

NOTES:-  
 1. RETAINING WALLS AND WALLS IDENTIFIED FOR REMOVAL ARE SHOWN INDICATIVELY ONLY AND NEED TO BE READ IN CONJUNCTION WITH THE ENGINEERS DESIGN AND SPECIFICATION.  
 2. PLEASE REFER TO DRWG L.01 & L.93 SERIES FOR EXTERNAL WORKS AND LANDSCAPING DETAILS.  
 3. DRAWINGS BASED ON TETRA TECH SURVEYS LTD DRAWINGS REF:- 784-B029200

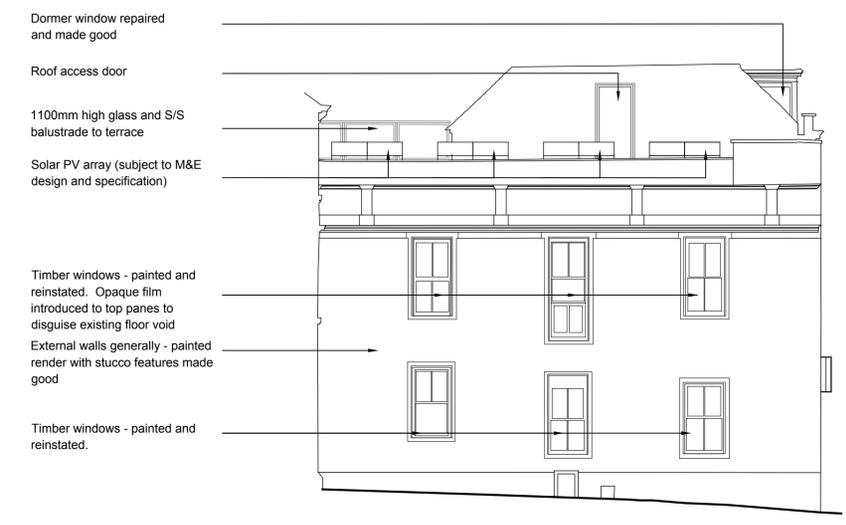
Application boundary:- 316sqm (3,401sqft)  
 Line of walls identified for removal



PROPOSED ELEVATION - DUKE STREET  
 scale 1:100



PROPOSED ELEVATION - TANGIER STREET  
 scale 1:100



PROPOSED ELEVATION - WAVERLEY HOTEL ELEVATION  
 scale 1:100

Existing external walls generally - render with stucco features made good and repainted

Existing windows made good and repainted

New contemporary signage encapsulating former awning timber boxing and support

Existing store front glazing replaced with double glazed window units with solar controlled glass - aluminum framed

Plinth tiles and window vents made good

Dormer window repaired and window made good

Existing external walls generally - render with stucco features made good and repainted

Existing windows made good and repainted

New contemporary signage encapsulating former awning timber boxing and support

Existing store front glazing replaced with double glazed window units with solar controlled glass - aluminum framed

Plinth tiles and window vents made good

Dormer window repaired and made good

Roof access door

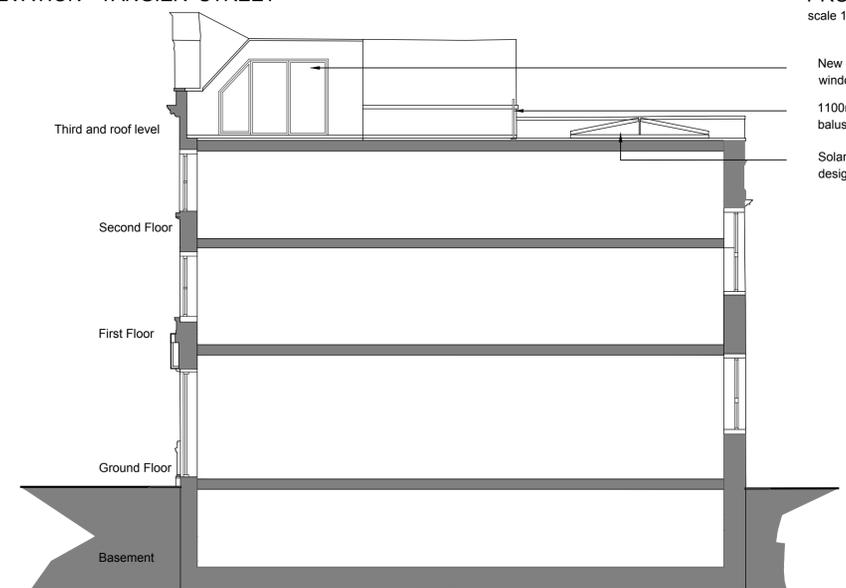
1100mm high glass and S/S balustrade to terrace

Solar PV array (subject to M&E design and specification)

Timber windows - painted and reinstated. Opaque film introduced to top panes to disguise existing floor void

External walls generally - painted render with stucco features made good

Timber windows - painted and reinstated.



PROPOSED SECTIONAL ELEVATION  
 scale 1:100

New glazed access door and window screen

1100mm high glass and S/S balustrade to terrace

Solar PV array (subject to M&E design and specification)

PROPOSED GA ELEVATIONS  
 scale 1:100



REVISION	DATE	COMMENTS	AUTHOR / CHECKED
P3	15.09.2021	AMENDED TO SUIT CONSERVATION FEEDBACK	AA
P2	11.08.2021	AMENDED TO SUIT CONSERVATION FEEDBACK	AA
P1	08.07.2021	FIRST ISSUE	AA

<b>EXPEDITE</b>		TITLE FORMER WHITTLES FURNITURE STORE, WHITEHAVEN FOR AND ON BEHALF OF BEC	
CARDIFF OFFICE 8 Village Way, Greenmeadows Springs Business Park, Cardiff, CF15 7NE t: 02920 696555		DETAIL PROPOSED GA ELEVATIONS	
EXETER OFFICE 35 Southhay-East Exeter, EX1 1AP t: 01392 691631		DATE JULY 2021	SCALE 1:100 @A1
RIBA		DRAWING No. AS21.35.L.04.00	REV P3
w: expediteps.com		AUTHOR / CHECKED AA	
DRAWING - STATUS PLANNING ISSUE			

CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS ARE TO BE WORKED FROM. DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING. © THIS DRAWING IS COPYRIGHT.