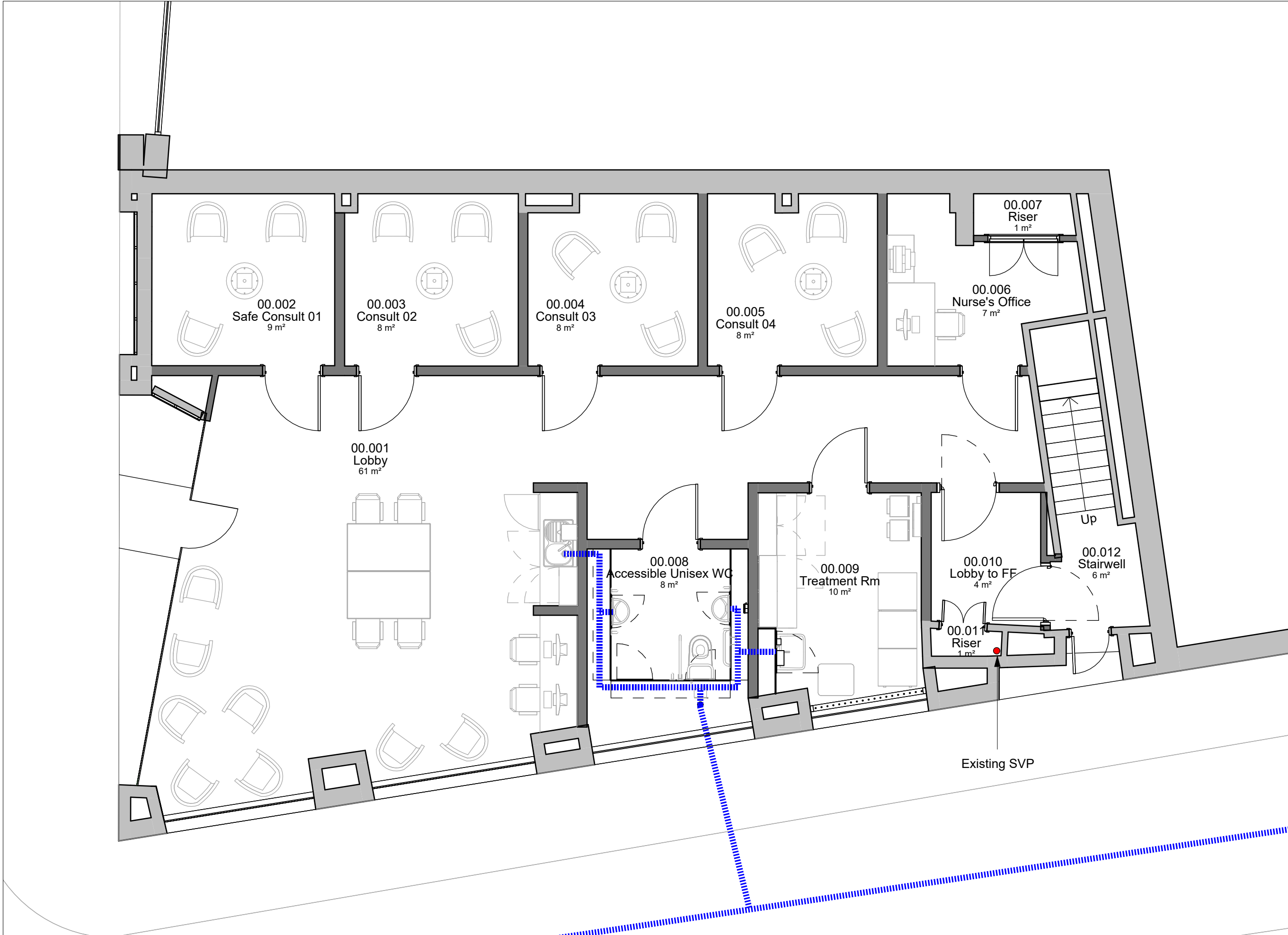




1 GF Drainage
1 : 60

Fire stopping / survey and remedial works

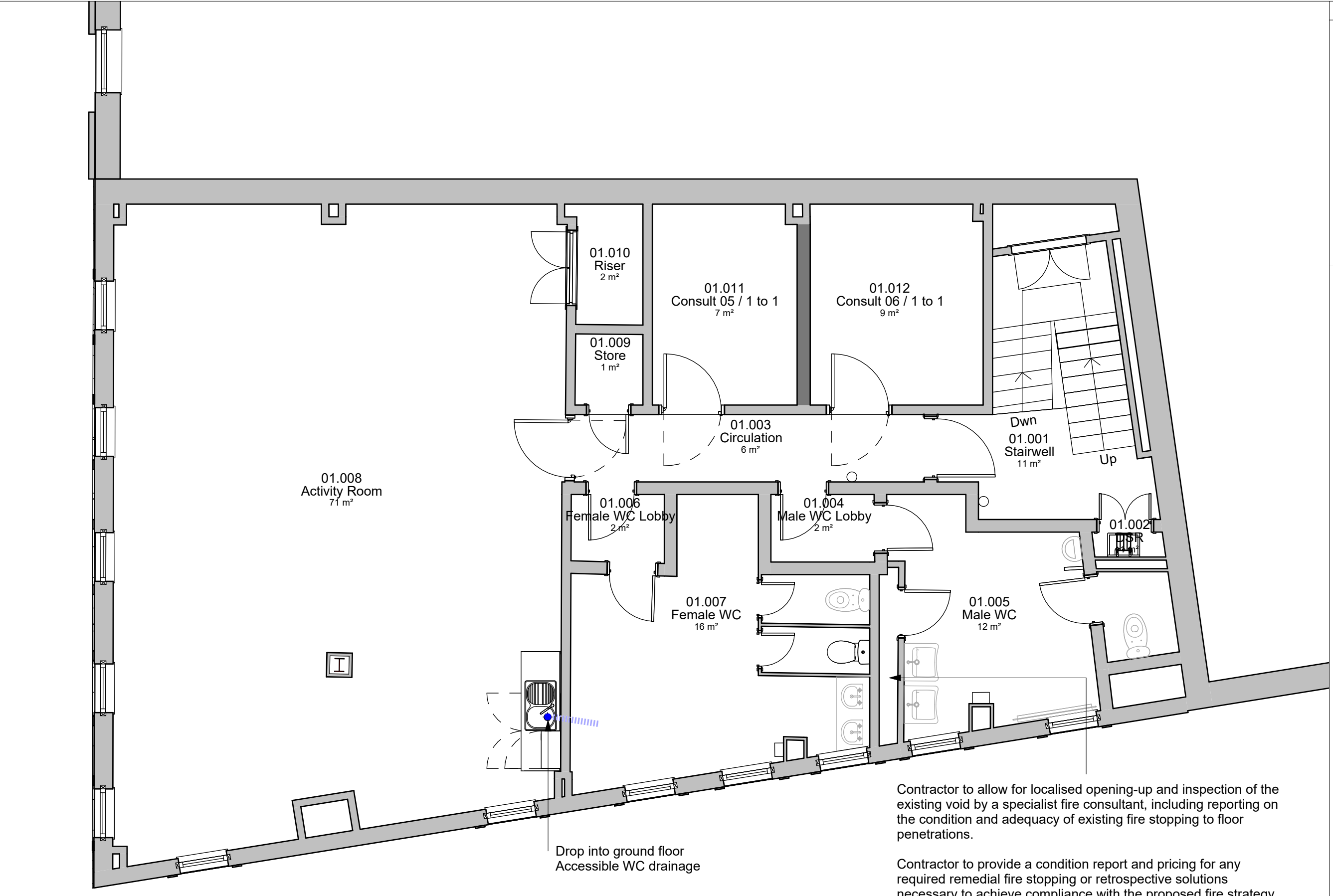
Contractor to allow for a full survey of existing fire compartmentation and fire stopping conditions throughout the works area.

The fire stopping condition survey shall be undertaken by a third-party accredited fire protection specialist certified under FIRAS, IFC Certification, or BM TRADA Q-Mark schemes. All survey work must be undertaken by competent personnel and in accordance with Approved Document B, HTM 05-01, and relevant British Standards. A full report, including photographic records, marked-up plans, and remedial recommendations, shall be provided.

The contractor shall carry out all necessary remedial fire stopping works to existing, retained, and removed services as identified within the fire stopping condition survey report, in full accordance with the approved fire strategy, Approved Document B, and HTM 05-01: Firecode – Fire Safety in the NHS.

All fire stopping works are to be designed, supplied, and installed by a certified FIRAS-accredited fire stopping specialist. Each installation must be clearly labelled, photographed, and recorded in a detailed schedule for inclusion in the project 's fire safety documentation.

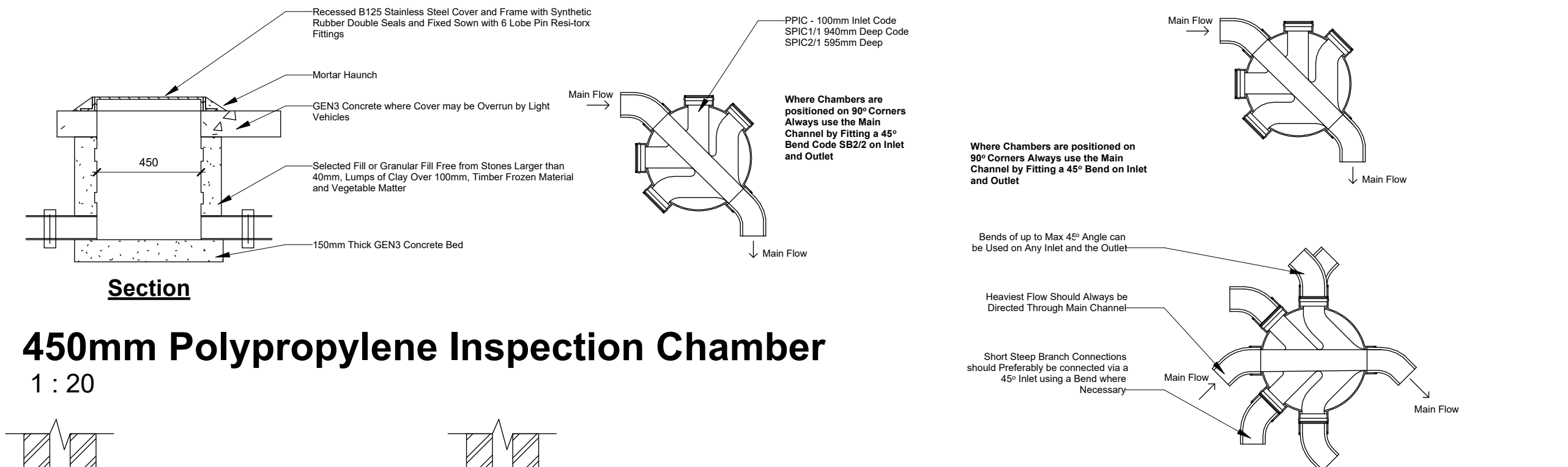
Where services include components requiring routine inspection and maintenance (e.g., fire dampers), access provisions must be incorporated to ensure full accessibility for ongoing compliance and regularised maintenance.



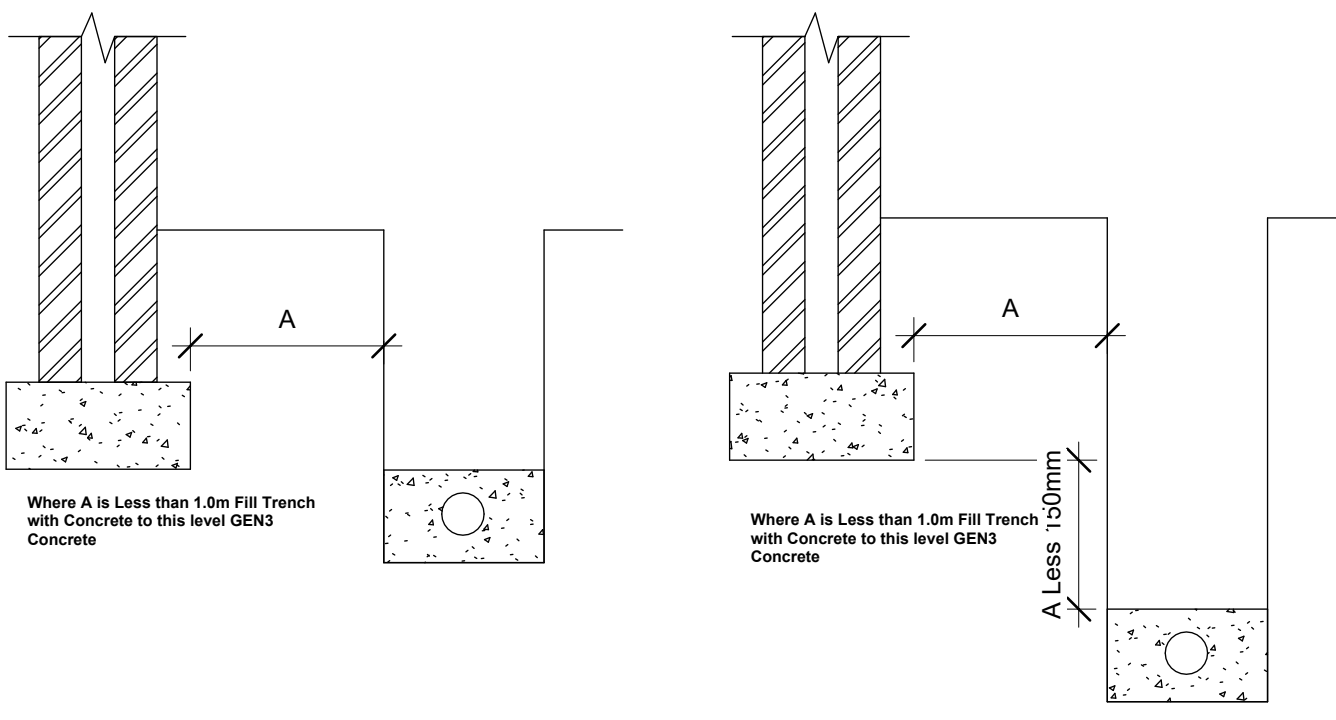
2 FF Drainage
1 : 60

Contractor to allow for localised opening-up and inspection of the existing void by a specialist fire consultant, including reporting on the condition and adequacy of existing fire stopping to floor penetrations.

Contractor to provide a condition report and pricing for any required remedial fire stopping or retrospective solutions necessary to achieve compliance with the proposed fire strategy for client review, approval and instruction.

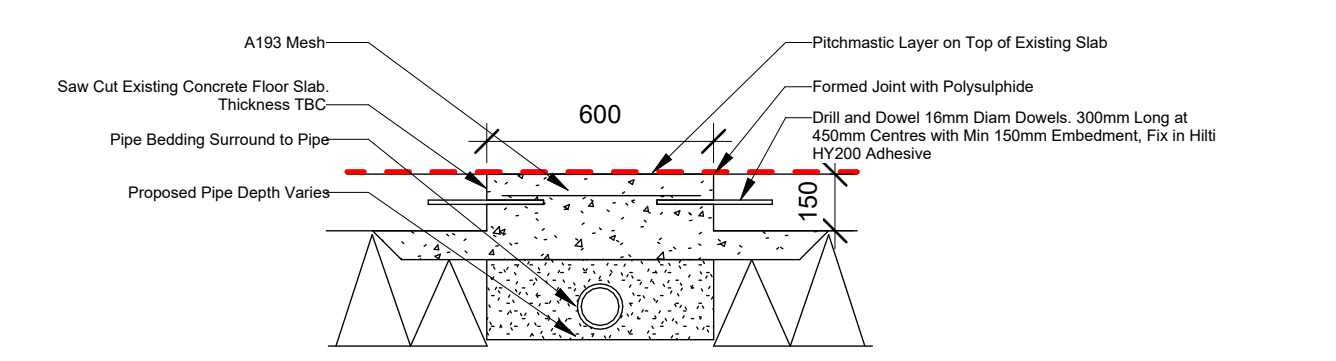


450mm Polypropylene Inspection Chamber
1 : 20

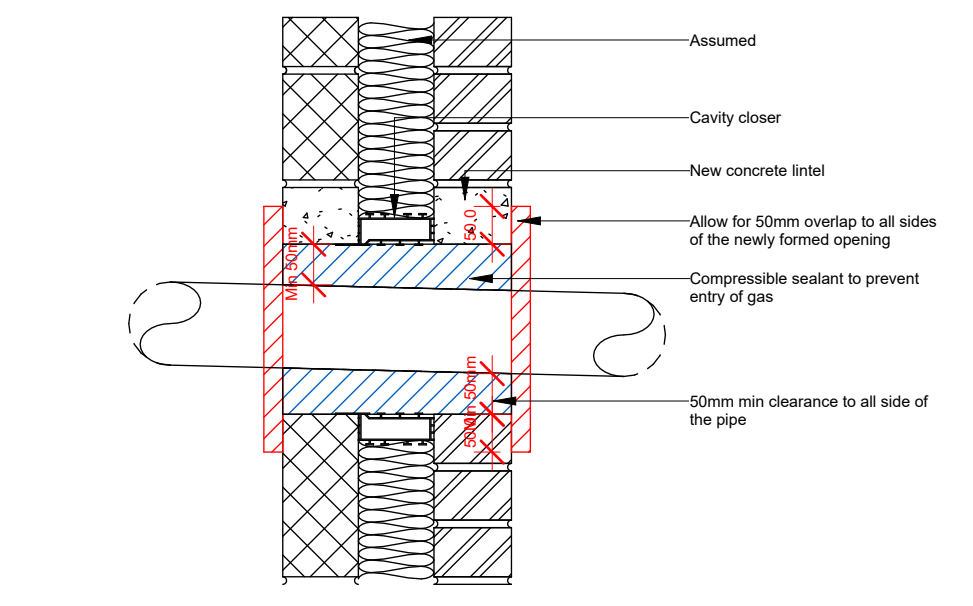


Up to 1.20m DEEP
475 Dia Polypropylene IC
1 : 20

Drainage Near Buildings
1 : 25



Construction Joint Slab Reinstatement Detail
1 : 20



Lintel over drainage
1 : 10

Revisions

A

27/05/2025

Tender Issue

B

02/06/2025

Planning Issue

Drainage Scope of Works

Existing Conditions:
Existing drainage routes and invert levels are currently unknown and subject to confirmation through site investigation and CCTV surveys.

Below Ground Drainage:
The contractor shall allow for the full design and installation of the below ground drainage system to serve the new soil stack and drainage connections for the proposed accessible WC, wash hand basin (WHB) to the treatment room, and beverage bay.

The scope shall include all works necessary to facilitate an external connection to the existing public sewer, which is assumed to be located within Roper Street, subject to verification via the United Utilities asset map (currently awaiting receipt of map).

The contractor is responsible for undertaking and managing the sewer connection application process, including payment of all associated fees. This includes full coordination and completion of all works required to form a compliant connection to the existing mains drainage infrastructure.

All necessary consents and permits shall be obtained, including permits for works within adopted roads and pavements. Drainage commissioning, testing, and certification shall be included within the scope.

Connection Details:
Generally, allow for a new soil pipe pop-up within the ground floor accessible WC, routed to the existing ground-borne drainage system.

Drainage falls shall be generally at 1:80 to the WC with assumed 110mm UPVC pipework or matching the existing drainage diameter.

Site Making Good:
Allow for making good of disturbed flooring areas, ensuring the installation of an appropriate damp proof membrane (DPM) to provide a fully watertight system and prevent rising damp.

Above Ground Drainage:
All alterations and additions to the above ground drainage system shall be carried out in accordance with the proposals by Wilson Gray.

PLANNING

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Drawing Scale

As indicated @ A1

Project Name

Whitehaven Hope Haven

Project Address

40, 41 King St, Cumbria CA28 7JN

Drawing Name

Proposed - Drainage

Drawing Number & Revision

9840-PHP-01-ZZ-DR-A-5401_B