

WORKS AS PROPOSED

(To be read in conjunction with record drawing of property as existing.)

FRONT PART OF PROPERTY

Front Elevation

Proposed works include no alterations to front elevation of building, an application for Advertisement Consent to submitted separately for any signage requirements.

The existing stepped access and a low sandstone wall re to be retained; handrail to be painted (colour TBC); steps to receive new tiled / painted finish and include contrasting nosings and non-slip bands to treads.

Floor

Existing carpeted finishes to be removed. Existing vinyl and tiled floor finishes to be retained with new vinyl applied over new loose laid underlay system. New floor finishes to extend to internal wall lining system only. Skirtings to be confirmed.

External Walls & Party Walls

Existing internal wall lining system to be retained and altered; existing chipboard linings to be replaced with new fire rated gypsum linings with tape and jointing finish. Lining system (framing and boarding) to be renewed to window reveal, including window head and jambs, which are at 90° to the walls, rather than following the splayed reveals. (The reveal linings appear to have been recently removed to allow replacement window installation).

No proposed works to masonry walls behind lining system generally; refer to 'Other' for details of plumbing and electrical installations.

Ceiling

Existing suspended ceiling (1200 x 600mm tile format, including integrated lighting, at 45° to the principal walls) to be retained and refurbished with repairs to suspended ceiling grid, replacement tiles and lighting.

Existing ceiling downstand(s) to receive new boarding (fire rated as required) and painted finish.

No proposed works to the first floor and likely original ceiling; existing 2no. layers of gypsum board (lapped) to be retained; refer to 'Other' for details of plumbing and electrical installations.

External Door(s)

Existing entrance door (recently installed) to be retained and receive finishing coats of paint (colour TBC).

Windows

Existing windows (recently installed) to be retained and receive finishing coats of paint (colour TBC).

Reveals to jambs and head to be reinstated (refer to 'External Walls') and new timber window boards with painted finish to be installed.

Internal Partitions

Positions of existing internal partitions to kitchen to be retained with alterations to: (i) remove existing opening and 'square-off' the wall; and (ii) form new more direct opening between Kitchen and Servery / Counter Area, as identified on drawing.

As with wall lining system, existing chipboard linings to be replaced with new fire rated gypsum linings with tape and jointing finish generally with PVC linings to Kitchen areas.

Internal Doors

Existing flush timber internal doors to be retained and repainted; replacement ironmongery to be provided as required.

Other

Services

The property is to receive new plumbing and electrical installations; services will be run in the voids associated with the wall lining system and suspended ceiling.

The existing mechanical extract fans will be retained and repaired or replaced in situ; no further penetrations will be made to the existing masonry walls.

The existing FW drainage system will be retained. A new connection to the existing SVP is to be made from the northern wall of the kitchen, as identified on the drawing. A new penetration through the wall to accommodate a 50mm waste pipe (anticipated) will be required.

Fittings

New Servery / Counter Area and Kitchen to have new kitchen units and worktops, fixing of any items to existing solid floor or existing wall lining system where required.

Anticipated that catering equipment within kitchen will be freestanding, however, any items requiring fixing to be fixed to existing solid floor or existing wall lining system where required.

Any internal signage (including menu boards, other) to be fixed to wall lining system.

REAR PART OF PROPERTY

Floor

Existing vinyl floor finishes to be removed as required. New vinyl floor finishes on new loose laid underlay system to be applied to suspended timber floors; coved skirting to lined walls / partitions.

Noted that there is an issue with the existing timber floor in the Staff Kitchenette adjacent to the rear access door; instigative works and associated repairs may be required to be undertaken.

External Walls & Party Walls

Redecoration of existing painted walls generally. Installation of PVC boards to store areas over existing tiled finishes.

Installation of PVC linings to WC and Store areas to be applied over existing tiled finishes.

Ceiling

Redecoration of existing painted plasterboard ceilings generally.

External Door

Existing flush timber rear access door to be retained and repainted; replacement ironmongery to be installed as required.

Windows

Existing high-level window within Corridor to be retained and redecorated as required.

Internal Partitions

Redecoration of existing painted walls generally. Installation of PVC linings to Store areas over existing tiled finishes.

Existing section of partition wall within Store associated with shelving to be removed together with shelves.

Internal Doors

Existing flush timber internal doors to be retained and repainted; replacement ironmongery to be provided as required.

Other

Services

The property is to receive new plumbing and electrical installations; services will be run in partition walls generally. Any new installations to ceiling or external / Party Walls not lined will be in surface mounted conduit; it is not intended to open up the first floor void and no chasing of services into external walls will be undertaken.

The existing mechanical extract fan will be retained and repaired or replaced in situ; no further penetrations will be made to the existing masonry walls.

The existing FW drainage system will be retained.

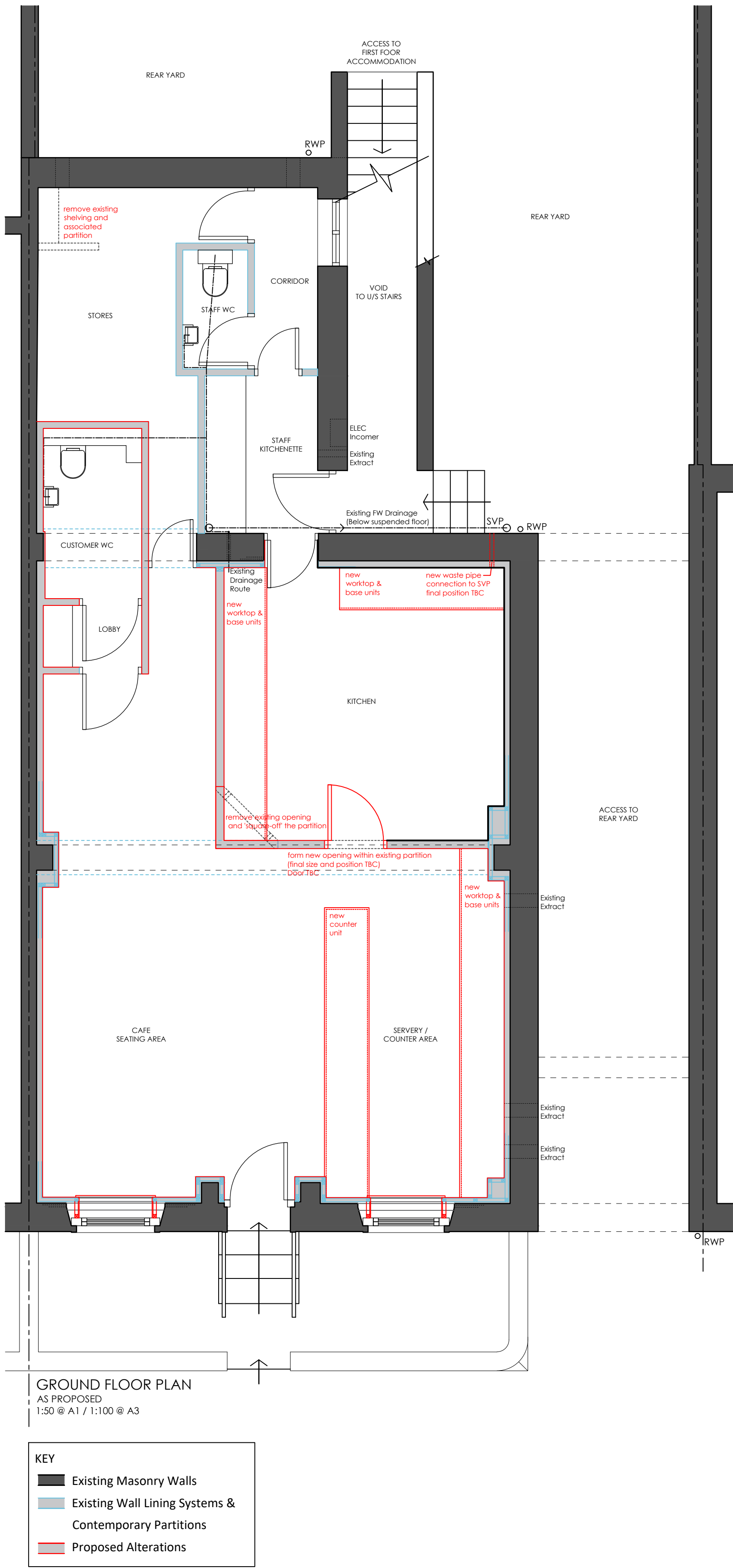
Fittings

Existing shelves within Store together with associated section of partition wall to be removed.

Existing fittings within Kitchenette to be retained, renewed as required.

Existing sanitaryware installations within WCs to be retained / renewed in same location; all plumbing to be reviewed and renewed as required.

Note: The above specification information is subject to further comment from Building Control, including any further fire separation requirements.



PRELIMINARY
PRELIMINARY ISSUE FOR REVIEW / CLIENT COMMENT

Revisions - 19 Jan 2021 Planning submission.

Client Mr. T. Cheung

Project Alterations & Change of Use
57 Main Street
Egremont
CA22 2DB

Drawing Ground Floor Plan & Front Elevation
As Proposed

Drawing No. 2129-03
Scale 1:50 @ A1
1:100 @ A1 Drawn GC Date Jan. 2021

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