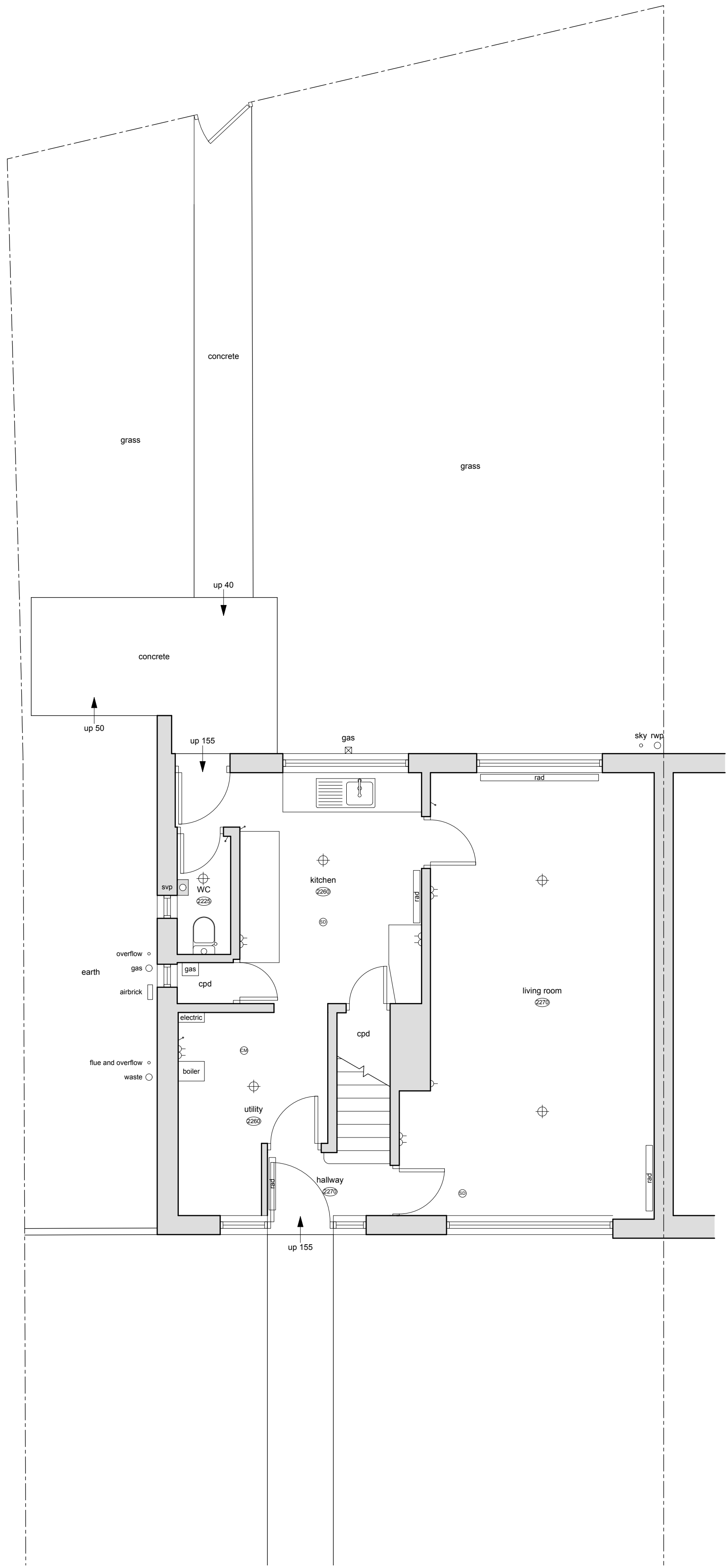
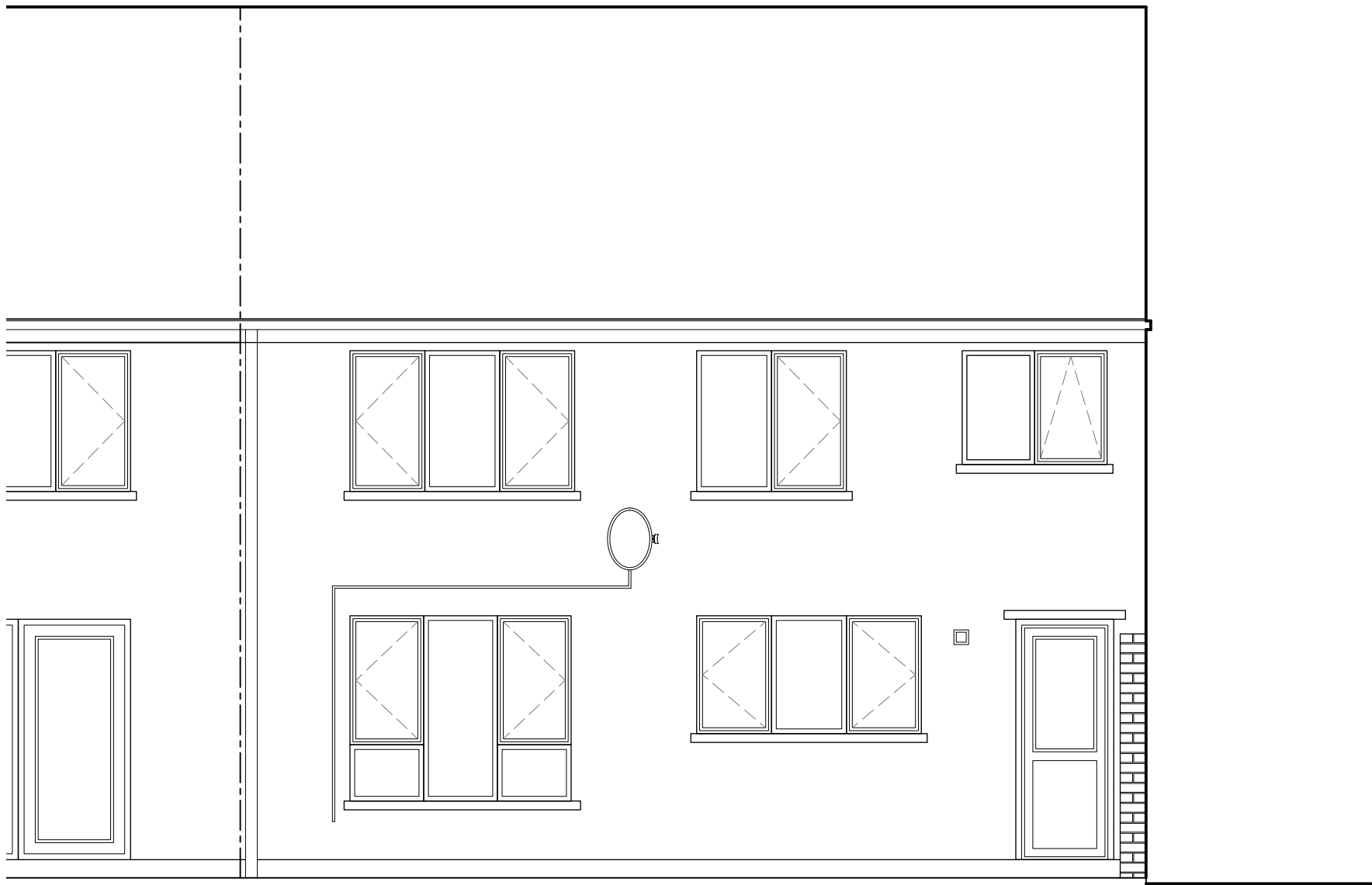


NOTE:
All dimensions to be checked on site.
All dimensions in millimetres unless stated otherwise.



As Existing Groundfloor Plan

1:50



As Existing Rear Elevation

1:50



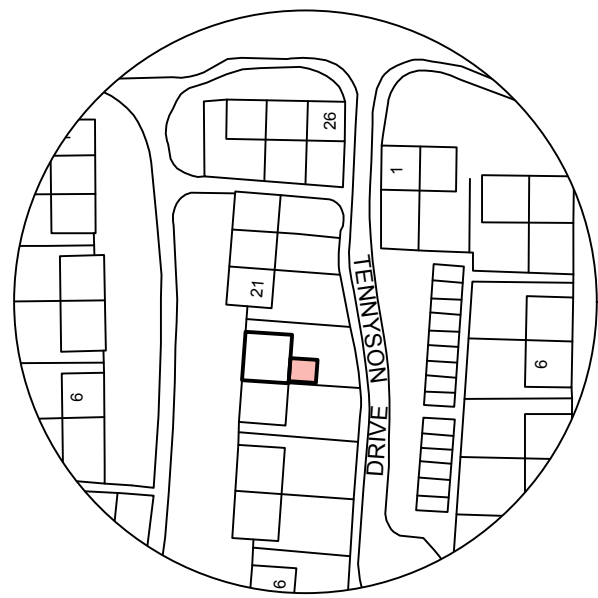
As Existing Side Elevation

1:50

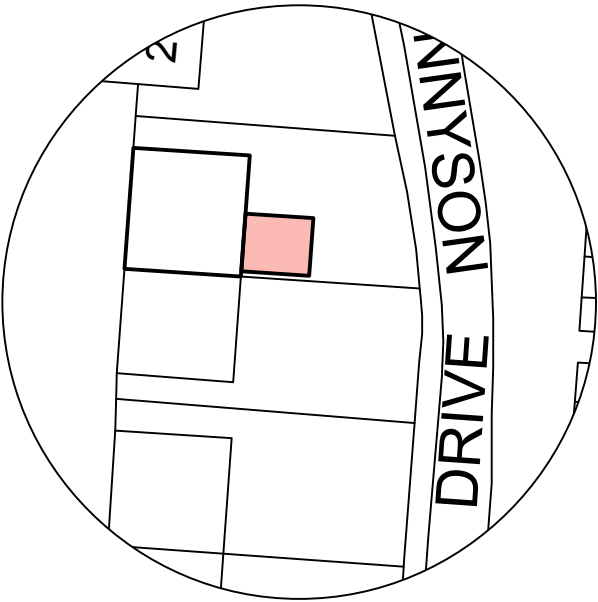
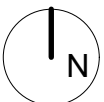


As Existing Photo of Property

NTS



Location Plan
Scale 1:1250



Block Plan
Scale 1:500

Summary Notes

Remove and cart away existing window in lounge to allow for provision of new door into proposed wetroom.

Remove and cart away existing rear door and block up existing rear entrance.

Remove WC wall, door and sanitaryware.

Create opening on side elevation for proposed door, creating a 860mm clear opening.

Create ramp to allow for easier access into proposed side door.

Proposed extension to the rear of the property, providing a 1200 x 1200 shower, changing table, standard toilet and wash-hand basin. Internal floor area of proposed wetroom 3500mm x 2800mm.

Make good of kitchen, allowing for provision of new countertop and base units.

PI	03/08/26	Planning Application	KFW
DI	01/07/26	Draft Issue	KFW
Rev:	Date:	Comments:	By:

Client:



DAY CUMMINS LIMITED

Architects & Surveyors
Lakeland Business Park
Cockermouth Cumbria CA13 0QT
Tel: 01900 820700
Fax: 01900 820701
email: dc@day-cummins.co.uk
www.day-cummins.co.uk

Project:
20 Tennyson Drive, Egremont, CA22 2HQ

Drawing Title:
As Existing Plan and Elevations

Drawn:	KFW	Checked:	MDL	Signed:	
Scale:	1:50, 1:500, 1:1250	Date:	03/08/26	Paper Size:	A1

ALL DIMENSIONS TO BE CHECKED ON SITE
FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS
THIS DRAWING IS COPYRIGHT
© CROWN COPYRIGHT. OS LICENCE: AC0000809454

Project No:	6170/14	Drawing No:	01	Rev:	PI
-------------	---------	-------------	----	------	----