

FABRIC RECORDING OF PROPERTY AS EXISTING

FRONT PART OF PROPERTY

The front part of the property is two-storey with pitched roof, located between the gables of 2no. adjoining properties. The elevation is four-bay with three-bays to the double fronted Ground Floor elevation door and window composition and a further bay providing access to the rear areas of the property and ground floor level with further accommodation over the lane at First Floor Level.

Described under the listing description (NGR ref. NY0105310735) as being late C18 / early C19, the property is noted as being included in listing for group value; the adjacent properties 54-56 Main Street and 58 Main Street are also both Grade II listed and are 3-storey and 2-storey (respectively) properties including more architectural features elaborate architectural detailing.

The walls to the front elevation are white dashed render with bell-cast hoods to doors and windows. The windows have sandstone sills and both doors and windows have with narrow render bands to jambs; all sills and jambs have a black painted finish.

The existing entrance door and windows to Ground and First Floor appear to be a recent installation of replacement timber glazed door with fanlight and sliding sash windows, all with astragals. These replace a previous contemporary installation of a timber door and sliding sash windows with plain glazing.

The front elevation onto Main Street includes a stepped access with contemporary metal handrail system beyond a low sandstone wall.

Floor

Various carpeted / vinyl floor finishes over further tiled floor finish on solid (assumed concrete) floor.

External Walls & Party Walls

Existing masonry walls (external walls & Party Walls) have been lined with an internal wall lining system that is not directly fixed to the historic fabric of the external walls.

Internal walling lining comprises: applied wallpaper finish on 12mm chipboard lining on 50x50mm s/w frame; the frame appears to be fixed at the base and head to the floor and ceiling respectively.

External walls are approx. 415mm thick (varying) comprising approx. 55mm lime plaster in 2no. district layers applied directly to sandstone walling; sandstone walling is a red sandstone with lime mortar but various cementitious mortar repairs.

Ceiling

The existing ceiling below the first floor has been boarded over and a secondary suspended ceiling has been installed approx. 125mm below, tying in the window and fanlight heads.

The first floor construction and possible original ceiling is not visible, it may be original, however, it may have been replaced. 2no. layers of gypsum board (lapped) have been fixed directly to the underside of the first floor and possible original ceiling, presumably to provide fire separation to the first floor residential accommodation.

The suspended ceiling is a 1200 x 600mm tile format, including integrated lighting, at 45° to the principal walls; it is suspended from the first floor structure above.

Within the ceiling is a downstand, which appears to be on the line of a previous load bearing internal wall supporting the first floor. The downstand has been framed out and clad in boarding; the structural elements are likely to be steel (fire protected) bearing onto the 2no. remaining wall nibs, which are framed out with the internal wall lining system.

External Door(s)

The existing entrance door appears to be a recent installation of replacement timber glazed door within a timber frame with fanlight; the door has 2no. solid panels to the lower part, mid rail with letterbox and a glazed upper panel split with astragals into 6no. panes. Glazing to both the door and fanlight has a low E non-reflective coating. The door and frame have been primed internally but not received finishing coats of paint.

Windows

Existing windows appear to be a recent installation of replacement sliding sash timber windows; split by astragals into 6no. panes to the upper and lower sashes. The glazing has a low E non-reflective coating. The windows have been primed internally but not received finishing coats of paint.

The window void between splayed reveals appear to have extended to floor level originally, however, contemporary blockwork linings to sill height have been installed, with the inner face finishing flush with finish of lime plaster.

Window to LH side of front elevation retains an apparently original timber lintel, however, the window to the RH side has PCC concrete linteling.

Internal Partitions

Internal partitions appear to be all contemporary installations in treated s/w framing with various linings, including applied wallpaper finish on 12mm chipboard and PVC linings on boarding to the Kitchen areas.

Internal Doors

Internal doors within all spaces are flush timber doors with painted finish; all internal doors are contemporary installations within painted timber framing and are generally within contemporary timber stud partitions.

Other

There are 3no. extract fans (with associated penetrations through the external walls) within the former Servery / Counter Area; all are on the northern wall leading onto the covered access from Main Street to the rear yard area.

REAR PART OF PROPERTY

The rear part of the building is a single storey flat roofed extension, including stepped access and terrace area to the first floor residential accommodation above; the extension appears to have been constructed, or at least altered and re-rendered, in the late C20th or early C21st. It has only limited door and window openings at Ground Floor Level.

Note: The existing Customer WC straddles the front and rear parts of the building; a downstand within the ceiling to the WC identifies the line between the front and rear parts of the building.

Floor

Various vinyl and tiled floor finishes over suspended timber floors.

The existing FW drainage appears to run below the floor within the Staff Kitchenette, connecting into the SVP below ground level.

External Walls & Party Walls

Masonry walls with plastered and painted finish generally, some tiled finishes to Store and WCs.

The internal walling lining applied to the front part of the building extends only into the Customer WC, along the Party Wall.

Ceiling

Painted plasterboard ceilings to underside of roof (first floor terrace) construction.

External Door

Rear access door is a flush timber door with painted finish and fire escape ironmongery.

Windows

Single high-level window within Corridor is a pair of timber bottom-hung inward opening windows within timber frame; painted metal bars fixed within opening to external elevation.

Internal Partitions

Internal partitions are treated s/w framing with various linings, including painted plaster and some tiled finishes to Store and WCs.

Internal Doors

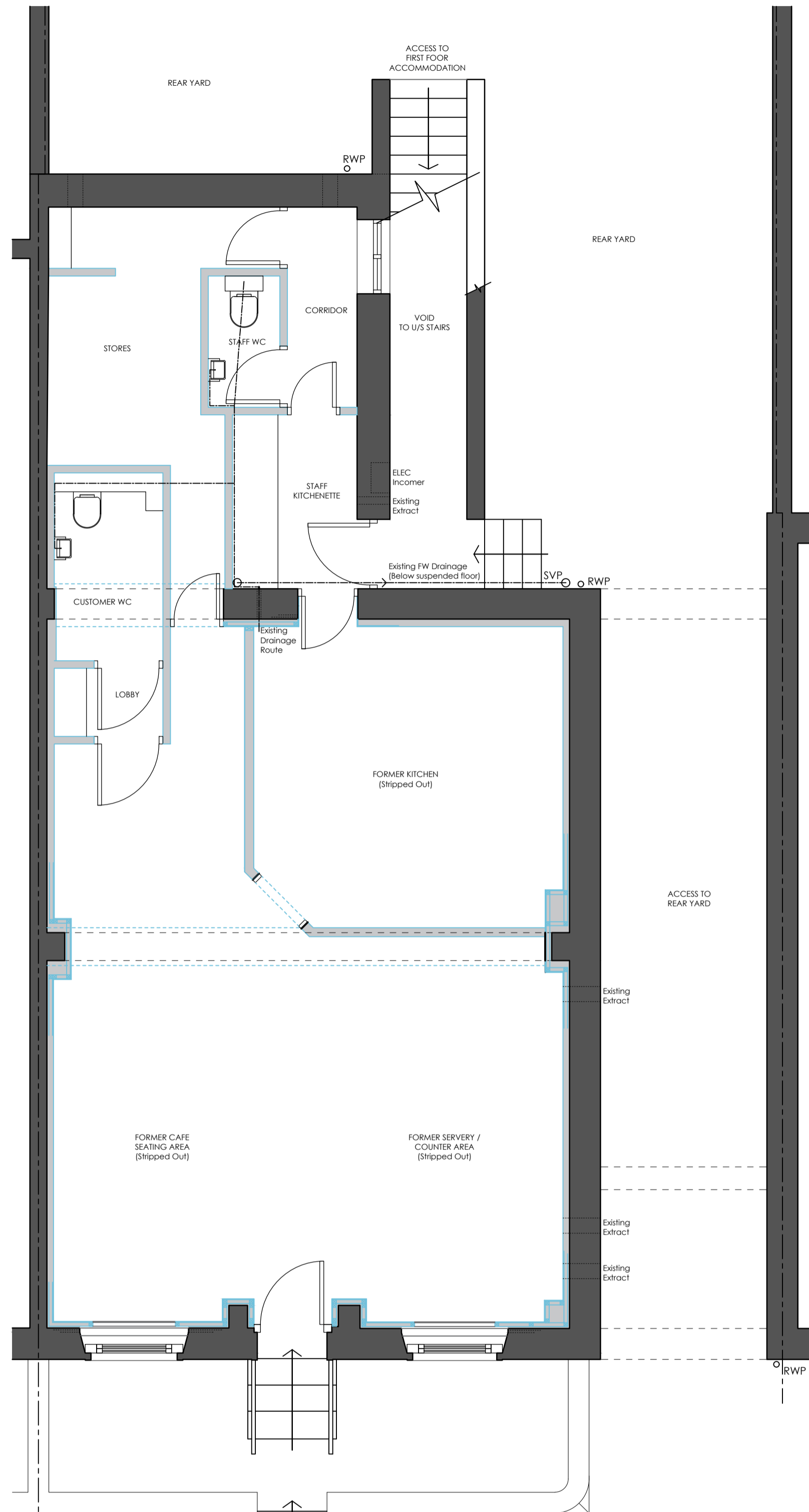
Internal doors within all spaces are flush timber doors with painted finish; all internal doors are contemporary installations within painted timber framing and are typically within contemporary timber stud partitions.

Other

There is 1no. extract fan (with associated penetration through the external walls) within the Kitchenette; the penetration is through the northern wall leading into the void below the stair access to the first floor residential accommodation.

The existing FW drainage includes a connection (accommodating a 50mm dia. waste pipe) from the Kitchen through the masonry wall between the front and rear parts of the building.

Note: First floor areas are not included in proposed works; these areas were not accessed during survey and internal building fabric was not recorded.



GROUND FLOOR PLAN
AS EXISTING
1:50 @ A1 / 1:100 @ A3

	Existing Masonry Walls
	Existing Wall Lining Systems & Contemporary Partitions



FRONT ELEVATION
AS EXISTING
1:50 @ A1 / 1:100 @ A3

Revisions - 19 Jan 2021 Planning submission.

Client Mr. T. Cheung

Project Alterations & Change of Use
57 Main Street
Egremont
CA22 2DB

Drawing Ground Floor Plan & Front Elevation

As Existing

Drawing No. 2129-02

Scale 1:50 @ A1 / 1:100 @ A3 Drawn GC Date Jan. 2021

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