

New Balcony and Dormer

TA/2020/1135 - 36 THE FRONT, HAVERIGG, MILLOM

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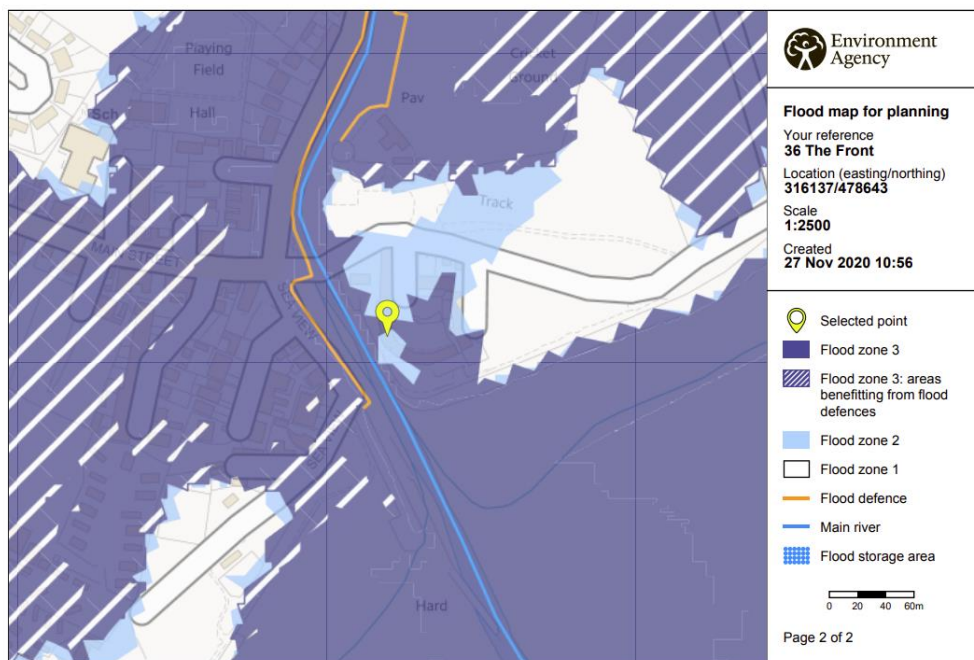
### Location and Proposed Development

The site is set back from the east side of Haverigg Pool and is part of a crescent development of properties as shown in Map 1 below. The current application is for a balcony and internal alterations at first floor level creating a larger dormer to the roof on the rear (west) elevation of the property. An area of decking at ground floor level will be provided with glazed weather break screens.

### Flood Risk Assessment

The property lies in Flood zone 2, surrounded by an area of Flood zone 3. The proposed development of balcony and dormer at first floor level is not relevant for flood risk. The decking area will be set to match existing finished floor level at the ground floor, hence there is no change to the flood resilience of the property. The weather break panels to be added to the timber decking will lead to a trivial increase in water displacement risk. We conclude that there is no increase in flood risk from the proposed development and no flood mitigation measures required. A Householder & Minor Extensions in Flood Zones 2 and 3 Form will be provided with the application.

Map 1: Flood map for 36 The Front, Haverigg



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