

Design and Access Statement

Ms A. Taylor

**Proposed Detached House, on site of Former Dwelling,
Vale View, Egremont**

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Use :

The planning application submitted seeks full planning, for the construction of a single detached house, within the site of the former dwelling No. 3, Mill House, Vale View, Egremont.

The Site :

The application site is approximately 0.04ha area of made up of consolidated ground.

Historically the location of No. 3, Mill House, Vale View, the site included a four-storey end of terrace house, containing 4 flats, with domestic garden, vehicle access and garage.

In August 2012, following a period of extreme and sustained heavy rainfall and with the adjacent river weir damaged, the rear elevation of No. 3, Mill House, Vale View, collapsed into the river Ehen. Soon after the collapse, Copeland Building Control handled a controlled demolition of the remaining above ground structure but it is understood that foundations and drainage remain on site where they serve the original dwelling.

In 2013 the Environment Agency undertook works to repair to the weir, fill a former mill race and construct a defense wall; from the end of the neighbouring terraced house, along the full length of the site's riverbank boundary, the length of the adjacent site and under/beyond the South Street Road bridge.

With the site now benefiting from flood defenses and substantial improvements having been made by the environment Agency, the applicant wishes to re-provide their family home on the land that it previously occupied and still remains within their ownership.



Image 1: Google image of Site April 2011 showing garden wall and property subsequently demolished



Image 2 left: Site April 2021, cleared site with flood defence wall to river/rear boundary. Image 3 right: area where former building was located.

The housing immediately adjacent to the site is made up of a three-storey end of terrace property to the east, a terrace of two-storey dwellings opposite and a single-storey property, set back from the pavement behind a garden hedge, to the west. (Reference images 4 & 5)



Image 4 left: Elevation of properties opposite and Image 5 right: Property adjacent, behind garden hedge.

Further along the road more modern properties, set behind garden walls, are positioned opposite traditional terraced housing. The detailing of the modern housing reflects the time in which it was constructed and despite this difference in appearance and proportions, its positioning reinforces the sense of the terraced street. (Reference image 6)



Image 6 lft: Modern properties opposite traditional properties.

Following an external review of the surrounding area, a varied mix of two, two and a half and three storey properties can be seen. The grouping of properties is also varied with the continual terrace on the riverbank side of vale view being the longest, with shorter runs of terraced properties making up the rest of the surrounding streetscape. (Reference image 7)



Image 7: Context image indicating the proportions of surrounding dwellings.

Site Layout :

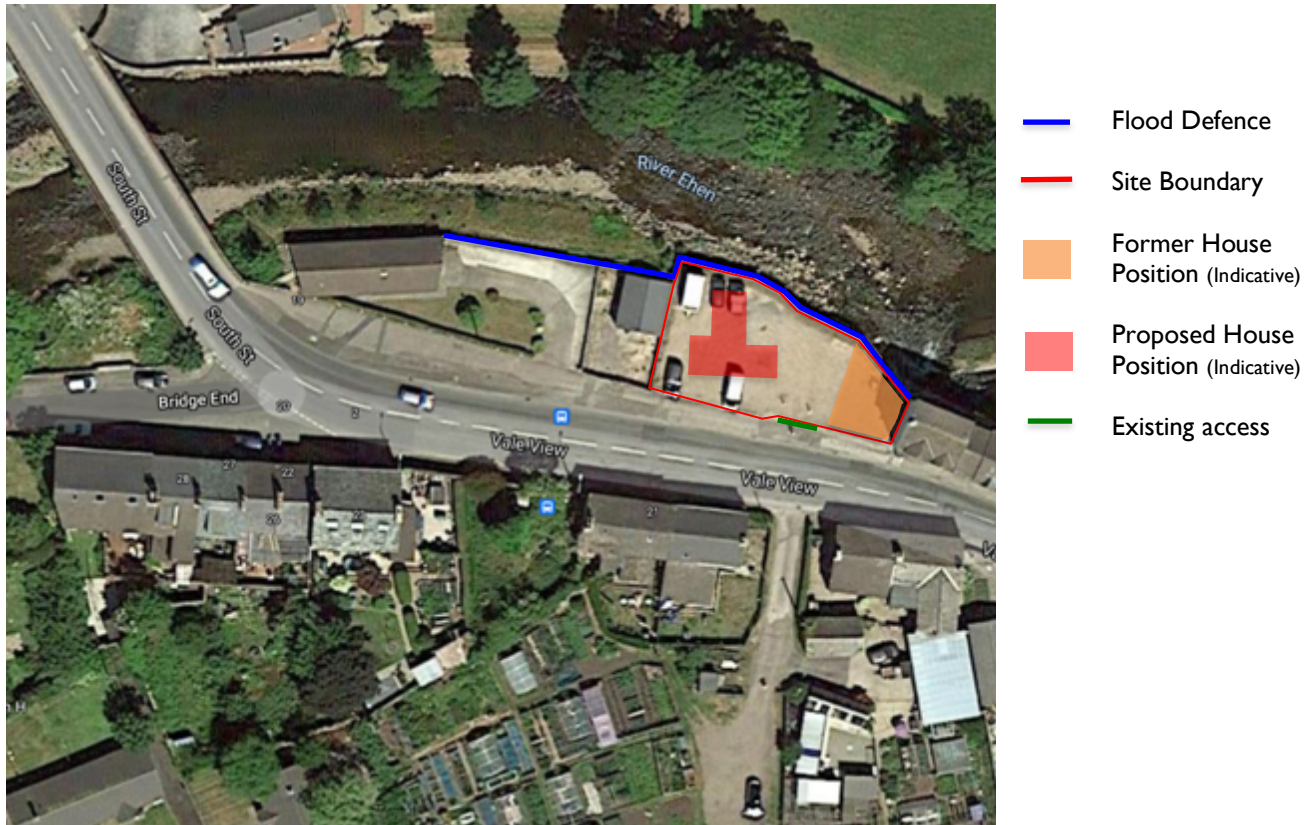


Image 8: Google image of Site Annotated.

The positioning of the proposed dwelling on the site was a direct result of discussions with the Environment Agency to;

- Maintain a gap, between the new structure and the river wall, to ensure structural independence, as well as allowing enough room for inspections and maintenance when required.
- Provide sufficient space for machine access so, that the rip rap at the toe of the wall adjacent to the weir can be replenished in the future.

It is proposed that the dwelling be located towards the western side of the site, enabling the existing vehicle access to be retained. Proposed parking would be towards the east of the site, where the former dwelling was located and pedestrian access would be from the pavement, via a path to the front door.

The line of the higher garden wall and front elevation reinforce the line of the demolished dwelling and the terrace from which it extends.

Dwelling Layout :

The design of the three-storey dwelling has evolved with bedroom and living accommodation above the predicted flood levels (as detailed in the FRA) and garage, wc, utility and store at entrance level. (Reference images 9 & 10)



Image 9: Site plan including Ground Floor Layout.

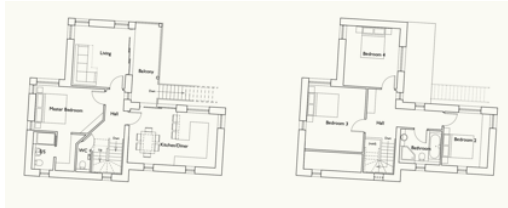


Image 10: First and second Floor Layout.

Scale and Volume:

The planning application sees the proposal of a single, detached, three-storey dwelling, the height and proportions of the proposed dwelling will not be higher than that of the three-story end of terrace to the east. Although taller than the single storey premises to the west, and the two storey properties opposite the inclusion of the three storey design sits well with the variety of dwellings sizes in the surrounding context.

Appearance :

The appearance and choice of materials have been proposed to complement the vernacular architecture of the surrounding area. The design references details of the traditional neighbouring buildings while, taking cues from the modern dwellings on the street to reflect current lifestyle, resulting in a contemporary aesthetic, which respects its context without being a pastiche design.

The roadside elevation is traditional in its styling, render and stone with banding details reflect the variation of materials in the surrounding buildings. In addition the central stone section prevents the elevation from being too simple and highlights the front entrance. If possible, stone from the demolished house will be reused as a further link to the sites past. (Reference image 11)



Image 11: Proposed front elevation.

To the rear, the design reflects the riverside elevations of neighbouring properties to the East, with timber style cladding, glazing and balconies offering views over the river. (Reference images 12 & 13)



Image 12 lft: Proposed rear, riverside elevation and Image 13 rgt: Rear riverside elevations of adjacent premises.

Landscaping :

The site is currently made-up ground with compacted hard-core surface finish, boulders to the southern boundary and a gated entrance. To the rear/river boundary is a flood defence wall. To the east the end gable of the terraced housing and to the west a timber fence with timber shed adjacent.

The proposed scheme sees the introduction of parking/turning head, patio area and paths all of which would be finished in permeable materials. The remaining site will be lawn/planting associated with a domestic garden.

To the front boundary a rendered wall is proposed, its height to match that of the flood defence wall, generally 1200mm high with gated access to the parking / front garden. The wall increases to 1800mm (towards the east) reinforcing the line of the former terraced dwelling previously demolished.

Access :

The existing vehicle access point is retained with gated access and a pedestrian gate, and level access to the front door. The site would allow suitable provision for parking, adequate to serve the size of property proposed. A space to turn would also allow access from the site, to the highway, in a forward direction. As previously noted this also allows for maintenance/repair access to the flood defences/adjacent weir if necessary. Visibility splays of 45m can be achieved in both directions on the 30 mile an hour road

Drainage & Surface water management:

The former dwelling and majority of existing adjacent dwellings have rainwater pipes that discharge across the pavement, into the road. To the riverside elevation the rainwater pipes discharge directly into the river. Surface water for the proposed dwelling will discharge into the river and foul will connect into the existing mains sewer. Non-return chambers will be included into the foul drainage design to prevent backflow into the proposed dwelling.

The finish of all 'hard-standing' will be permeable and the remainder of the site laid to lawn/planted, to minimise levels of surface water run-off.