorporated:

- Permit to Work System
- Selection of equipment
- Haul routes and turning points, marking the edges of the bank and difficult transition points on the routes with 2m poles and tape
- Ensure the people who work in the vicinity of watercourses have been adequately trained
- There is sufficient supervision and management monitoring of the procedures and works in the vicinity of the watercourses.
- A physical barrier provided
- Warning signs / notices properly displayed
- Adequate lighting
- Suitable rescue equipment to be in position and checked as serviceable
- The use of any electrical equipment to be controlled and steps taken to ensure that leads are not long enough to touch the water
- All personnel are to be adequately instructed as to means of raising alarm and rescue drills Site Manager to make regular and frequent checks on numbers of personnel working
- No lone working to be permitted
- Special care to be taken in fog, snow or rain, when extra checks made by the Site Manager.

#### **Silt Management -**

No pumped water must be discharged directly into sewers or watercourses without having been filtered through a silt interceptor. Consider the use of settlement tanks if necessary. Gully bags or terram should be fitted to all gullies to prevent silt run off into new and existing drainage systems. Erect silt fences or haybales around any existing watercourses.

#### **Construction Flood / Surface Water Risk Management and mitigation measures –**

During enabling construction works new SW connections will be addressed, with a view to establishing an agreed outfall for water discharge. In order to control surface water flows and prevent flooding during construction a temporary water discharge consent will be requested from the local authority. The temporary discharge will comprise a filtered drain system with associated catchment. Water outfall discharge will be restricted flow with integrated catchment to retain any sediment prior to SW discharge. The catchment and temporary drainage monitored and adjusted as work progresses to minimise risk of site flooding with segregation and disposal as required of any sediments prior to outfall. Filter drainage at site boundaries will be temporarily supplemented with temp connections to in the early stages to assist in establishing site flood prevention measures. Refer to temporary discharge proposal appended.

The groundworks will be progressed methodically in line with the programme, as areas are cleared, they will be sealed to minimise water damage and in the event of poor weather conditions water flow managed to strategic locations if



Architects | Construction

Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

required by use of clay bunds, prior to filtered discharge. Filtered pumps will be made available to move untreated water to filtered drain locations. Temporary drainage will be retained until new stormceptor and attenuation system ready for operation, temporary discharge system will then be removed.

Note - New Drainage works generally are sequenced to follow ground remediation, just in advance of re-surfacing. Note as the drainage progresses gully covers / grates will be placed on all new SW drainage assets until the end of construction to prevent silt/debris from entering the new SW drainage features.

Methods for surface water management will be included in the tender enquiries to groundworkers and on appointment they will be required to comply with methods of water management and flood risk mitigation.

This CSWMP shall be adhered to throughout the construction period.

**Note** - During the Demolition and Construction works existing FW/SW service outfalls to be protected and maintained serviceable until new system connections installed.

## Removal of Asbestos

### **Asbestos Reports –**

Asbestos Reports – No asbestos reports have been made available for the site.

No ACM's have been identified on site. Reference Preston Street, Whitehaven Geo-environmental Appraisal & Coal Mining Risk Assessment 31.1.22 for Aldi Stores Limited; Borehole soils sampling - in total, 4 no. samples of made ground were screened for asbestos fibres; none were detected.

The site is brownfield and has a history of previous use - Early plans (dated 1867) show the site as already being developed with several uses including a stone yard, pottery and colliery school noted across the site. By 1956, several phases of redevelopment have occurred, adapting the site to other commercial uses such as an Auction Market and Mortuary, Mission Hall and public house, with many of the buildings demolished by 2018. Recent aerial imagery suggests the northern portion of the site is used as a car park, whilst the southern portion of the site has been allowed to become overgrown and derelict. In addition underground mining activities require ground remediation.

All previous structures on the Site have been demolished and removed by others have been taken down to slab level only. Existing foundations/slabs are to be removed and grubbed out as part of the works. Whilst Ground Investigations have not encountered any asbestos. there remains a risk of encountering unidentified ACM during groundwork. **Projekt have arranged for a Site Walkover and Sampling Survey, together with a Watching Brief with Air Monitoring during ground remediation.**

### **Asbestos containing materials (ACMs) –**

ACM's debris: Potential for ACM's in/on the ground e.g. within uncharted services & from fly tipping.

There remains the risk of asbestos in any remaining foundations of the buildings or existing services associated with the previous land use and thus the need for watching brief for asbestos. Therefore, all staff likely to come into contact with ACMs, and those supervising such staff, must have recent suitable & sufficient asbestos awareness training. If whilst undertaking the Works, Contractors discover any material with potential to contain asbestos, they are to stop works & immediately notify the Site Manager who will seek advice of an Environmental Consultant. All staff on site undertaking enabling and excavation should have asbestos awareness training in case of contact with unexpected asbestos.

All ACMs should be removed by a licensed Contractor. Asbestos removal & disposal must be undertaken by a licensed & competent Asbestos Removal Contractor and in accordance with all relevant legislation. Only suitably competent staff



Architects | Construction

Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

should be engaged on asbestos removal works, provided with appropriate PPE & supervision, working under a Permit to Work. Ventilation should be provided & air monitoring undertaken, if deemed necessary by risk assessment.

Details of the any ground investigation findings re Asbestos will be communicated to all personnel at Site Induction, with subsequent RAMS and Toolbox talks to manage and communicate on this and other hazards throughout the project, to ensure all workers are aware and follow appropriate working methods required. Contractors generally to follow HSE guidance EM1 – Asbestos Essentials – What to do if you uncover or damage material that may contain asbestos.

The above-mentioned procedures are mentioned and brought to the attention of site operatives during their site induction.

## Contaminated Land

For ground conditions, refer to the H3E geo-environmental reports. The Groundworks Contractors should undertake any additional SI they believe is appropriate to design any permanent or temporary works.

### **Sources of Contamination –**

- Contamination associated with current and historic site usage – Made ground is anticipated beneath the site associated with historical construction, demolition and redevelopment activities.
- Potential for hazardous ground gas migration and/or production – Associated with made ground, shallow and deep coal mining activities and potential ground gas production attributable to the biodegradation of organic matter within organic alluvial and deposits.

### **Contamination -**

Based on the site history and contamination screening completed by DTS Raeburn (northern part only) it is considered that the site presents a low moderate environmental risk with respect to contamination for a commercial end-use. When assessing the chemical screening results within the DTS Raeburn report against current assessment criteria for commercial land, elevated concentrations have been recorded within for metals and PAH analytes.

**Ground Gas** - The potential risk to this site from ground gas migration and/or production is considered to be moderate. As plausible sources have been identified and historical gas monitoring previously completed by DTS Raeburn reveal Carbon Dioxide concentrations in excess of 5%, it is recommended that gas monitoring be completed as part of any future ground investigation works to confirm the level of potential risk.

**Radon** - Inspection of the BRE publication BR211 (2015), 'Radon: Guidance on protective measures for new buildings' indicates that the site lies in 1km grid area where an elevated radon potential is predicted the potential for 1-3%. However, the Envirocheck report data, which is calculated on a site specific basis shows the site is within a Lower probability radon area (less than 1% of homes are estimated to be at or above the Action Level). As such radon protection measures are not considered to be required for new development at this site.



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Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

#### ENVIRONMENTAL RISK ASSESSMENT

| Contamination potential for:                      | Risk rating          | Reason  |
|---|----------------------|---|
| On-site contamination                             | Low to Medium        | Made ground is anticipated beneath the site associated with historical construction, demolition and redevelopment, based activities. Some evidence of elevated concentration of contaminants based of Raeburn investigation |
| Contaminants migrating off site                   | Low                  | Limited risk anticipated at this stage due to absence of significant sources recorded on this site.   |
| Contaminants migrating onto site                  | Low                  | Deep made ground may be present to the west of site associated with an area of raised ground located to the south first recorded 1899.  |
| Other environmental issues giving rise to concern | Low                  | None identified.  |
| <b>OVERALL RISK</b>                               | <b>Low to Medium</b> |   |

From the information available the site risk assessment produced by H3E indicates environmental risk to be low to moderate.

#### **Sub-surface Obstructions**

The Principal Contractor to have procedure in place for dealing with unforeseen sub-surface obstructions in excavations. Groundworks remediation / treatment process monitored, with contractors Toolbox talks to ensure a protocol followed on encountering obstructions during excavation work. On encountering obstructions – works to be stopped / reviewed with engineer to be advised to agree course of any further action required. It may be that obstructions not affecting groundworks or service infrastructure may remain in car park / landscape areas. Areas of landscaping to have minimum 600mm clean cover. Areas within building footprint to be cleared of obstructions. It is unknown if the existing buildings on the site were piled or had basements. If these are encountered, a plan for cutting back will be agreed with the Client. It is possible that excavations may encounter foundations and redundant services associated with the historical structures on the site. All relevant information must be made available to all relevant Contractors to design any permanent or temporary works.

**UNEXPLODED ORDNANCE (UXO)** – THP PCI notes that the site is at a Low-Risk from possible UXO.

UXO - It is recommended that all groundworks contractors undergo UXO toolbox talks – to ensure a protocol followed on encountering potential harmful or suspect items encountered during excavation work. On encountering dangerous substances – works to be stopped / fenced off / site manager to be advised to agree course of any further action required.

#### **Other site considerations -**

The Appointed Groundwork Contractor should undertake any additional SI he believes is appropriate to design any



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Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

permanent or temporary works.

During the Enabling/reduced level / remediation phases of the site development, the Principal Contractor in conjunction with the appointed Enabling & groundworkers to protect the health & safety of site personnel and follow advice given in HSE document "Protection of Workers and the General Public during Redevelopment of Contaminated Land". In summary, the following measures are suggested to provide a minimum level of protection:

- All ground workers should be issued with the relevant protective clothing, footwear & gloves. These protective items should not be removed from the site and personnel should be instructed as to why and how they are to be used.
- Hand-washing and boot-washing facilities should be provided.
- Care should be taken to minimise the potential for off-site migration of contamination by the provision of dust suppression & wheel cleaning equipment during the construction works.
- Good practices relating to personal hygiene should be adopted on the Site.

For the Construction period – the general site work areas are designated non-smoking, an area is allocated adjacent site accommodation for smoking.

Site induction will advise operatives that any suspicious material excavated / considered to be harmful is to be brought to attention of Site Manager for further assessment, to determine any changes to works method. Contractor supervision and operatives to be advised at induction – to be vigilant during demolition and excavation activities / monitoring with a view to stopping work activities in the event any hazard / harmful substance encountered, reporting on issues to the site manager.

All existing H&S file info. / Site Investigation information will be made available to the Ground-works Contractor.

Enabling and Groundworks are subject to site specific RAMS – Risk Assessment and Method Statement. Contractor RAMS are subject to a Site Manager approval process to ensure adequate controls in place for the works.

Confined space entry is to be avoided where possible by alternative methods, where this is not possible confined space access policy to be observed, with a "permit to enter" process being followed.

## Manual Handling

Plant and materials must be stored within the fenced working area. Unloading of materials must only be undertaken within the Designated Construction Areas and by mechanical means. Manual handling of heavy materials should not be permitted.

If unloading requires working at height, then suitable procedures must be adopted to comply with the Regulations, including the use of harness restraints where applicable. Alternatively, delivery wagons should be equipped with suitable offloading platforms / plant or inflatable surround bags as appropriate.

All materials should be stored, stacked and handled in a safe manner. The height of material stacks should be minimised and should not exceed the suppliers' safe recommendations.

All fabrication must be completed off site or within the Designated Construction Areas.

Safe access to and egress from unloading / storage and fabrication areas must be maintained at all times for delivery and emergency vehicles.

Use of existing and mobile lifting equipment - There is no existing lifting equipment on the site. Designer to provide Site set up drawing to identify safe crane location, including all manholes / petrol interceptors and safe working area etc. Contractors must ensure that all lifting equipment is tested and maintained, and all operators are suitably trained for the equipment they operate. All relevant certificates must be held on site for inspection by the Principal Contractor. Lifting equipment must be positioned such that it cannot extend beyond the limits of the working area or damage any



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**Construction Phase Health and Safety Plan-  
New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

existing structures or services. Lifting equipment must not be located on any existing manhole / chamber cover or gully or where it could fall within 3m of the site boundary or any existing structure.

Plant and materials must be stored within the fenced working area. Loading & unloading of materials must only be undertaken within the Designated Areas and by mechanical means. Manual handling of heavy materials should not be permitted.

If loading and unloading requires working at height then suitable procedures must be adopted to comply with the Regulations, including the use of harness restraints where applicable. Delivery wagons should be equipped with suitable inflatable offloading surround bags.

All materials should be stored, stacked & handled in a safe manner. The height of material stacks should be minimised and should not exceed the suppliers' safe recommendations.

All fabrication must be completed off site or within the Designated Construction Areas. Safe access to and egress from unloading / storage and fabrication areas must be maintained at all times for delivery and emergency vehicles.

Where objects of over 25Kgs/or objects that pose a risk to operatives lifting them, a risk assessment must be undertaken to try and avoid the requirement to use the material/equipment or where this is not possible reduce the risk of injury by reducing the weight, number of operations or introducing mechanical assistance.

Reference MOHR – Manual Handling Operations Regulations 1992 – Avoid / Assess / Reduce Risk - Manual Handling assessments must be submitted with contractor RAMS to the Principal Contractor before work commences.

Gloves must be worn for appropriate tasks.

## **Use of Hazardous Substances**

Once developer demolition / ground remediation completed, there should be no known chemicals stored on the site.

None of the materials specified by the Designer are considered to require particular precautions to manage risks to health and safety, beyond those which a competent contractor may be expected to be familiar with on a project of this type. All materials, compounds & liquids to be stored in secure, bunded areas in accordance with the manufacturers' recommendations. The COSHH/ MS datasheets to be made available to site manager.

Spillages of any kind must be reported to the Principal Contractor when they occur. Subsequent spillage clean-up will be the responsibility of the responsible. To assist the Contractors the Principal Contractor will ensure a spill kit is available on site at all times.

All hazardous substances associated with our construction activities will be assessed and the detailed control measures communicated to the relevant Contractors. Also, all hazardous products supplied must be supported with CHIP data sheets and a COSHH assessment will be undertaken for significant risks and the control measures implemented. Where Contractors are responsible for the assessment it will be subject to an appraisal undertaken by the Site Manager.





Architects | Construction

Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

## Reducing Noise & Vibration

In relation to noise and vibration Projekt Construction works to set risk control standards which are defined in the Noise Assessment Register. This is supplemented by site noise measurement taken when deemed necessary for daily exposure and assessments of vibration exposure. Appointed Groundwork Contractor to comply with BS5228 – Noise & Vibration control on Construction Sites. Contractor to include for compliance at time of tender / order.

Site specific noise and or vibration related risks likely to be encountered and managed on this project from an initial assessment of all planned construction operations and methods are not thought to pose any level of significant risks to be managed, monitored and overcome. Practical measure to reduce the effects of noise will be the deployment of silenced plant and equipment and the choice of plant and equipment will be carried out with this in mind.

**Note** – Ground remediation treatment detail is not fully detailed awaiting further GI in respect of mine workings - Following a review of Coal Authority (CA) and available BGS data, this site is considered to be located within a high risk setting with regards potential shallow recorded and unrecorded workings within the Bannock coal seam. As such, further investigation works are considered necessary. Based on the information above, the site is considered to be at risk from shallow coal mining activities within the bannock coal seam. Therefore, deep rotary boreholes will be required to assess the potential mine workings beneath the proposed store.

In addition, based on the information contained within the DTS Raeburn Ground Investigation Report, ground improvement techniques are unlikely to be suitable due the likely presence of peat deposits beneath the proposed store footprint. However, the DTS Raeburn report concentrates on areas local to the northern portion of the site where structural development is not proposed. Further ground investigations will be required to more definitively confirm potential foundation options. In the event similar ground conditions are encountered beneath the footprint of the proposed development, piled foundations and a suspended floor slab are recommended.

Advice should be sought from a specialist piling contractor with respect to pile type and design depth if required.

***Once surveys and remediation design completed noise and or vibration related risks will be re-visited to establish any site specific controls and monitoring required.***

## Maintenance of Cleanliness of Public Highways

Measures to be put in place to keep all public highways, public access routes, private access roads, footpaths and walkways clean of dust, mud, materials & construction debris - On appointment & included as part of the sub-contract - enabling and groundwork contractors, as part of their scope, to be tasked to keep all public highways, public access routes, private access roads, footpaths and walkways clean of mud, materials and construction debris.

The appointed Enabling and Ground Works Contractor will be charged with maintenance of the public highways adjacent to the site entrance. Any temporary requirements required due to the nature of the works will be subject to Roads and Street Works / Highways permissions. Groundworks contractor will have to have included for adequate resources to meet this obligation within their tender sum allowances as discussed and confirmed at the post tender interviews which preceded placement of the official order for the works. A temporary water bowser and jet wash facility to be provided by the groundworker to ensure construction vehicles leave the site in a clean state. When required deploy hired road brushes, together with additional labour to maintain highways clear of detritus. These key contractors will have to be confirmed that they will discharge the highway cleanliness obligation on a daily basis as necessary throughout the course of their works before a firm order will be placed. All other sub-contractors will be responsible for clearing away any waste following their respective works and leaving the work areas clear on a daily basis.



Architects | Construction

Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

## Waste/Environmental

### **Environmental & Archaeology Issues – HISTORIC / ARCHAEOLOGICAL**

**Desk top Archaeological report produced for the site - 6070 Preston Street, Whitehaven DBA 23 dated December 2023 -**

The proposed development area is within Natural England's West Cumbria Coastal Plain (7) National Character Area. It is defined as a plain lying between the Cumbrian High Fells in the east and the Irish Sea in the west. Open farmland is dissected by sheltered wooded river valleys and a large part of the area lies within the Lake District National Park. Industry is centred around Whitehaven, Workington and Maryport (Natural England 2013).

The recently updated 'North West England Regional Research Framework' (<https://researchframeworks.org/nwrf/> accessed 30-11-2023) contains an agenda for archaeological research in the region, which is incorporated into regional planning policy implementation with respect to archaeology. The potential remains on site could address several agenda items. For example, further investigation of the pottery and glass works would contribute to establishing the evolution and development of industries associated with north-west England (PM27). The development of institutional buildings such as hospitals is also highlighted as a research objective (Ind25), and further knowledge of the fever hospital could assist with this. The later 19th-century school does not fit clearly with any agenda items and is probably of less significance than the other possible remains.

It is understood an Archaeological watching brief will be carried out during construction ground-works on the site – details TBA.

The site is not located within a Conservation Area.

### **Environmental Surveys – ECOLOGICAL SURVEYS -**

Existing properties at the site removed by the developer as advance works. The site unlikely to support wildlife in current state of remediation, however working methods should be followed to ensure that all mammals are safeguarded.

### **Wildlife Habitats**

As part of the survey the significant trees were inspected from ground level for signs of wildlife habitation, in particular birds and bats.

**Bats** - All UK bats and their roosts are protected by law. The legislation protecting bats are:

- The Wildlife & Countryside Act 1981 (WCA)
- Conservation of Habitats and Species Regulations 2017

For all countries of the UK, the legal protection for bats and their roosts may be summarised as follows:

You will be committing a criminal offence if you:

1. Deliberately\* capture, injure or kill a bat
2. Intentionally or recklessly disturb a bat in its roost or deliberately disturb a group of bats
3. Damage or destroy a bat roosting place (even if bats are not occupying the roost at the time)
4. Possess or advertise/sell/exchange a bat (dead or alive) or any part of a bat
5. Intentionally or recklessly obstruct access to a bat roost

\*In a court, 'deliberately' will probably be interpreted as someone who, although not intending to capture/injure or kill a bat, performed the relevant action, being sufficiently informed and aware of the consequence his/her action will most likely have.)

Penalties on conviction - the maximum fine is £5,000 per incident or per bat (some roosts contain several hundred bats), up to six months in prison, and forfeiture of items used to commit the offence, e.g. vehicles, plant, machinery.

No visual signs were found to indicate the presence of bats in the surveyed trees.







Architects | Construction

Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

**Retained Trees** - Protective barriers to be erected around all retained trees in the position indicated by the blue line on the Tree Protection Plan prior to any works on site. Signs should also be attached stating that the area is a protected zone and should not be entered.

**New Landscaping** - The landscaping scheme to be designed to benefit wildlife and biodiversity.  
Landscape planting as per approved landscaping drawing – For further detail refer to planting schedule

**Imported soils** - If topsoil is imported it should be suitably validated to ensure there is no risk to end users.

**Waste Management – New Construction -**

Waste arising from groundworks being subject to WAC test criteria & acceptance. A “duty of care” followed for all waste arising from site Due to the size of the Project and the costs involved it is deemed necessary that a Site Waste Management Plan will be required. WAC testing required by Groundworks Contractor to establish areas of made ground characterised as Non-Hazardous / Inert for disposal. Any WAC result leading to hazardous identification will be subject to review / investigation as to extent, with site specific methods prior to disposal.

Notwithstanding the aforementioned, good practice will prevail and site records relating to waste transfer data will be held on site should they be required.

Where re-use of site won materials are proposed, the production of a Materials Management Plan, and its approval by a Qualified Person, will also be required to allow reuse of suitable material at the site in accordance with waste regulations.

**General Waste –**

Waste materials should be segregated and should be recycled where practicable.

Rubbish skips must be located on hardstanding areas and must be covered. All waste holding containers should be correctly signed & covered to protect from wind & vermin.

All waste resulting from work on site will be removed to a waste disposal depot for recycling wherever possible. Waste skips will be available on site at a position designated by the Site Manager. Hazardous waste (ACMS's / localised contaminated ground) produced during the works to be disposed of into a lockable / signed hazardous waste receptacle for disposal, with associated notifications & consignment notes.

Waste materials to be segregated where possible and if not waste transferred for recycling where practicable.

General rubbish skips must be located on hardstanding areas and must be covered. All waste holding containers should be correctly signed & covered to protect from wind & vermin. Provision has been made for a waste skip to be located within the site compound area as noted on the site layout plan. A small mixed recycling waste receptacle of 1100ltrs will be sited outside of the welfare canteen for disposal of all metal, plastic bottles and cans which will be changed each week.

Should the need arise for ready mixed concrete, a skip with waterproof lining installed will be made available for washing out purposes.

**Note** – Ground-workers to be made aware of requirement to contain washout of concrete wagons to prevent contamination of groundwater / SW sewers. Groundworks are subject to site specific RAMS – Risk Assessment and Method Statement. Contractor RAMS are subject to a Site Manager approval process to ensure adequate controls in place for the works. In event of spillage of hazardous material or liquids the contractor who brought the material to site will be responsible for clearing away spillage to the satisfaction of the Site Manager and Environmental Agency if they have become involved. Projekt Construction will ensure that an adequate spill kit is available on site at all times.

**ACM's** – Prior to construction activities Asbestos R&D ground survey & any necessary clearance to be carried out. There remains the risk of ACMs in areas that could not be surveyed (eg below the slabs / in made ground). Asbestos removal & disposal must be undertaken by a licensed & competent Asbestos Removal Contractor and in accordance



Architects | Construction

Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

with all relevant legislation. Only suitably competent staff should be engaged on asbestos removal works, provided with appropriate PPE & supervision, working under a Permit to Work. Ventilation should be provided & air monitoring undertaken, if deemed necessary by risk assessment.

**Coronavirous / COVID-19 – Site to comply with current Coronavirus / COVID-19 site operating procedures in line with Government Guidance.**

Whilst the UK Government's [Living with COVID-19](#) plan is clear that the pandemic is not yet over, the removal of the Working Safely during Coronavirus (Covid-19) guidance, along with the health and safety requirement for employers to explicitly consider COVID-19 in their risk assessments, from 1st April 2022 means that the [Construction Leadership Council Site Operating Procedures](#) are no longer current and remain available as a reference document. Whilst they will no longer reflect the latest Government guidance, businesses across the supply chain have welcomed the consistency that the Site Operating Procedures have provided, and they may wish to maintain elements of social distancing for the time being.

[The Use of Face Coverings in Construction](#) also remains available as a reference document and it is recommended the good practices the industry has adopted since the pandemic began are retained.

**Mobile phone reception -**

The Ofcom Website (<https://checker.ofcom.org.uk/en-gb/mobile-coverage>) details mobile phone service in the area as follows:

This information is only used as a prediction and not a guarantee. Actual services available may be different depending on the particular circumstances and the precise location of the user and may be affected by network outages. 5G coverage is not included in the table view.

**Reception Indoor -**

Data last updated: December 2024, based on the latest data available to Ofcom.

| Provider | Voice   | Data    |
|----------|---------|---------|
| EE       | Limited | Limited |
| Three    | Likely  | Likely  |
| O2       | Likely  | Likely  |
| Vodafone | Likely  | Likely  |

**Reception Outdoor –**

Data last updated: December 2024, based on the latest data available to Ofcom.

| Provider | Voice  | Data   |
|----------|--------|--------|
| EE       | Likely | Likely |
| Three    | Likely | Likely |
| O2       | Likely | Likely |
| Vodafone | Likely | Likely |





Architects | [Construction](#)

Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

The extent of other network mobile phone reception should be confirmed if it is proposed to use such equipment in emergency procedures. As part of the Site induction communication plan for emergency procedures will be advised, incorporating planned action specifically for all high-risk activities e.g. lifting and work at height. Note - Hand held mobile phones should never be used whilst driving /operating plant, or whilst carrying out manual work activity, calls should only be made or taken when it is safe to do so.

## Other Issues

**Contaminated land in excavations** - Watching brief during the initial enabling and ground remediation works to identify any unforeseen contamination, including UXO and ACMs. Contractors must follow general advice in HSE document "Protection of Workers & the General Public during Redevelopment of Contaminated Land". All ground workers should be issued with the relevant protective clothing, footwear & gloves which should not be removed from the site and personnel should be instructed as to why and how they are to be used. Hand-washing and boot-washing facilities should be provided. Care should be taken to minimise the potential for off-site migration of contamination by the provision of dust suppression during the construction works. Highways maintenance to be part of Enabling & Groundworker appointment requirement. Good practices relating to personal hygiene should be adopted on the Site.

This site will operate a gloves policy during works with hand tools and operatives will be required to wash hands prior to returning to site and before and after rest periods. Anti-microbial hygienic hand rub dispensers will be positioned strategically at access points and inside welfare/rest rooms to minimise cross contamination.

### **Lighting Levels -**

Poor lighting levels in work areas - eg in buildings / in winter / evenings – Principal contractor to monitor safe lighting provision, with contractors providing appropriate task lighting.

### **Noise Levels -**

There will be an amount of noise associated with the works at various stages and all operatives will be instructed within the site induction to clean up work areas as they progress to minimise dust and to use suppression measures on all plant and equipment at all times to reduce noise.



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Construction Phase Health and Safety Plan-  
**New ALDI Store -**  
**Aldi Whitehaven,**  
**Preston Street,**  
**Whitehaven CA28 9BS**

## Construction Risk Assessment

| Design Area<br>(Construction Activity)   | Hazard   | Population at Risk                              | Risk Factor |   |    | Risk Control Measures  |
|--|--|---|-------------|---|----|--|
| Key: L=Likelihood: S=Severity: RF=Risk Factor (1-3=Low: 4-6=Medium: 7-9=High)  |  |   | L           | S | RF |  |
| 1. Regular Delivery vehicle & construction traffic along Preston Street access. Interface with adjacent premises and the public. | -Collision with Personnel<br>-Traffic Collision with oncoming traffic  | -All site personnel<br>-Site Visitors<br>- MOP  | 2           | 3 | 6  | <ul style="list-style-type: none"> <li>- Traffic management plan. Appendix E</li> <li>- Operation of one-way traffic where possible</li> <li>- shared site entry / exit - one point access</li> <li>- Designated site traffic turning points</li> <li>- Separate pedestrian/ non-construction and construction traffic areas.</li> <li>- Separate Pedestrian <b>access off Preston Street</b></li> <li>- Close monitoring and supervision of deliveries, and vehicles leaving site.</li> <li>- No on road parking for construction vehicles</li> <li>- Contractor dedicated banksman to assist vehicles entering and leaving site</li> <li>- Adequate warning signs</li> <li>- Designated Plant crossing / reversing area.</li> <li>- Off peak delivery times to be arranged as far as possible.</li> <li>- Avoid school run periods if possible.</li> </ul> |
| 2. Excavation to form new foundation bases and drainage trenches   | - Hazardous substances<br>- Uncontrolled collapse<br>- Crushing injuries<br>- Suffocation<br>- Plant toppling<br>- "Live" services contact | - Construction operatives<br>- Plant operatives | 2           | 3 | 6  | <ul style="list-style-type: none"> <li>- Production and agreement of detailed risk assessment and sequenced method statements - also addressing briefing methods to operatives.</li> <li>- Any Temporary works design – approval process to be followed.</li> <li>- Appropriate P.P.E. is to be provided and must be worn.</li> <li>- Confirmed isolation of existing services prior to ground slab demolition, with written confirmation</li> <li>- Before any enabling / excavations commence check existing services isolation records, record drawings and preconstruction site</li> </ul>   |



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## Construction Phase Health and Safety Plan-

### New ALDI Store -

**Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

| Design Area<br>(Construction Activity)  | Hazard   | Population at Risk   | Risk Factor |   |    | Risk Control Measures   |
|---|--|--|-------------|---|----|---|
| Key: L=Likelihood: S=Severity: RF=Risk Factor (1-3=Low: 4-6=Medium: 7-9=High) |  |  | L           | S | RF |   |
|   |  |  |             |   |    | <p>survey information. Use of CAT scan equipment and reference to “Dial Before You Dig” contacts to establish any unknown or uncertain service locations</p> <ul style="list-style-type: none"> <li>- UXO risk assessment with site surveys / action plan. Regular monitoring and inspection of agreed methods will be undertaken. Operations are only to be carried out by trained, certificated operatives. Should any UXO or contamination be encountered or suspected all works to stop until clearance is given by the site manager to proceed. The site manager to call upon the services of the Structural Consultant, Environmental Health, emergency services etc as deemed appropriate to the conditions uncovered.</li> <li>- ACM risk of ACMs in areas that could not be surveyed (eg below the slabs / in made ground). Asbestos removal &amp; disposal must be undertaken by a licensed &amp; competent Asbestos Removal Contractor. Follow EM1 HSE guidance.</li> <li>- Plant and equipment will be inspected on a daily basis. Supplier is to provide inspection certificates.</li> </ul> |
| 3. General protection of the site personnel, visitors & public.               | Trips and falls<br>Vibration, Noise & Dust from demolition, excavation and external service work<br>Fire in existing building<br>Debris fall | -Members of the public i.e. unauthorised personnel<br>-Site personnel<br>-Visitors | 2           | 2 | 4  | <p>Existing secure neighbour fences to be protected and maintained. Remaining secure perimeter Heras fencing erected and maintained around the boundary or working areas to include warning signage to the perimeter.</p> <p>Heras fences will be double clipped.</p> <p>Debris netting use when appropriate.</p> <p>HAVS, Vibration &amp; Noise TBT reviews</p> <p>Closed site gates when not in use</p>   |



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## Construction Phase Health and Safety Plan-

### New ALDI Store -

**Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

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|---|---|--|-------------|---|----|---|
| Key: L=Likelihood: S=Severity: RF=Risk Factor (1-3=Low: 4-6=Medium: 7-9=High) |   |  | L           | S | RF |   |
|   |   |  |             |   |    | Water suppression of dust<br>Plant consideration / checks on/in RAMS<br>Audible means of raising alarm prior to Shell fit out<br>Fire alarm call points in building when shell complete<br>Site to be securely locked at the end of each day.<br>CCTV security / warning signage erected to protect site.<br>Visiting security if site occasions unauthorised access.<br>Significant change in levels to be highlighted / barrier erected.<br>Maintain a distance – restricted working to site boundaries – subject to RAMS / Party Wall / permissions...   |
| 4. Minimising dust  | Uncontrolled asbestos release<br>Airborne dust<br>Air quality issues<br>Contamination of roads / footways | -Members of the public i.e. unauthorised personnel<br>-Site personnel<br>-Visitors | 2           | 3 | 6  | - Plan of work for asbestos<br>- Independent Analytical / visual / air monitoring regime for asbestos removal work<br>- Planned removal of asbestos in advance of following demolition work<br>- Localised jet wash facility for Wheel wash provision<br>- Watching brief / supervision during demolition<br>- Rams to include dust suppression proposals<br>- Detailed RA/MS will be produced by the respective contractor and these to include any dust suppression control measures<br>- Maintenance regime for demolition / excavations / formations<br>- Waste management<br>- Site induction<br>- Personnel toolbox talks |



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Construction Phase Health and Safety Plan-  
**New ALDI Store -**  
**Aldi Whitehaven,**  
**Preston Street,**  
**Whitehaven CA28 9BS**

| Design Area<br>(Construction Activity)   | Hazard   | Population at Risk   | Risk Factor |   |    | Risk Control Measures  |
|--|--|--|-------------|---|----|--|
| Key: L=Likelihood: S=Severity: RF=Risk Factor (1-3=Low: 4-6=Medium: 7-9=High)  |  |  | L           | S | RF |  |
| 5. Removal of existing site vegetation   | Damage to adjacent properties<br>Wildlife impact   | - Members of the public<br>- Site personnel<br>-Visitors                           | 2           | 2 | 4  | - Advance removal as enabling work<br>- Vegetation removals –works to comply with environmental / local authority planning conditions<br>- Adequate warning signs<br>- Site induction<br>- Adjacent works - production and agreement of detailed risk assessment and method statement- also addressing briefing methods to operatives.   |
| 6. External Works to Landscape and Hard Landscape areas                        | Collision between vehicles, vehicles and pedestrians<br>Trips and falls<br>Fatalities<br>Contact with live underground services<br>Electrocution, explosion, burns<br>Contact with contaminated land | Members of the public<br>Site personnel<br>Site visitors<br>Adjacent neighbours    | 2           | 3 | 6  | Detailed RA/MS will be produced by the respective contractor and these to include any traffic control measures, pedestrian segregation measures to be deployed in order to provide: -<br>- Protected customer routes to be established and maintained.<br>Adequate advisory and warning signage to be provide and maintained.<br>- Correct PPE<br>- Site Induction – promoting good hygiene, suitable welfare / washing facilities |
| 7. Enabling groundworks - Protecting existing neighbour properties from damage | Uncontrolled Collapse<br>Collision with plant<br>Damage to structure<br>Fire to property   | -Members of the public i.e. unauthorised personnel<br>-Site personnel<br>-Visitors | 2           | 3 | 6  | - Maintenance of existing boundary walls / fences; restricted work areas– subject to site specific RAMS / Party wall / local authority approvals....<br>- Planned / controlled work sequence<br>- Banksman to all machine work during demolition & excavation phases<br>- Secure buildings daily   |



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## Construction Phase Health and Safety Plan-

### New ALDI Store -

**Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

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|--|---|--|-------------|---|----|---|
| Key: L=Likelihood: S=Severity: RF=Risk Factor (1-3=Low: 4-6=Medium: 7-9=High)  |   |  | L           | S | RF |   |
|  |   |  |             |   |    | <ul style="list-style-type: none"> <li>- Security systems – CCTV covering site areas</li> <li>- Adequate warning signs</li> <li>- Site induction</li> <li>- Adjacent works - production and agreement of detailed risk assessment and method statement - also addressing briefing methods to operatives</li> </ul>  |
| 8. Silica Dust   | Inhalation of silica dust   | <ul style="list-style-type: none"> <li>-Members of the public i.e. unauthorised personnel</li> <li>-Site personnel</li> <li>-Visitors</li> </ul> | 2           | 3 | 6  | <ul style="list-style-type: none"> <li>- Detailed Method Statement required from the Enabling, Demolition and Groundworks contractors before works commence on site.</li> <li>- RA/MS must address all issues related to the works and to include:</li> <li>- Briefing of agreed method to operatives, supervisor and all personnel likely to be affected by the works</li> <li>- Correct plant / water suppression / extraction</li> <li>- Face fit / training in respect of RPE</li> </ul>  |
| 9. Delivery and installation of structural steel members will be carried out by crane operation including crane unloading and lifting into position. | Falling materials and equipment <ul style="list-style-type: none"> <li>- Falls from Height</li> <li>- Crushing injuries</li> <li>- Uncontrolled collapse of part erected steel members</li> </ul> | <ul style="list-style-type: none"> <li>- All Site Personnel</li> <li>- General Public</li> </ul>   | 2           | 3 | 6  | Detailed Method Statement required from the steel erectors before works commence on site. The RA/MS must address all issues related to the works and to include:- <ul style="list-style-type: none"> <li>- Briefing of agreed method to operatives, supervisor and all personnel likely to be affected by the works</li> <li>- Lifting operations to be in full compliance with LOLER regulations i.e. competent personnel – appointed person – slinger signaller</li> <li>- Assessment of lift/crane capacity/ground conditions</li> <li>- Outrigger loads/outrigger size</li> </ul> |





Architects | Construction

## Construction Phase Health and Safety Plan-

### New ALDI Store -

**Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

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|---|--|---|-------------|---|----|---|
| Key: L=Likelihood: S=Severity: RF=Risk Factor (1-3=Low: 4-6=Medium: 7-9=High) |  |   | L           | S | RF |   |
|   |  |   |             |   |    | <p>Crane lifting plan to be produced before operation start on site</p> <ul style="list-style-type: none"> <li>- Correct slings and chains to be identified relative to the materials being lifted and positioned</li> <li>-All lifting equipment Test Certs to be inspected by the Contractor before being put into use.</li> <li>- Use of MEWP's to enable the chain/slides to be detached from the load</li> <li>- Centre of gravity and lifting points for the steel members to be identified by the erectors.</li> </ul> <p>A Crane test and inspection records to be checked by the Principal Contractor before the crane is rigged to lift.</p> <ul style="list-style-type: none"> <li>- MEWP operators to be fully trained and certified to CITB/CTA standards and only to be only used by trained and fully competent operatives</li> <li>- Safety nets will also be installed before roof works can commence. Nets to be erected and dismantled by Competent Company.</li> </ul> <p>Installation of suitable temporary roads and hand standings to accept delivery wagons and mobile cranes.</p> <ul style="list-style-type: none"> <li>- Adequate width of temp roads to manoeuvre delivery wagons and mobile cranes.</li> </ul> <p>Planned access arrangements / scheduled timing of deliveries</p> |
| 10. Installation of car park light columns                                    | <ul style="list-style-type: none"> <li>- Collapse of column</li> <li>- Collision during erection</li> <li>- Falling objects</li> </ul> | <ul style="list-style-type: none"> <li>- Site Personnel</li> <li>- Site Visitors</li> <li>- General Public</li> </ul> | 1           | 5 | 5  | <ul style="list-style-type: none"> <li>- Production of a detailed lifting plan / Method Statement before works commence</li> <li>- Briefing of agreed methods to operatives and others likely to be affected by the works</li> </ul>  |



Architects | Construction

Construction Phase Health and Safety Plan-  
**New ALDI Store -**  
**Aldi Whitehaven,**  
**Preston Street,**  
**Whitehaven CA28 9BS**

| Design Area<br>(Construction Activity)  | Hazard  | Population at Risk                | Risk Factor |   |    | Risk Control Measures  |
|---|---|-----------------------------------|-------------|---|----|--|
| Key: L=Likelihood: S=Severity: RF=Risk Factor (1-3=Low: 4-6=Medium: 7-9=High) |   |                                   | L           | S | RF |  |
|   |   |                                   |             |   |    | <ul style="list-style-type: none"> <li>- Manual handling assessment to be addressed prior to works detailing method of erection</li> <li>- LOLER considerations in respect of erection</li> </ul>  |
| 11. Confined Space Working  | Gas discharges, Anoxia, suffocation, loss of consciousness, drowning<br>Explosion burns.<br>Weils disease | Site personnel and operatives     | 1           | 2 | 2  | <p>Early identification of operations that could entail working in confined spaces.</p> <p>Risk of soil gas from remediated ground Chamber entry should be deemed to be confined spaces. <b>Safe access and emergency egress arrangements must be outlined and clarified within the ground-works contractor's MS.</b></p> <p>Production and approval of detailed RA/MA</p> <p>Trained and experienced operatives adequately supervised prior to deployment of Gas detection equipment and ongoing monitoring</p> <p><b>Emergency escape plan - Provision of winching and recovery equipment and harnesses</b></p>                                |
| 12. Solar Panel Installation - TBC  | Falls<br>Falling materials and equipment  | -Site personnel<br>-Site visitors | 2           | 3 | 6  | <ul style="list-style-type: none"> <li>- Production of a detailed Method Statement before works commence</li> <li>- Briefing of agreed methods to operatives and others likely to be affected by the works</li> <li>- An access staircase will be provided as the main point of access to the higher-level scaffold platform level</li> <li>- Preventing falls from height during installation (Prioritised collective measures - edge protection preferable to use of lanyard or man-safe)</li> <li>- Scaffolds to undergo thorough weekly inspection and a detailed register of inspections/findings maintained by the Site Manager</li> </ul> |



Architects | Construction

Construction Phase Health and Safety Plan-  
**New ALDI Store -**  
**Aldi Whitehaven,**  
**Preston Street,**  
**Whitehaven CA28 9BS**

| Design Area<br>(Construction Activity)  | Hazard   | Population at Risk                | Risk Factor |   |    | Risk Control Measures   |
|---|--|-----------------------------------|-------------|---|----|---|
| Key: L=Likelihood: S=Severity: RF=Risk Factor (1-3=Low: 4-6=Medium: 7-9=High) |  |                                   | L           | S | RF |   |
|   |  |                                   |             |   |    | - Manual handling assessment to be addressed prior to works detailing method of erection  |
| 13. Erection and dismantling internal/external access scaffolding             | Falls<br>Falling equipment/fittings<br>Uncontrolled collapse | -Site personnel<br>-Site visitors | 2           | 3 | 6  | <ul style="list-style-type: none"> <li>- Production of a detailed Method Statement before works commence</li> <li>- Briefing of agreed methods to operatives and others likely to be affected by the works</li> <li>- Fully trained and certificated scaffolders to undertake erection/dismantling of scaffolds</li> <li>- No unauthorised personnel to alter or adapt scaffolding</li> <li>- Scaffolding to be properly designed and independently checked to match a detailed "brief" produced by the Construction/Site Manager</li> <li>- Scaffold tags will be used to identify "uncompleted/unsafe" scaffolding</li> <li>- Proper and adequate ladder access will be provided at agreed locations</li> <li>- An access staircase will be provided as the main point of access to the higher-level scaffold platform level</li> <li>- Scaffolds to be covered by temporary works control procedures</li> <li>- Scaffolds to be completed, checked and properly handed over to the Site Manager before being allowed into use</li> <li>- Scaffolds to undergo thorough weekly inspection and a detailed register of inspections/findings maintained by the Site Manager</li> <li>- Scaffolders to follow NASC / TG20 guidelines</li> </ul> |



Architects | Construction

Construction Phase Health and Safety Plan-  
**New ALDI Store -**  
**Aldi Whitehaven,**  
**Preston Street,**  
**Whitehaven CA28 9BS**

| Design Area<br>(Construction Activity)  | Hazard  | Population at Risk                | Risk Factor |   |    | Risk Control Measures  |
|---|---|-----------------------------------|-------------|---|----|--|
| Key: L=Likelihood: S=Severity: RF=Risk Factor (1-3=Low: 4-6=Medium: 7-9=High) |   |                                   | L           | S | RF |  |
|   |   |                                   |             |   |    | <ul style="list-style-type: none"> <li>- use safety harness over 2m high when erecting/dismantling scaffolds.</li> <li>- Scaffolds to be erected on suitably prepared ground and be set upon timber spreader plates</li> </ul>   |
| 14. Use of 415V equipment/plant for floor tiling works                        | Fire, explosion, electric shock, burns, fatalities                                  | Site personnel and operatives     | 2           | 3 | 6  | <ul style="list-style-type: none"> <li>- Use of 415V restricted – for essential floor grinding works, limited use / time on site</li> <li>- Armoured cabling HL routed to work area</li> <li>- Service only to be used by fully competent &amp; trained operatives who can demonstrate accreditation. All works to be subject to detailed RAs/MS and adequately supervised by competent supervisors.</li> </ul>  |
| 15. Movement of plant and wagons on site                                      | Collision with other plant<br>Collision with site personnel<br>Overturning/toppling | -Site personnel<br>-Site visitors | 2           | 3 | 6  | <ul style="list-style-type: none"> <li>- Designated turning point system for contractor vehicle movements to/from site, adequate for construction vehicles</li> <li>- Segregation of plant routes from main pedestrian routes</li> <li>- Erection of suitable barriers to segregate plant/pedestrians</li> <li>- Reverse warning sirens required on all plant/wagons</li> <li>- Plant to be kept away from open excavations</li> <li>- Use of barriers and warning signs</li> <li>- Trained and certificated plant operatives</li> <li>- Daily briefings covering operations/work areas/risk control measures</li> <li>- TM plans review, update &amp; communication by site management</li> </ul> |
| 16. Isolation, Installation & Testing of Electrical Services                  | Fire, explosion, electric shock, burns, fatalities                                  | Site personnel and operatives     | 2           | 3 | 6  | Works to existing live services can only to be carried out by fully competent & trained operatives who can demonstrate the   |



Architects | Construction

## Construction Phase Health and Safety Plan-

### New ALDI Store -

**Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

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|---|---------------------------|--------------------------------------|-------------|---|----|--|
| Key: L=Likelihood: S=Severity: RF=Risk Factor (1-3=Low: 4-6=Medium: 7-9=High) |                           |                                      | L           | S | RF |  |
|   |                           |                                      |             |   |    | <p>appropriate level of trade accreditation/certification. All works to be subject to detailed RAs/MS and adequately supervised by competent supervisors.</p> <p>Permits to work to be operated for works to live services. Access to live main panels and services to be under the full control of a senior superintendent electrician.</p> <p>Toolbox talks to also include all parties that could be affected by the works in hand and no go areas and durations of operations</p> <p>Designated Competent Supervision – M&amp;E&amp;R Supervisors</p>  |
| 17. M & E & General Works in Roof void - M&E Installation                     | Falls and Falling Objects | All Site Personnel and Site Visitors | 2           | 3 | 6  | <ul style="list-style-type: none"> <li>- Obtain and approve detailed risk assessments and method statements from the trade contractors.</li> <li>- Ensure that adequate plant and equipment is provided.</li> <li>- Regular Monitoring of agreed methods will take place</li> </ul>  |
| 18 WAH internally and externally  | Use of Mobile Towers      | All Site Personnel and Site Visitors | 1           | 3 | 3  | <ul style="list-style-type: none"> <li>- Correct erection must be carried out by PASMA Certified operatives only.</li> <li>- Training of operatives in safe use of towers to be carried out.</li> <li>- Dismount tower before moving to new location- lock wheels after moving tower.</li> <li>- Provide safe means to access working platform.</li> <li>- Ensure that toe boards and handrails are always maintained.</li> <li>- Ensure that use is on clear, level, suitable surface.</li> <li>- Hoist Materials up only through the trap door.</li> <li>- Size of tower must suit the height of work to be undertaken.</li> <li>- Regular monitoring and policing of mobile tower use.</li> </ul> |





Architects | Construction

Construction Phase Health and Safety Plan-  
**New ALDI Store -**  
**Aldi Whitehaven,**  
**Preston Street,**  
**Whitehaven CA28 9BS**

| Design Area<br>(Construction Activity)   | Hazard  | Population at Risk                               | Risk Factor |   |    | Risk Control Measures  |
|--|---|--|-------------|---|----|--|
| Key: L=Likelihood: S=Severity: RF=Risk Factor (1-3=Low: 4-6=Medium: 7-9=High)                |   |  | L           | S | RF |  |
|  |   |  |             |   |    |  |
| 19. Unloading and Positioning of Large Items of Equipment (Refrigeration cabinets and plant) | Muscular Injuries, Heavy falling objects, trapping of fingers/toes                    | All Site Personnel                               | 1           | 2 | 2  | <ul style="list-style-type: none"> <li>- Production and Agreement of individual risk assessment and method statement produced by the various trade contractors.</li> <li>- Lift plans for major lifts required</li> <li>- If possible heavy items should be craned by HIAB into place.</li> <li>- Use of forklift (by certified operator) if possible- positioned by trained and experienced operatives.</li> <li>- Operations must be given proper and adequate supervision.</li> <li>- Use of handling aids- wheel bogeys etc.</li> <li>- Instruction of manual handling techniques to operatives.</li> <li>- Proper planning and sequence of operations.</li> </ul> |
| 20. Confined Space Working   | Gas discharges, Anoxia, suffocation, loss of consciousness, drowning Explosion burns. | Site personnel and operatives                    | 1           | 2 | 2  | <p>Early identification of operations that could entail working in confined spaces.</p> <p>There is an elevated risk of soil gas from coal measures below &amp; hydrocarbon vapours during construction therefore all excavations should be deemed to be confined spaces. Safe access and emergency egress arrangements must be outlined and clarified within the ground-works contractor's MS.</p> <p>Production and approval of detailed RA/MS</p> <p>Trained and experienced operatives adequately supervised prior to deployment of Gas detection equipment and ongoing monitoring.</p> <p>Provision of winching and recovery equipment and harnesses</p>          |
| 21. Hot Works  | Serious Fire, burns, uncontrolled collapse.   | Site Personnel, General public, adjoining owners | 1           | 2 | 2  | <p>Production of detailed RA/MS</p> <p>Deployment of Permit to Work System and post completion checks.</p> <p>Competent and trained operatives adequately supervised.</p>  |



Architects | Construction

## Construction Phase Health and Safety Plan-

### New ALDI Store -

**Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

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|--|---|--|-------------|---|----|--|
| Key: L=Likelihood: S=Severity: RF=Risk Factor (1-3=Low: 4-6=Medium: 7-9=High)                    |   |  | L           | S | RF |  |
|  | Smoke inhalation. Electric Shock, eye injury from flash                                     |  |             |   |    | Provision of Fire Extinguishers and Suppression.<br>Provision of safe and adequate access equipment<br>Toolbox talks and briefing of agreed and signed of methods and control procedures.<br>Clean and tidy work areas<br>Removal of unnecessary fire load materials   |
| 22. Working with Sewage/Effluent – connection to existing underground drains and manhole systems | Disease and infection<br>Weill's Disease, organ failure, fatalities                         | Site personnel                                       | 1           | 2 | 2  | Trained and competent operatives.<br>Adequate PPE and barriers material.<br>Production of detailed RA/MS production and approvals<br>Involvement of EA and Pest Control Personnel if felt necessary.<br>Adequate communication and briefings to all who could be affected.<br>Provision of showering and extended hygiene facilities.<br>Disinfection of work areas and surrounds.<br>Analysis of work environment and likely bacterial, viral risks<br>Ongoing occupational health review and monitoring.<br>Protection of existing sewer routed through the site by installation of road plates and/or barriers. |
| 23. Arising ground water and flooding.   | Water filled trenches and excavations. Water run off to adjacent properties, Car Parks etc. | Site personnel<br>Site Visitors<br>Member the public | 2           | 2 | 4  | Provision of pumping equipment to be on standby in order to pump excessive quantities of ground water into the adjacent surface water drainage.<br>Should it be deemed necessary adequate measures i.e. clay bunds, will implemented in order to avoid the risk of ground water migrating on to adjacent sites.<br>Should the need arise EA/UU will be consulted, and consent will be sought from them to discharge ground water into the surface water  |



Architects | Construction

## Construction Phase Health and Safety Plan-

### New ALDI Store -

**Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

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|--|--|--|-------------|---|----|--|
| Key: L=Likelihood: S=Severity: RF=Risk Factor (1-3=Low: 4-6=Medium: 7-9=High)      |  |  | L           | S | RF |  |
|  |  |  |             |   |    | drainage. All surface water will be treated to remove any silt and contaminants prior to discharge into the NWL sewer.   |
| 24. Emergency Situations when The Site Manager is unavailable                      | Uncontrolled construction Works. Unexpected emergency situation. Accidents or injury             | Site personnel<br>Site Visitors<br>Member the public | 1           | 2 | 2  | Intended that during working hours day/night a Projekt Site Manager (SM) will be in attendance – OR his appointed representative - In the unlikely event that the SM is unavailable– the SM will delegate authority and responsibility to a trained and competent manager (Written authorisation for site activities- confirming SMSTS/First Aid qualified). Should this not be possible the Construction Manager will procure the services of a competent temporary SM to be drawn from the pool of those managers who have previous Aldi experience / SMSTS & First Aid accreditation. |
| 25. Aldi staff working on site to merchandise the store prior to the Grand Opening | Food store staff and operatives working in unfamiliar construction site conditions / environment | Aldi staff.  | 2           | 3 | 6  | Wherever possible the Aldi staff will be segregated from the construction works and site operatives. All site staff, including Aldi, will be warned during their site inductions about the risk of working on site and the risk of working with personnel who are unfamiliar with construction site activities. All Aldi staff will be required to wear suitable and appropriate Personnel Protective Equipment.   |



Architects | Construction

Construction Phase Health and Safety Plan-  
**New ALDI Store -**  
**Aldi Whitehaven,**  
**Preston Street,**  
**Whitehaven CA28 9BS**

| Design Area<br>(Construction Activity)  | Hazard                                       | Population at Risk                           | Risk Factor |   |    | Risk Control Measures  |
|---|--|--|-------------|---|----|--|
| Key: L=Likelihood: S=Severity: RF=Risk Factor (1-3=Low: 4-6=Medium: 7-9=High) |  |  | L           | S | RF |  |
| 26. Site Environment  | Coronavirus / COVOD-19                       | All  | 2           | 3 | 6  | <ul style="list-style-type: none"> <li>- Site induction to include TBT relating to Coronavirus / COVID-19 for all persons attending site</li> <li>- All Site personnel to address Risk Assessment for Coronavirus / COVID-19</li> <li>- Site Manager to ensure Coronavirus / COVID-19 updates from government communicated to all by TBT</li> <li>- Site Manager to ensure latest Government guidance available, communicated and followed</li> <li>- If guidance requires, Site Manager to restrict group meetings</li> <li>- If guidance requires, Site Manager to enhance Cleaning regime to welfare &amp; site</li> <li>- If guidance requires, Site Manager to restrict accommodation use to 50% norm</li> <li>- RAMS from contractors to be considerate of Coronavirus / COVID-19 and controls required</li> </ul> |
| 27. Noise & Vibration from works  | Disruption to residential neighbours / trade | Adjacent business managers / owners / Public | 2           | 2 | 4  | <ul style="list-style-type: none"> <li>- Best Practicable Means (BPM) of noise control will be applied during construction works to minimise noise (including vibration) at neighbouring residential properties and other sensitive receptors arising from construction activities. Noise and vibration control at source: for example the selection of quiet and low vibration equipment, review of construction methodology to consider quieter methods, location of equipment on site, control of working hours, the provision of acoustic enclosures and the use of less intrusive</li> </ul>  |



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## Construction Phase Health and Safety Plan-

### New ALDI Store -

Aldi Whitehaven,

Preston Street,

Whitehaven CA28 9BS

| Design Area<br>(Construction Activity)  | Hazard | Population at Risk | Risk Factor |   |    | Risk Control Measures  |
|---|--------|--------------------|-------------|---|----|--|
| Key: L=Likelihood: S=Severity: RF=Risk Factor (1-3=Low: 4-6=Medium: 7-9=High) |        |                    | L           | S | RF |  |
|   |        |                    |             |   |    | <p>audible warnings such as broadband vehicle reversing alarms;</p> <ul style="list-style-type: none"><li>– Screening: for example local screening of equipment or perimeter hoarding; and</li><li>– Where, despite the implementation of BPM, the noise exposure exceeds the criteria defined in this Construction Noise and Vibration Management Plan. ID Neighbours likely to be disrupted to be identified prior to works taking place. The recommendations of BS5228: 2009+A1:2014 'Code of practice for Noise and Vibration Control on Construction and Open Sites', will be implemented, together with the specific requirements of this management plan.</li></ul> <p>Control at source: ● Administrative and legislative control, ● Control of working hours, ● Control of delivery areas and times, ● Careful choice of compound location, ● Physically screening site, ● Control of noise via Contract specification of limits, ● Noise Monitoring, to check compliance with noise level limits, cessation of works until alternative method is found, ● careful operation of machinery and use of tools, ● tool box talks and site inductions.</p> |





Architects | Construction

Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
Preston Street,  
Whitehaven CA28 9BS**

## Health & Safety File Arrangements

All health & safety file information must be given to the site manager for collection and sent as an ongoing process to the Principal Designer for collation into the clients H&S file. HTP have a strict policy that defined practical completion as including all the necessary H&S file information. This information is categorized as follows-

1. As built/installed drawings
2. Method statements
3. Product Information (Safety details only)
4. Designers Risk assessments (Residual risk information for maintenance, cleaning, refurbishment and demolition, not construction)
5. System commission & test reports
6. Survey reports
7. Supplier Contact details
8. Design calculations
9. Critical Structural Design Features
10. O&M Manuals
11. A copy of the existing H&S File should be made available for perusal via contact/agreement with the Store Manager.

The Principal Designer will be responsible for updating the existing Health & Safety File and ensuring it is formally issued to the Client at the end of the Construction Phase. Any Ground or Gas Validation Reports, prepared on completion of the ground remediation works, will form part of the Health and Safety File. The Principal Contractor and all Designers must ensure that all relevant information, as outlined in the CDM Regulations, is provided to the Principal Designer within 2 weeks of the works being taken over. This should include details of any services that have been abandoned or disconnected but not removed. The Principal Contractor will be responsible for collating all relevant information from Contractors.

## Day To Day Fire Safety Management – See Appendix F – “Start of Works”- but to be updated as and when required

Site Manager acting Fire Marshall - Fire Plan displayed on site and reviewed regularly.

## Activity Specific Hazard(s);

### Fire Alarm Type

During Enabling / demolition / Construction - The fire alarm will be raised by use of manually operated air horns. Once Shell constructed – “Howler” or similar radio linked call point system to be installed used to raise alarm.

## Emergency Lighting

Temporary emergency lighting and task lighting will be provided. Temporary background lighting and task lighting will be provided within the new build area via installation of temporary site services i.e. 110V power and lighting. 110v power for small tools will be by local transformer or the use of battery tools will be encouraged. Festoons will be used for task lighting clipped at height away from any standing water. Principal contractor to provide safety lighting, and Contractors to provide task specific lighting.

## Smoking Policy

Smoking is not permitted anywhere on site with the exception of the designated area at the site compound. (As agreed by the Site Manager)



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Construction Phase Health and Safety Plan-  
**New ALDI Store -  
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#### Liaison with Local Fire Authority

The site is within the Cumbria Fire Service area. The nearest fire station is Whitehaven Fire Station, Fire Station, Main St, Whitehaven CA28 6XD. Tel: 01946 505665. The route map for directions to the nearest Fire Station is included in Appendix B and will be displayed in the site welfare in the event of an emergency occurring.

#### Liaison with A&E Hospital

Accident and emergency (A&E) is for serious injuries and life-threatening emergencies only. These are things like heavy bleeding, choking and seizures. The nearest A&E is at West Cumberland Hospital, 30 Homewood Hill, Whitehaven CA28 8JY (Tel: 01946 693181). The route map for directions to the nearest hospital is included in Appendix B and will be displayed in the site welfare in the event of an emergency occurring.

*ACCESSIBLE AUTO EXTERNAL DEFIBRILLATORS (AED'S) -*

*The Principal Contractor will arrange for the site manager to have access to a defibrillator on site.*

#### Related Permits To Work

Permit to work will be required for the following site activities:

- Use of 415V equipment/plant for floor tiling works.
- Hot works.
- Main Sewers and Culverts
- Works on live electrical equipment.
- Hand trial dig excavations to be carried out around the site perimeter and/or in close proximity to existing services.
- Steelwork installation
- Tie-ins to existing live drainage services.
- Work in public highway
- Work in Other Contractors areas
- Electrical testing & commissioning

#### Site Storage Arrangements

There will be lockable steel storage containers on site.

#### Site Specific Matters

1. Site access roads must be kept clear at all times for construction traffic & Emergency Services vehicles. Suitable & sufficient turning facilities must be provided to avoid the need for vehicles to reverse. No plant, materials or equipment should be placed in a position where, in the event of an accident, malfunction or misuse, it could fall within 3m of any existing building, public or private road, garden, footpath, bridleway or watercourse.
2. The Remediation Validation Report, prepared on completion of the ground remediation works, will form part of the Health and Safety File.
3. The Principal Contractor and all Designers must ensure that all relevant information, as outlined in the CDM Regulations, is provided to the Principal Designer within 2 weeks of the works being taken over. This should include details of any services that have been abandoned or disconnected but not removed.



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Construction Phase Health and Safety Plan-  
**New ALDI Store -  
Aldi Whitehaven,  
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#### Appendices.

- A – Site Layout & Location Plan
- B – Emergency Contacts / Routes to Nearest Hospital, Police, Fire Authority
- C – Existing service mains locations / new service provisions
- D – Site Set Up & Welfare Drawing
- E – Traffic Management Plan
- F – Site Fire Plan
- G – Site Investigation Report Summary
- H – Project Programme
- I – Out of Hours working schedule
- J - Internal Arrangement & Customers Access
- K – Site Specific Induction
- L – Fire Risk Assessment
- M – First Aid Risk Assessment
- N – Site Health & Safety Register
- O - Residual Risk Register
- P – Weekly Scaffold checklist
- Q – Site Manager Handover form