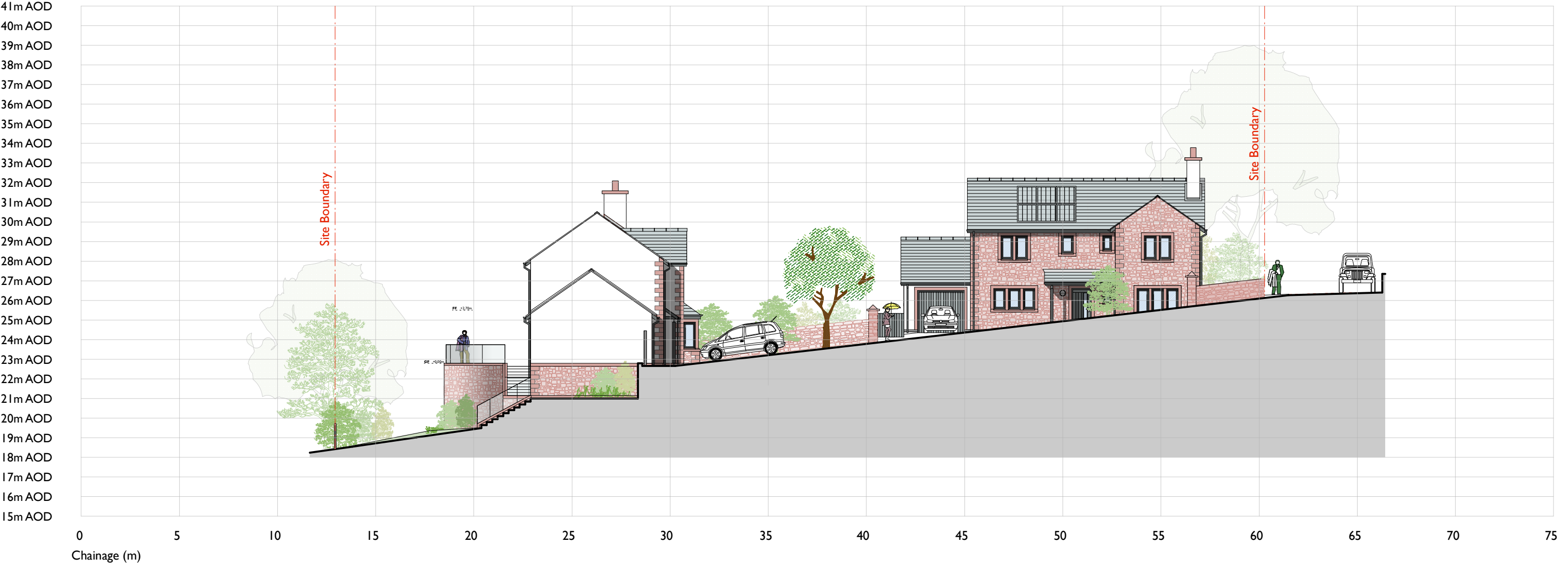


Proposed Site Plan  
1:200

PLOT NO 3  
TYPE C HOUSE  
GFL +22.800

PLOT NO 1  
TYPE A HOUSE  
GFL +24.500

HIGH HOUSE  
ROAD



Proposed Section Through the Site at X:X  
1:200

Key to House Types & Other Features

- Type A House**  
4 Bedroom Detached House with Garage  
136m<sup>2</sup> Internal Area - Does not Include Area of Garage
- Type B House**  
4 Bedroom Detached House with Garage  
138m<sup>2</sup> Internal Area - Does not Include Area of Garage
- Type C House**  
4 Bedroom Detached House with Garage  
136m<sup>2</sup> Internal Area - Does not Include Area of Garage
- New masonry feature or retaining wall
- New timber fencing
- Existing trees (See Lowther Forestry Report)
- New trees
- New planting
- New shared access
- Areas that might be used for a soakaway if ground verified suitable by percolation test approx total area - 42m<sup>2</sup>

Drainage Key

- Existing surface water drain that discharges into a trench to the north, on land owned by others
- Existing combined sewer on High House Road

**SURFACE WATER DRAINAGE**  
It is proposed that surface water drainage from the proposed development will follow the hierarchy set out in Approved Document H3 and link to a soakaway system if possible, with soakaways at least 5m from any building or road and 2.5m from the site boundary. If soakaways are not feasible, surface water drainage will be attenuated on site, before being discharged or pumped into the combined sewer. The attenuation will limit the discharge rate from the site to no more than it's current rate, plus the required allowance for climate change. The drainage design will comply with current building regulations and United Utilities standards.

**FOUL WATER DRAINAGE**  
Foul water drainage from the proposed development will connect into the existing combined sewer on High House Road, either by gravity or via a pumped system, or a combination of the two.  
  
If it is not possible to establish a connection into the main sewer, each house will have it's own package treatment plant, connected into the surface water system.

**EXISTING TREES**  
For treatment of existing trees, see the Arboricultural Assessment Report prepared by Lowther Forestry.

K	08-03-23	Further amendments to the houses following comments from the Planning Department.	MP
J	16-02-23	Further minor amendments in line with Lowther Forestry tree report. Visibility splay dimensions added.	MP
H	03-02-23	Plan amended in line with Lowther Forestry tree report. External steps amended to avoid tree T2. Possible soakaway areas added. Notes on drainage amended.	MP
G	27-10-22	Site boundary line corrected.	MP
F	04-07-22	Notes amended in line with email from client on 24-06-22.	MP
E	24-06-22	Drainage information added following discussions with client.	MP
D	30-05-22	House types and layout amended following discussions with the client.	MP
C	15-02-22	Drawing expanded to include site section and further detail added.	MP
B	26-04-21	Boundary between Plot 2 & 3 amended as discussed with client.	MP
A	26-04-21	Drawing amended in line with email from client on 21-04-21.	MP
Rev:	Date:	Comments:	By:

Mr I. Wrigley



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Project:			Proposed Housing Development at The Knoll, High House Road, St Bees		
Drawing Title:			Proposed Site Plan & Section		
Drawn:	MRP	Checked:	MRP	Signed:	
Scale:	1:200	Date:	20/04/21	Paper Size:	A2
ALL DIMENSIONS TO BE CHECKED ON SITE FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS THIS DRAWING IS COPYRIGHT					
Project No:	5568	Drawing No:	02	Rev:	K