



former Whittles furniture store,
Duke Street, Whitehaven,
CA28 7ER

Visual building feature and fabric assessment

AS21.35 Rev 01
July 2021

Applicant: BEC

Scope and purpose

The current building is Grade II listed and has been recently brought by BEC, following the stores recent closure. The existing structure is in poor condition and in desperate need of exterior and interior repair works.

This assessment has been undertaken by Expedite in support of future change of use and listed building application for the above site, to facility the fabric refurbishment and bringing back to life this Grade 2 listed building, to create a digital community hub and cafe. This document will provide a visual commentary of the fabric and retained features as existing.

This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.

Heritage Category:	Listed Building
Grade:	II
List Entry Number:	1086773
Date first listed:	13-Sep-1972
Statutory Address:	Whittle Furniture Store, Duke Street
Dated 1889	

County:	Cumbria
District:	Copeland (District Authority)
Parish:	Whitehaven
National Grid Reference:	NX 97375 18318

Details:	NX 9718 6/154
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Listed Building Description:

Stuccoed, 3 storeys. Paired pilasters at ends, set in 3 tiers - Tuscan, Corinthian, and Tuscan. Ground floor has shop fronts. 1st floor has 5 windows (some 6-light cross type, others 2-light sashes, 3 with broken pediments).

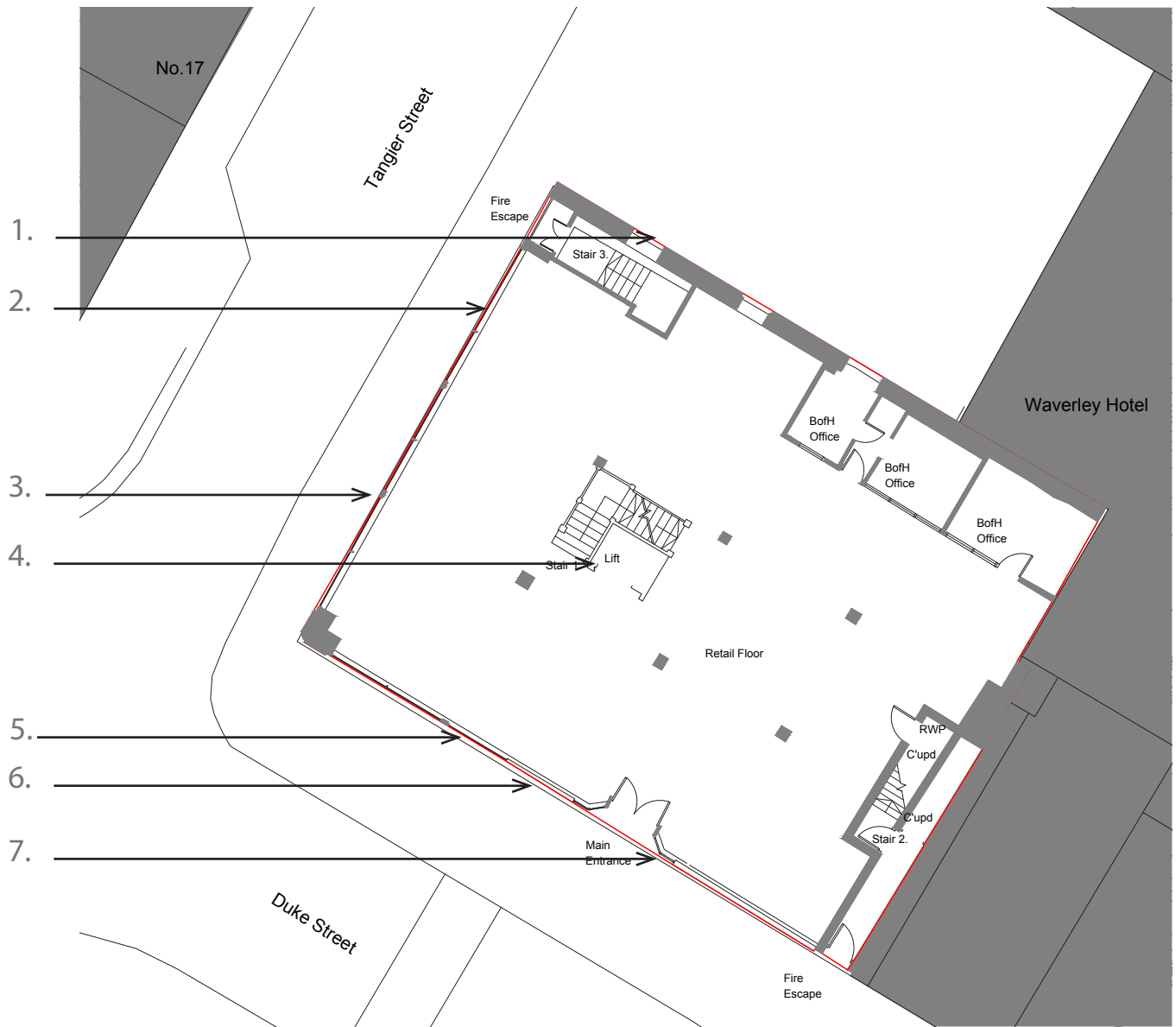
Top floor has 5 sashes with plain pediments.

The 2nd bay is emphasised by a top dormer with scrolled pediment, pilasters and wings, and 1st floor by a swag on the pediment.

Nos 4, 5, the Co-operative Store, Whittle's Furniture Store, The Globe Hotel Nos 105 and 105A form a group.



Existing Building Perimeter





1. Building has been adapted over time to create retail open plan floor space. Architecture elevation, a simple form. Existing windows blocked up facing neighbouring property.

2. Elevation adsorbed into retail unit as retail use extended and adapted over time to create retail open plan floor space. Simple form and elevation palette when compared to the original buildings feature corner. Evidence of shop awning support zone mid level.

3. Building dressed in retained feature stucco columns, window dressing and plaques.

4. Existing balustrade feature, internally that appears also to be picked up in shopfront glazing framing.

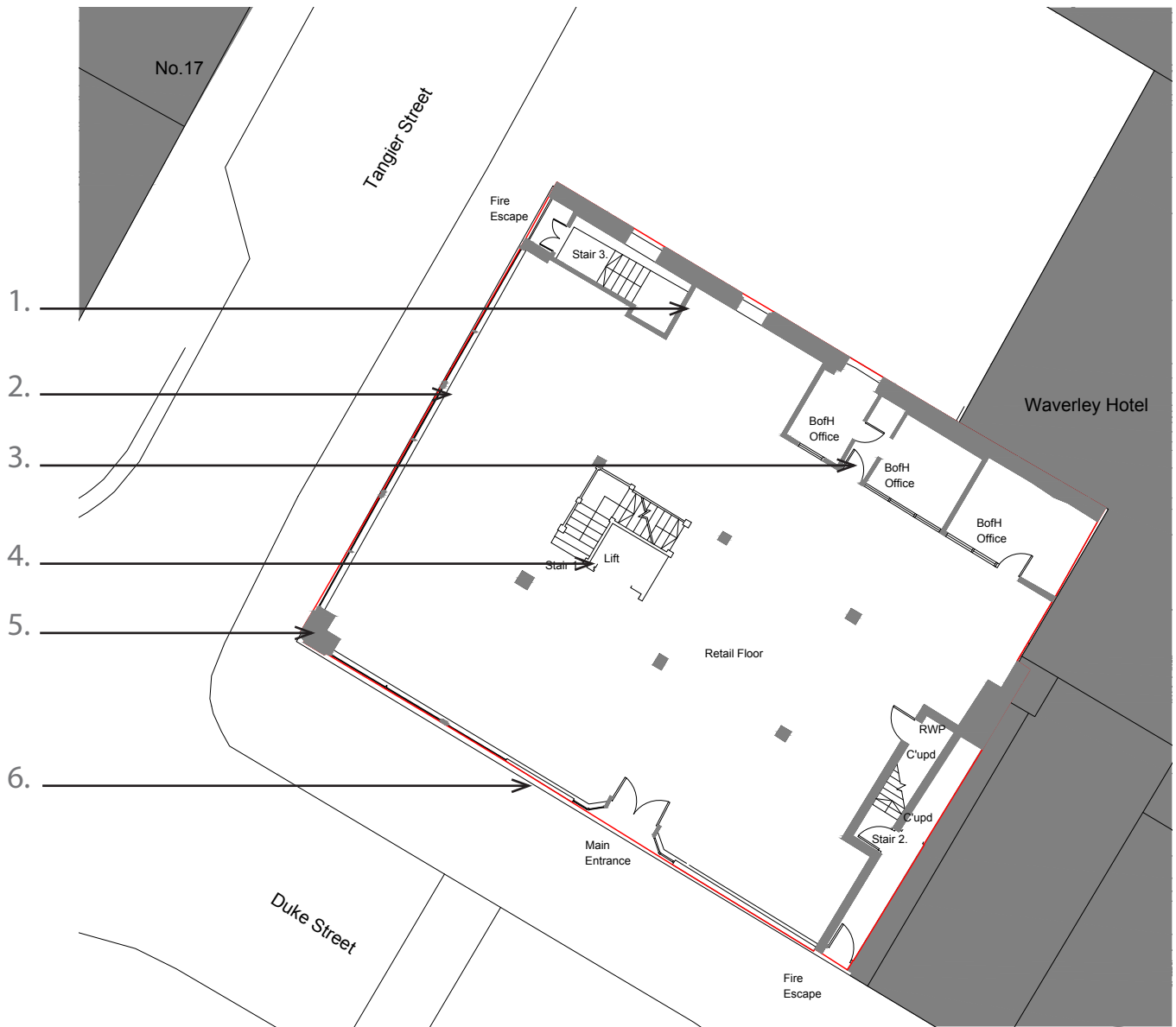
5. Existing facade failing, and unmaintained. Vegetation growing out of feature bands noted.

6. Existing shop front glazing in poor state of repair. Smashed panes currently boarded up, or are being temporary braced due to being inadequately supported.

7. Evidence of water penetration at window heads. Potentially showing water egress either running through render facade, head of windows or cills above.



Existing Floor Plan - Ground





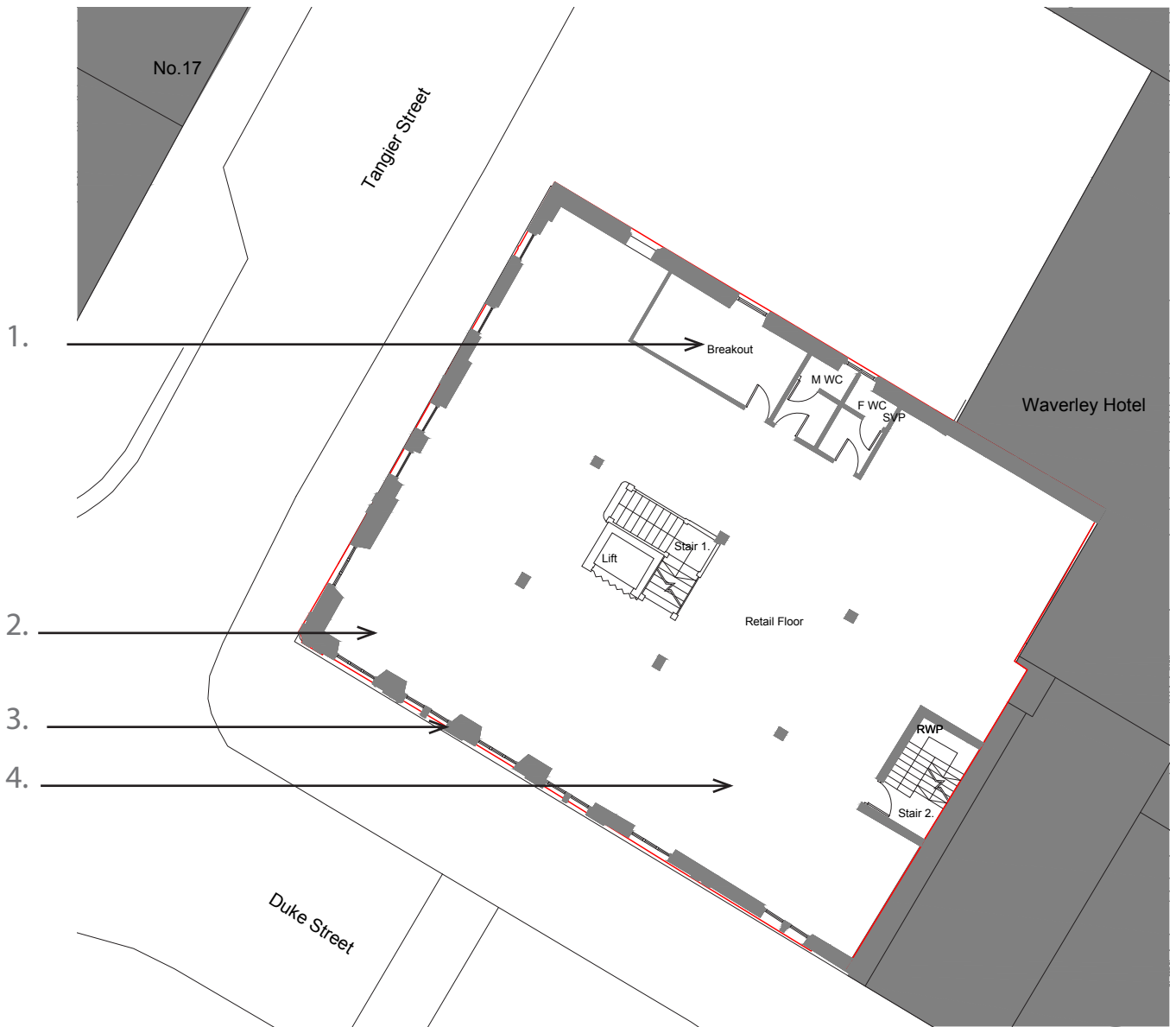
1. Building has been adapted over time to create retail open plan floor space. Photo shows typical arrangement with downstand beams cutting across floor plate, with evidence of damp and plaster failure.
2. As above, but in certain bays cornice feature in play, dressed around downstand beams. Evidence of solar overheating with blanking film being introduced at high level on retail frontage.
3. Existing back of house partitions, full height.
4. Existing goods lift with cage gate way. Existing balustrade feature, that appears also to be picked up in shopfront glazing framing.
5. Evidence of water penetration at window heads. Potentially showing water egress either running through render facade, head of windows or cills above.

6. Existing shop front glazing in poor state of repair. Smashed panes currently boarded up, or are being temporary braced due to being inadequately supported.



Former furniture store, Duke Street

Existing Floor Plan - First



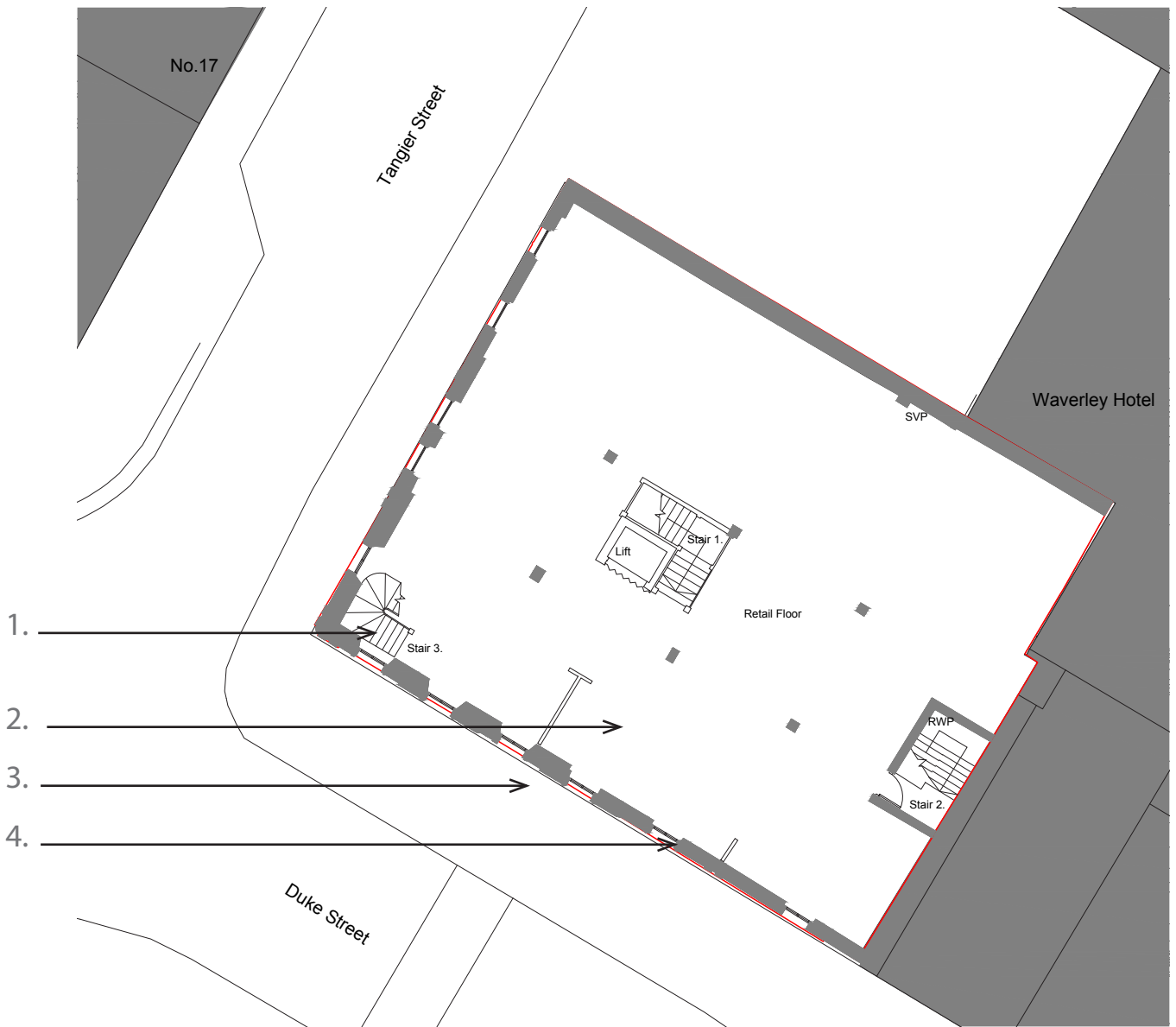


1. Existing back of house partitions, full height.
2. Existing external wall and ceilings failing and in poor state of repair, showing water egress either running through render facade.
3. Evidence of water penetration at window heads. Potentially showing water egress either running through render facade, head of windows or cills above.
4. Building has been adapted over time to create retail open plan floor space. Photo shows typical arrangement with downstand beams cutting across floor plate.



Former furniture store, Duke Street

Existing Floor Plan - Second





3.

1. Evidence of water penetration at window heads. Potentially showing water egress either running through render facade, head of windows or cills above. Noted retained spiral stair feature, dressed in front of existing windows

2. Building has been adapted over time to create retail open plan floor space. Photo shows typical arrangement with downstand beams cutting across floor plate.

Remedial ceiling works in certain areas of the floor plan, dressed around downstand beams.

3. Existing external wall and ceilings failing and in poor state of repair, showing water egress either running through render facade, head of windows or cills above. Noted evidence of lath and plaster in ceiling / floor zones.

4. Existing external wall failing and in poor state of repair.

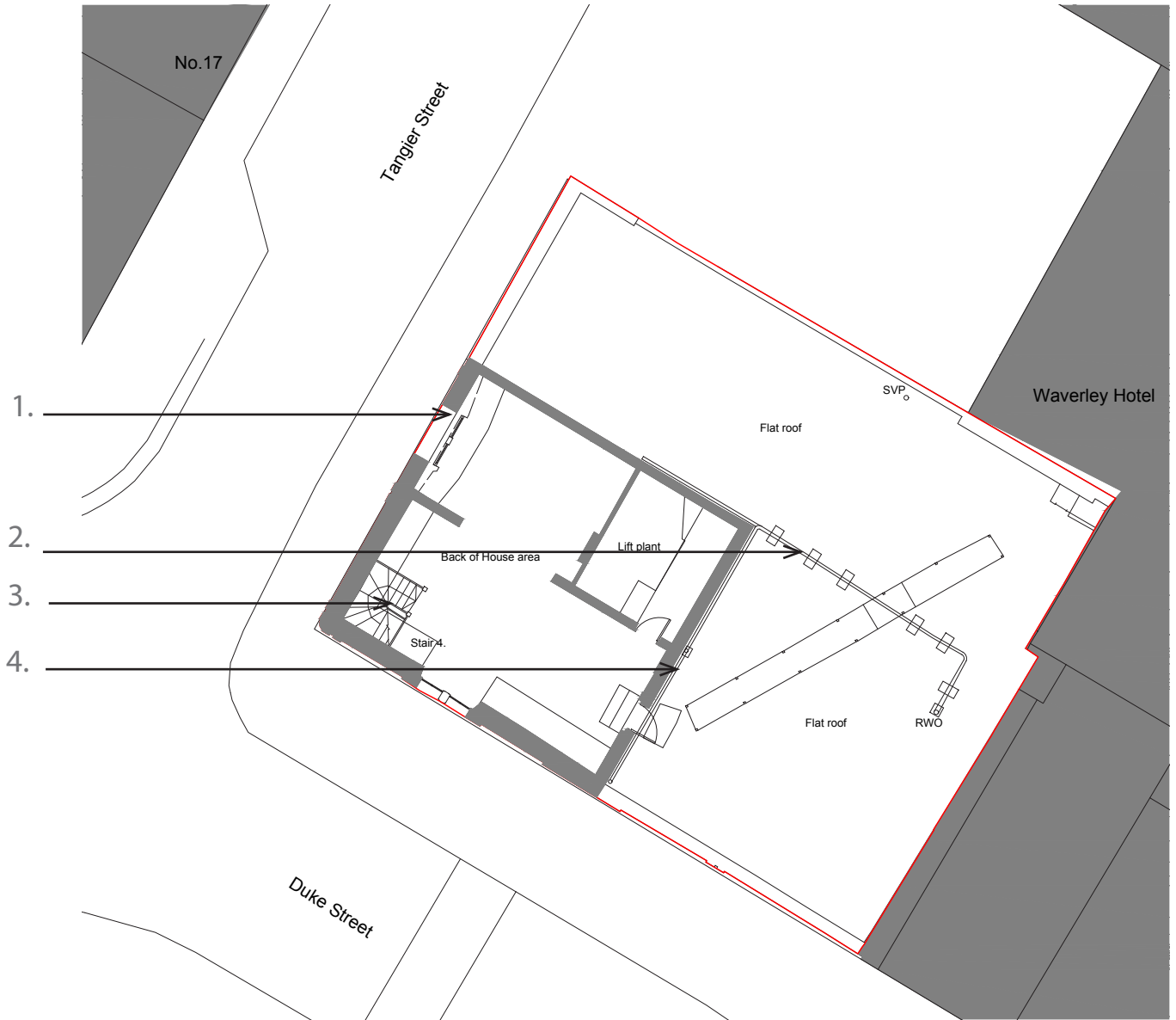


3.



1.

Existing Floor Plan - Third





- 1. Dormer window failure. Main cause of below floor water damage.
- 2. Inadequate positive surface water connection to drainage system.
- 3. Existing external wall and ceilings failing and in poor state of repair, showing water egress either running through render facade, head of windows or cills above.
- 4. Existing external wall failing and in poor state of repair.



Existing Floor Plan - Basement





1. Existing fire escape route to ground floor.
2. Low ceiling height storage room. Wall panels potentially blocking void space under retail unit containing drainage termination points.
3. Loading hatch positioned off main stair.
4. Existing lift car to basement.
5. Location of incoming main services cup'd.
6. Evidence of ceiling zone failing, showing water egress from floor above. Tanked basement walls look in good repair.



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