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**VISUAL STRUCTURAL INSPECTION**

**OF**

**THE PARKHEAD PUB  
THORNHILL  
EGREMONT  
CUMBRIA**



**FOR**

**G&A M LAWSON Ltd**

**Reference - WDS/05/8722/REP01**

**Date - 30/05/2024**

**WDS/05/8722/REP01**

## **1.0 BRIEF**

- 1.1 WDS Limited were instructed by G & A M Lawson Ltd to carry out a visual structural inspection of The Parkhead Pub, Thornhill. The survey was limited to a non-disruptive visual structural inspection of the property where access allowed.
- 1.2 The property comprises a detached two storey former public house with first floor flat constructed from rendered random stone masonry walls which support a traditional rafter/purlin/truss roof structure and timber joisted floors. The ground floor comprises concrete ground bearing slabs. Off the rear of the property are two single storey extensions and a lean to extension of the right hand gable. The extensions are of more modern construction than the original property.
- 1.3 The inspection was carried out on the 15th May 2024. On the day of the inspection the weather was clear and dry.
- 1.5 It should be noted that there may be faults with the property which are masked or hidden by finishes that are not normally identified during a non-disruptive visual structural inspection. The property is well over 100 years old. The extensions have been added at later dates probably in the past 60 years
- 1.6 The building foundations were not exposed at the time of this inspection therefore no comment could be made as to their condition.
- 1.7 For the purpose of this inspection report all locations will be referenced as if looking at the front elevation, that is the elevation which faces the main road.

## **2.0 OBSERVATIONS**

- 2.1 The building appears to have been originally a terrace of 4 cottages which have been knocked through to form the single property apparent today. To achieve this many of the original ground floor walls have been removed and replaced by an array of beams and columns. The beams are mostly timber and are over spanned. The first floor structure deflects excessively when walked upon. See photograph 01 attached.
- 2.2 The front elevation of the property is out of plumb and there are numerous patched cracks apparent suggesting the building has suffered structural movement in the past. It is unlikely that movement is still occurring. See photograph 02 & 03 attached.

- 2.3 The roof structure is the original and deflects excessively due to the timber elements suffering creep. The roof has been leaking to the right hand extent of the building with the roof and floor structure below having been affected by rot, here the floor is unsafe.
- 2.4 The ground level to the rear of the property is raised by a full storey to form the pub carpark. A retaining wall has been erected which supports the rear carpark level. The retaining walls comprises two structures, an old original stone wall and a more modern block built retaining wall. In both instances the walls are out of plumb having suffered movement. The walls are not structurally adequate and have not been designed to any suitable standard. We cannot confirm the stability of the walls going forward and this is a significant safety hazard to contractors working on the property in the future. See photographs 04 & 05 attached.
- 2.5 Generally the property is in need of total modernisation. The finishes, insulation and services are in need of total replacement. The property needs damp proofed the roof covering need replaced with a suitable breathable membrane.

### **3.0 DISCUSSION/RECOMMENDATIONS**

- 3.1 We understand that is proposed to convert the property into office space. Considering the condition of the existing building we would expect this to require the entire ground and first floor structures to be replaced, the roof structure strengthened and the external walls retied where out of plumb. In addition the rear retaining walls will need strengthened or replaced. The existing walls foundation will be not adequate to support loading associated with office use and thus the walls will need locally underpinned depending on the revised first floor design. In our opinion the cost of these works will be prohibitive and it will be more cost effective to demolish the existing structure and replace the building with a purpose designed building.
- 3.2 Should the property be converted into a dwelling or number of attached dwellings then much of the works noted above will still be necessary. Only the wall strengthening will not be required. Again it is our opinion that it will be more cost effective to replace the existing building with a new building.
- 3.3 The retaining walls to the rear of the property are at risk of collapse and we are concerned that during any future works to the property vibrations could lead to localised collapse. This is a major safety issue as the collapse of the wall will impact on the rear elevation of the property which could lead to the building locally collapsing also. The wall needs made safe prior to any works are carried out on the property. Access to the rear of the wall should be prevented

and the carpark cordoned off to at least 3.0m from the rear of the retaining wall.

#### **4.0 CONCLUSION**

- 4.1 The property is in need of total modernisation with significant structural works needed as part of this. The ground and first floors need replaced, the roof structure strengthened and the roof finish replaced. The building services need totally replaced and the rear retaining walls require considerable strengthening works or replacement. In all it is our opinion that any modernisation and/or conversion works will be cost prohibitive and we strongly suggest demolition and rebuilding is considered as a more cost effective approach.
  
- 4.2 We recommend that access to the rear of the property within the extensions and in the rear yard are prohibited due to the condition of the retaining walls. In addition the rear carpark needs cordoned off to at least 3.0m from the rear of the retaining walls.

For and on behalf of WDS Limited

Tom Short BEng (Hons) CEng MICE



PHOTO 01 VIEW ON FLOOR SUPPORT BEAMS (TYPICAL)



PHOTO 02 VIEW ALONG THE FRONT ELEVATION



PHOTO 03 VIEW ON TYPICAL PATCHED CRACK

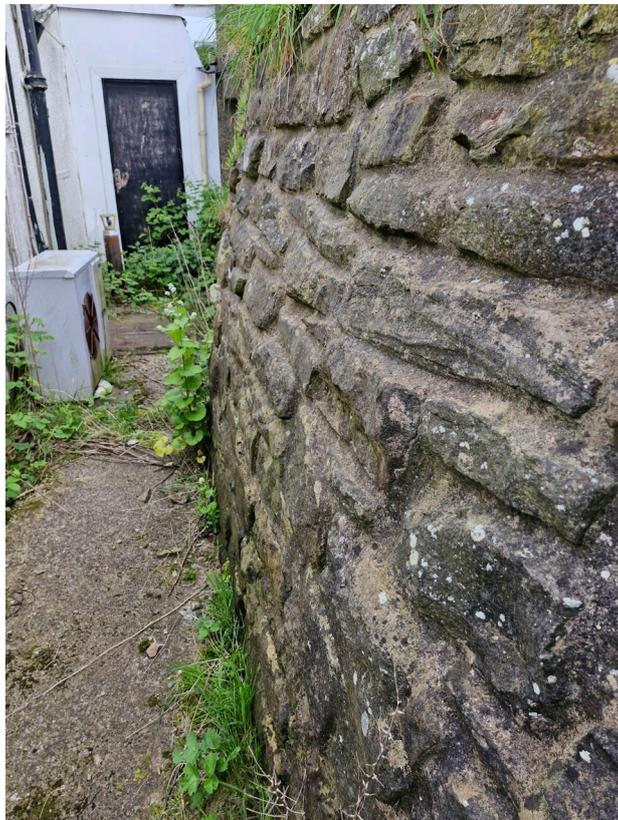


PHOTO 04 VIEW ON STONE RETAINING WALL



PHOTO 05 VIEW ON BLOCK MASONRY RETAINING WALL