



Removal or Variation of Condition Application Supporting Statement

September 2023

22016 Residential Development, Woodhouse

PASSIONATELY CREATING ENVIRONMENTALLY AND SOCIALLY SUSTAINABLE SPACES

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We are a proud forward-looking Cumbrian company who have become one of the region's most progressive and successful practices, with an established reputation for practical, sustainable and beautifully crafted buildings.

We continue to evolve our practice and use our decades of experience and knowledge in new build, retrofit and refurbishment projects across a wide variety of sectors to meet the changing needs of our clients and address the climate challenges ahead.

We have a dedicated team of established qualified professionals who can assist in everything from heritage, conservation and accessibility to sustainable design, carbon analysis and energy efficiency.

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3	REASONS
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INTRODUCTION

This document has been compiled to supplement an Application for a Removal or Variation of a Condition relating to the Planning Application Approval Reference 4/22/2359/0F1 dated 15 December 2022.

1.1 PROJECT DESCRIPTION

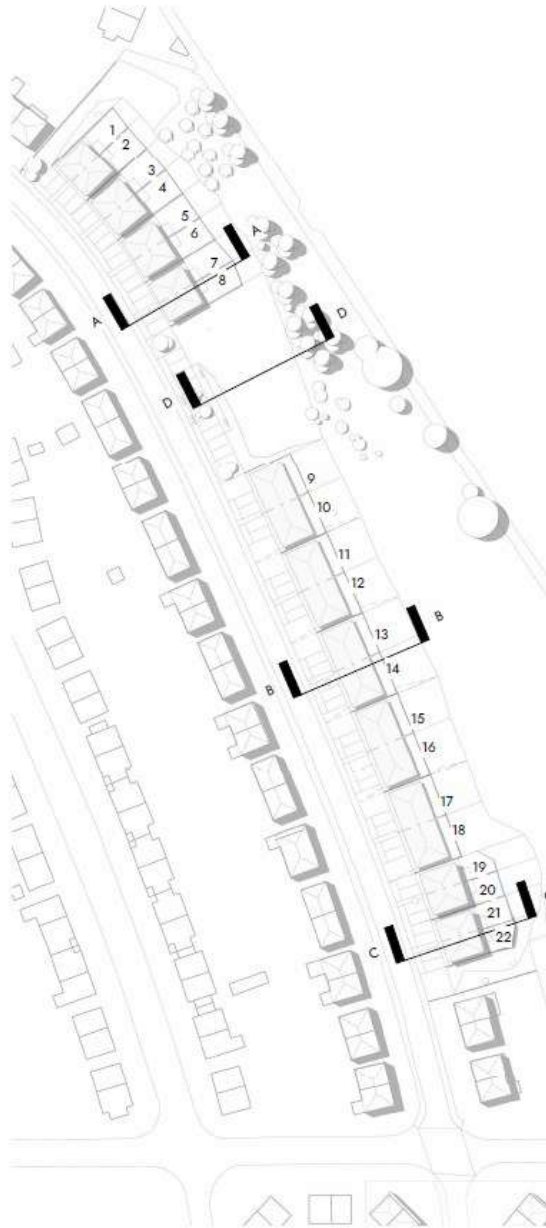
Erection of 40 dwellings comprising 24 no. two bed bungalows, 4 no. three bed bungalows and 12 no. two bed houses and associated external works including the demolition of 2 pairs of semi detached houses. Land at Fell View and Windermere Avenue, Whitehaven.

1.2 SITE ADDRESS

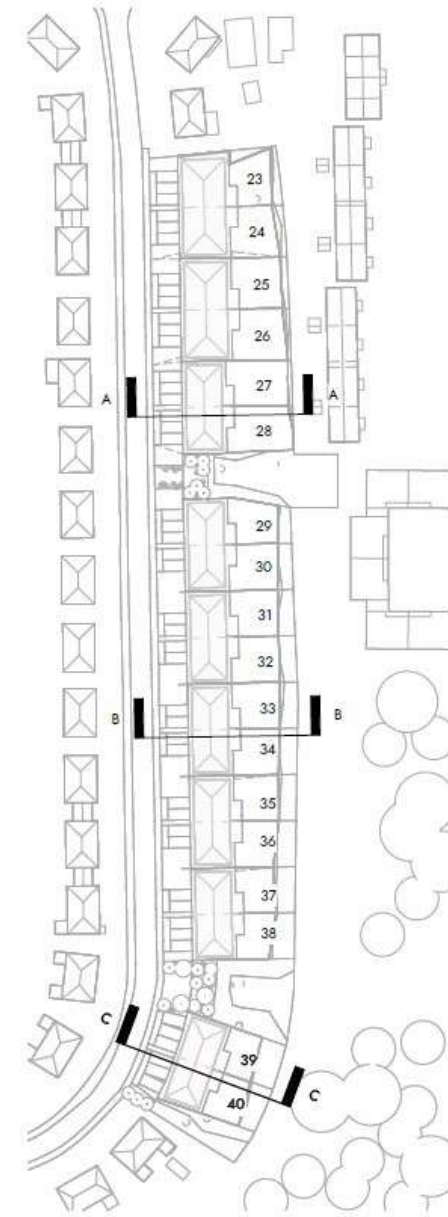
Lands between 17 and 48 Fell View Avenue; and 75 and 106 Windermere Road

Woodhouse

Whitehaven



Site Plan Fell View Avenue



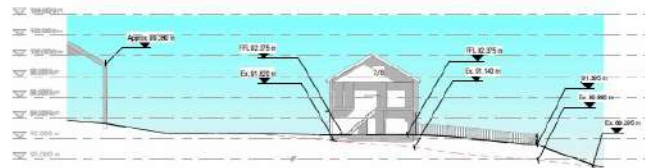
Rear Elevations Windermere Road

2 | DESCRIPTION

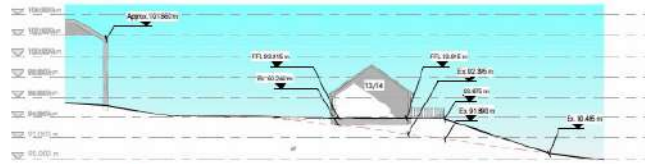
The proposed amendments are as follows:

- Changes to dwelling floor levels, patios and rear gardens.
- Replacement of retaining walls with banking to the rear of the proposed properties.
- Minor alterations to driveways and approaches to dwellings to ensure level access.

Please refer to Appendix 4.0 for accompanying drawings/ reports etc.



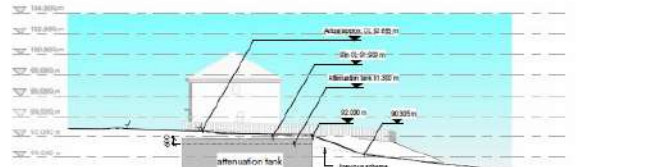
Section A-A



Section B-B

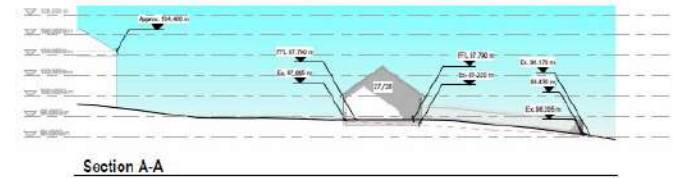


Section C-C



Section D-D

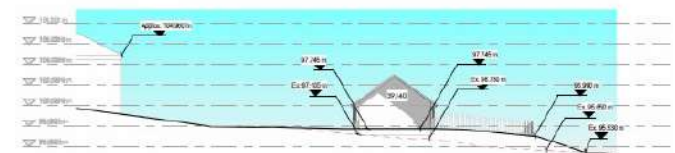
Fell View Avenue Amended Sections



Section A-A



Section B-B



Section C-C

Windmere Road Amended Sections

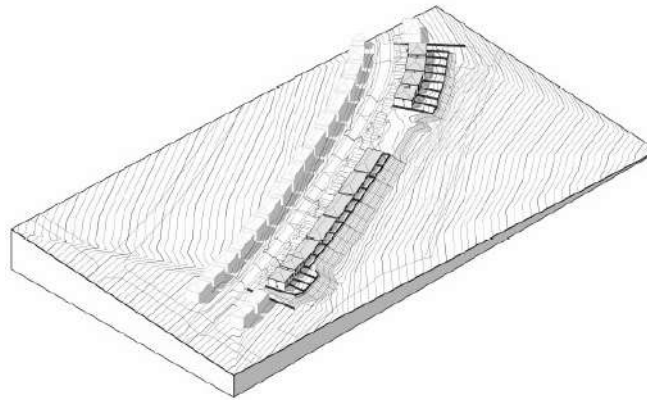
3 | REASONS

3.1 LEVEL CHANGES

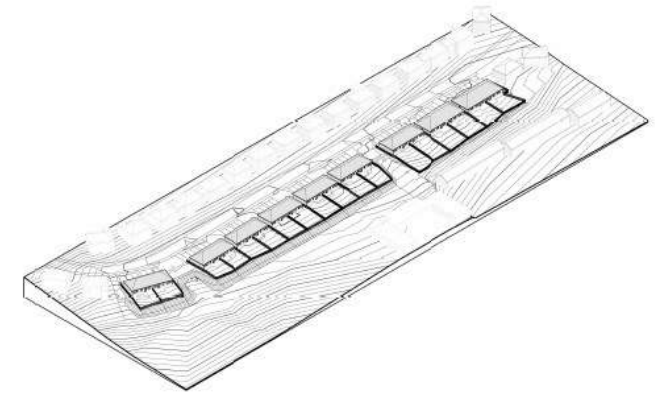
The have been some minor changes to the levels of driveways and approaches to dwelling, this is principally due the need to ensure sufficient cover on the existing services and new drainage attenuation. To ensure level access some of the floor levels have been altered. The positions of driveways and approach footpaths have been altered slightly to ensure a levels approach. As the properties are designated for over 50s and people with disabilities it is essential that the properties have levels access to the front and rear of the property in excess of building regulations requirements.

The most significant changes are to the rear of the properties where existing drainage and United Utilities requirements for the new drainage have resulted in a change in approach from retaining walls, to banking. The was considerable discussion with UU to obtain the S185 agreement; which has also been agreed with planning through the discharge of condition 3.

Whist the principal reason for omitting the retaining walls was to accommodate the drainage design, it was also felt that visually grass and landscape banking would look more appropriate.



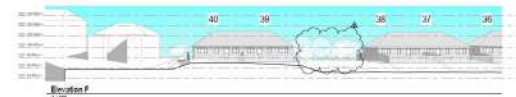
3D Model Fell View Avenue



3D Model Windermere Road



Rear Elevations Fell View Avenue



Rear Elevations Windermere Road

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APPENDIX

Accompanying Drawings

- 22016-PL-05E Fell View Ave Proposed Block Plan 1
- 22016-PL-06E Fell View Ave Proposed Block Plan 2
- 22016-PL-07F Fell View Ave Proposed Block Plan 3
- 22016-PL-08B Fell View Ave Proposed Elevation 1
- 22016-PL-09B Fell View Ave Proposed Elevation 2
- 22016-PL-10C Fell View Ave Proposed Sections
- 22016-PL-14E Windermere Rd Proposed Block Plan 1
- 22016-PL-15E Windermere Rd Proposed Block Plan 2
- 22016-PL-16E Windermere Rd Proposed Block Plan 3
- 22016-PL-17B Windermere Rd Proposed Elevation 1
- 22016-PL-18B Windermere Rd Proposed Elevation 2
- 22016-PL-19B Windermere Rd Proposed Sections



Fell View Avenue



Windermere Road



Fell View Avenue



Windermere Road



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