

Historic England's listing refers collectively to properties 1-16, Church Street, with reference to No. 6 relating to the former shop window:

"11 Terrace of varied houses of mainly 1730/50, all 3 storeys but differing in height, mostly scored stucco. No 1 has 2 small shop windows, panelled door and fanlight, 3 12-paned sashes each upper floor. Nos 2 and 3 are 1 design, with pilasters with plain leaf capitals, 7 sashes on 1st floor, and doorways with plain frieze and cornice. Nos 4, 5 and 6 have small C19 shop windows, segmental arched coach entrance, and 8 12-paned sash window on 1st floor. No 7 has centre pilastered doorcase with cornice up 4 steps, 4 12-paned sash windows on 1st floor, and pilastered ends. No 8 is narrower, with only 2 sash windows on 1st floor. Nos 9-13 have moulded doorways and panelled doors up 3 steps. No 9 has a rusticated basement. No 14 is of 4 bays, with glazing bar sashes within painted surrounds. Off-centre doorway approached by flight of 5 steps. No 14 was formerly subdivided, but the smaller part, No 14a, was re-incorporated in 1998."

<https://historicengland.org.uk/listing/the-list/list-entry/1086809>

In 1985 planning permission was granted for use of the ground floor as an office and in 2003 planning approval was granted to convert the property into three flats however, these latter works weren't undertaken so, the property is still considered to be a commercial/community use class.

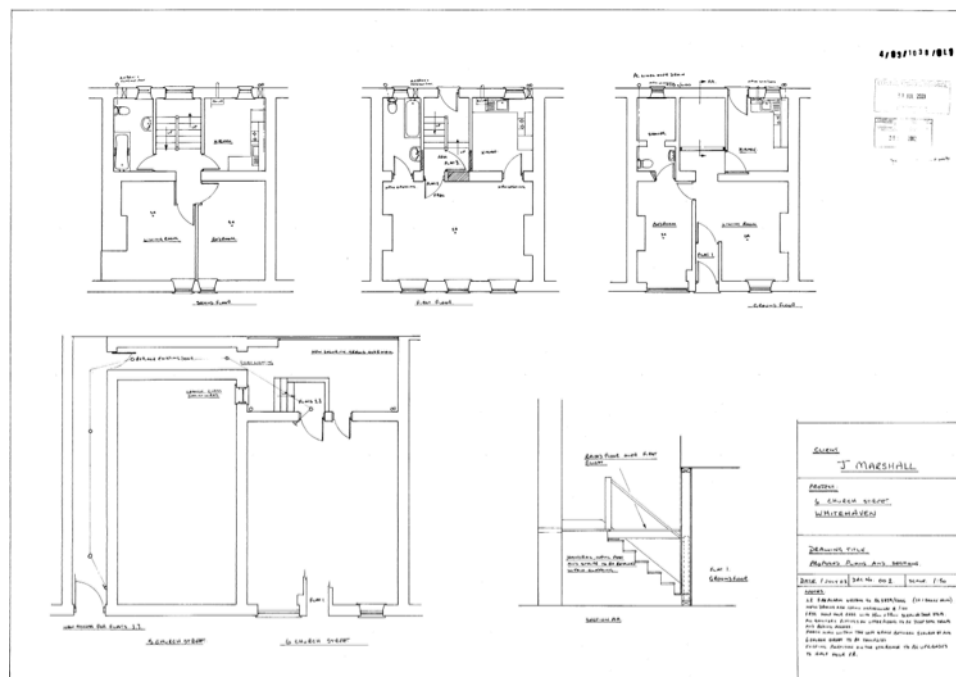


Figure 2: 2003 Planning approved proposal to convert into three flats.

Condition:

It is apparent that some works have been undertaken to the property in the last 40 years including;

- Large format boarding to approx. three quarters of the upper floors with, older floor boards only remaining to; the landings, FF kitchen and part of the SF front rooms.
- Kitchens and bathroom installations.
- A stone flag floor has been retained within the vault room however, there is a concrete floor finish throughout the remaining GF and a change in level, up into the kitchen.
- The roof has been re-felted with loose rafters replaced and loft insulation added.
- Insulated dry-lining has been added to the SF, rear walls
- Insulated dry-lining has been added to the stairwell walls and it is assumed that this has been fixed directly over the lath and plaster wall finish.
- Fire escape doors and rear stairs have been added and all exterior doors are relatively modern.
- A number of timber lintels have been replaced with PSC lintels.

Features:

Over time the majority of historic features have been lost however, the following remain internally;

- Vault room with strong door, safe, stone flag floor and vaulted ceiling. (Ref. Figure 3)
- Window panelling/surrounds to all front room windows. Although a number have been removed, those that have appear to be onsite for re-fixing.
- Alcove feature with plaster detail and narrow plaster coving detail to the ceiling edge within the front office. (Reference Figure 4)
- Original trusses within the roof void (Reference Figure 5)
- A few two panel interior doors.



Figure 3: Strong door into Vault room.



Figure 4: Recess detail and timber paneling.



Figure 5: Part of existing truss with new rafters and felt over.

Application:

The planning applications submitted seeks Change of Use and Listed Building Consent for the alteration of 6 Church street, to form a four bedroom dwelling with open plan living accommodation.

Some of the previously completed works to windows, roof and internal walls are to be retained with further structural alterations undertaken, providing the proposed layout.

The solid balustrade detail of the existing rear steps is to be removed and replaced with a timber balustrade with additional side steps, to a raised timber deck.

Use :

Although thought to have been unoccupied over 15 years, the former use was understood to be a commercial/community use. A previous planning approval, to convert the premises into three flats, wasn't ever implemented therefore; this application seeks to change the property to a domestic use.

The Site:

The site area, including the existing property is 0.001 ha.

Property number 6 is located to the top end of Church Street, towards Roper Street. While the North West side of the street is lined by various Georgian properties, the South East side is bound by the side elevation of modern shopping premises (Reference Figures 6&7). The flat roof of which is visible from the top story of No. 6.



Figure 6&7: View down Church Street with Modern Shopping Premises opposite Georgian Terrace.

The main front elevation (Reference Figure 8), to the South-East of the site, is terraced between Nos. 5 and 7 Church Street. A gated lane, adjacent to and running under part of No. 5, provides access to the rear yard.



Figure 8: Front Elevation.



Figure 9: Rear Elevation looking towards outrigger of No.7.



Figure 10: Rear Elevation looking towards outrigger of No. 5.

The rear elevation faces North-West, with an enclosed walled yard behind. A twentieth century, sheltered accommodation development, is located behind, in Dickinson Court. The stone yard wall has a trellis on top; its overall height obscures the ground floor of the rear elevation from view. The outriggers from neighbouring properties Nos. 5 and 7 completely edge the sides of the yard (Reference Figures 9 & 10). As noted above, the outrigger to No. 5 over-sales the lane access, its windows also overlook the yard.

Layout:

The ground floor will see the most change, with the internal walls removed (in part) to create a more open plan layout, as has been seen in neighbouring properties.

Rear bedrooms on the upper floors will be altered to provide additional Ensuite/storage facilities and the large, first floor, front room will be divided on the central line, between two existing door-sets/windows, to form two bedrooms. (Ref. Figure 11&12).

Vertical circulation will remain via the existing internal stair.



Figure 11: Double door access in to FF front rm.



Figure 12: FF front room to be divided between windows.

Scale and Volume and Appearance:

The scale and volume of the building remains unaltered.

Externally, the front elevation will generally remain the same with;

- Redecoration and minor repairs where required.
- A false render surround, previously included to the front large window, will be repaired/replicated.
- The chimney to the right (when viewing from Church Street) needs attention. At this stage, it is anticipated that it will be repointing with flashing repairs however, the full extent is unknown until a roofer inspects.
- The existing front door is in poor condition, it is not thought to be original/historic, so will be replaced with a Georgian style, painted timber door and complementary ironmongery.

In addition to redecoration and minor repairs to the rear elevation;

- The former kitchen door opening will be reduced and a sash window inserted, leaving only one rear access door.
- All of the existing single glazed, sash windows are to be retained. The only new window will be a single glazed, sash to match.
- The bulky, rendered block balustrade to the existing rear stairs will be altered, to make way for a timber deck with stairs. The deck will be structurally independent of the external walls, to provide a 'patio', closer in level to the rear door.

Where possible, the few remaining features within the property will be retained; Stair, Vault, Safe and Corniced Recess. Where possible the few internal doors, worthy of restoration, will be retained although repositioned to suit the new layout.

Landscaping:

The rear yard is unkempt, overgrown with weeds and large ivy dominating the rear wall/trellis. It is proposed that the yard be cleared and as noted above the existing concrete balustrade altered with provision of a new raised timber deck/.

A new ledge and brace gate (with coded lock) will be installed to the lane access, which is currently boarded shut.

Access:

Within the Town Centre, access to the front and rear of the property is made from Church Street. The front access is up a single step straight into the house. The rear access is via a lane, which goes down the side of and under an extension/flying freehold from No. 5 Church Street. The street is marked with double yellow lines so, parking will be via permits elsewhere in the town, as is the case for the other properties on the street.

Part M:

The external levels are unaltered so, stepped entrance arrangements will be maintained; single step to the front entrance and multiple steps to the rear. A new WC is proposed to the ground floor however; its access is through an existing Vault door, which has a raised threshold. While the internal ground floor is being opened up a change in the existing floor levels means that there will be a step up into the kitchen.

Foul Water and Surface Water Drainage Design:

The site is not identified as being at risk of flooding on the Environment Agency's Flood Maps for Planning. The development will be connected to the United Utilities combined sewer.