



Cleator Moor Activity Centre, Cleator Moor

Design & Access Statement



Client: Cumberland Council

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Revision: P01 - Issued for Planning

Issued: June 2023

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01 Introduction

1.1 Introduction

1.2 Project Brief

1.3 Site Surveys and Assessments

1.4 Project Team

1.1 Introduction

This Design and Access Statement has been prepared by Roberts Limbrick (RL) on behalf of Cumberland Council in support of the Full Planning Application for the extension and improvement of the Activity Centre in Cleator Moor as part of the Cleator Moor Town Deal Program.

1.2 Project Brief

The brief has been to refurbish the existing indoor bowls hall and provide an activity centre that meets the needs of the local community. The facilities are to include new health and fitness facilities, including a multipurpose studio, fitness suite and sportshall. In addition, the facility will create a valuable social hub with a community cafe included and new changing provision to meet the requirements for the proposed facilities.

The proposal will also provide a home for Copeland Occupational & Social Centre (COSC), allowing them to relocate from their existing premises in the Town Centre, which no longer meets their needs. Part of the scheme will include additional parking facilities that will accommodate the activity centre and existing sports pitch and a new routed running track around the grounds is proposed.

1.3 Site Surveys and Assessments

In support of this planning application, the following investigative surveys and assessments have been submitted, please see planning submission. Supporting information includes;

- Topographical survey
- Underground services survey
- Existing building condition report
- Measured Building Survey
- Utilities search
- Ground investigation report
- Ecological assessment and Bat activity survey
- Arboricultural Survey
- Flood Risk Assessment
- Transport Assessment
- Noise Impact Assessment
- Landscape Impact Appraisal
- External lighting strategy
- Sustainability Statement
- Sport England Pre-application assessment
- Public Consultation

This Design and Access Statement and associated existing and proposed drawing set will demonstrate the new scheme in relation to the above surveys and assessments.

1.4 Project Team

Client



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02 Assessment of Site Context

2.1 Site Location and general characteristics

2.2 Demolitions

2.3 Access to the Site

2.4 Adjacent Properties

2.5 Existing Facilities

2.6 Site Photographs

2.7 Existing External Building Photographs

2.8 Existing Internal Building Photographs

2.9 Existing Building Drawings

2.1 Site Location and general characteristics

The proposed Activity Centre and car park is to be located on land owned by the council off Wyndham Street, Cleator Moor, Whitehaven. The site is currently used as an existing indoor Bowls Centre and parking serving both the bowls centre and the adjacent sports pitch. Part of the adjacent site is subject to a 'Fields in Trust' covenant.

To the west of the site beyond the sports pitch is residential properties and towards the North is a newly built residential development. The site comprises a large area of overgrown shrubs and trees which is used by dog walks from the adjacent residential areas.

2.2 Demolitions

The extent of demolition will be limited to the removal of an existing outbuilding currently used for storage and the adaptation of the existing building and car park area.



Aerial Photograph

2.3 Access to the Site

Vehicular access to the site is located towards the south of the site via a single road link off Wyndham Street / Quarry Road between a mechanics garage and residential property.

There is also pedestrian access from the western boundary of the site via a footpath leading from Aldby Street and from the north-west via a footpath leading from Birks Road which links with the Connected Town project within the Town Deal program.

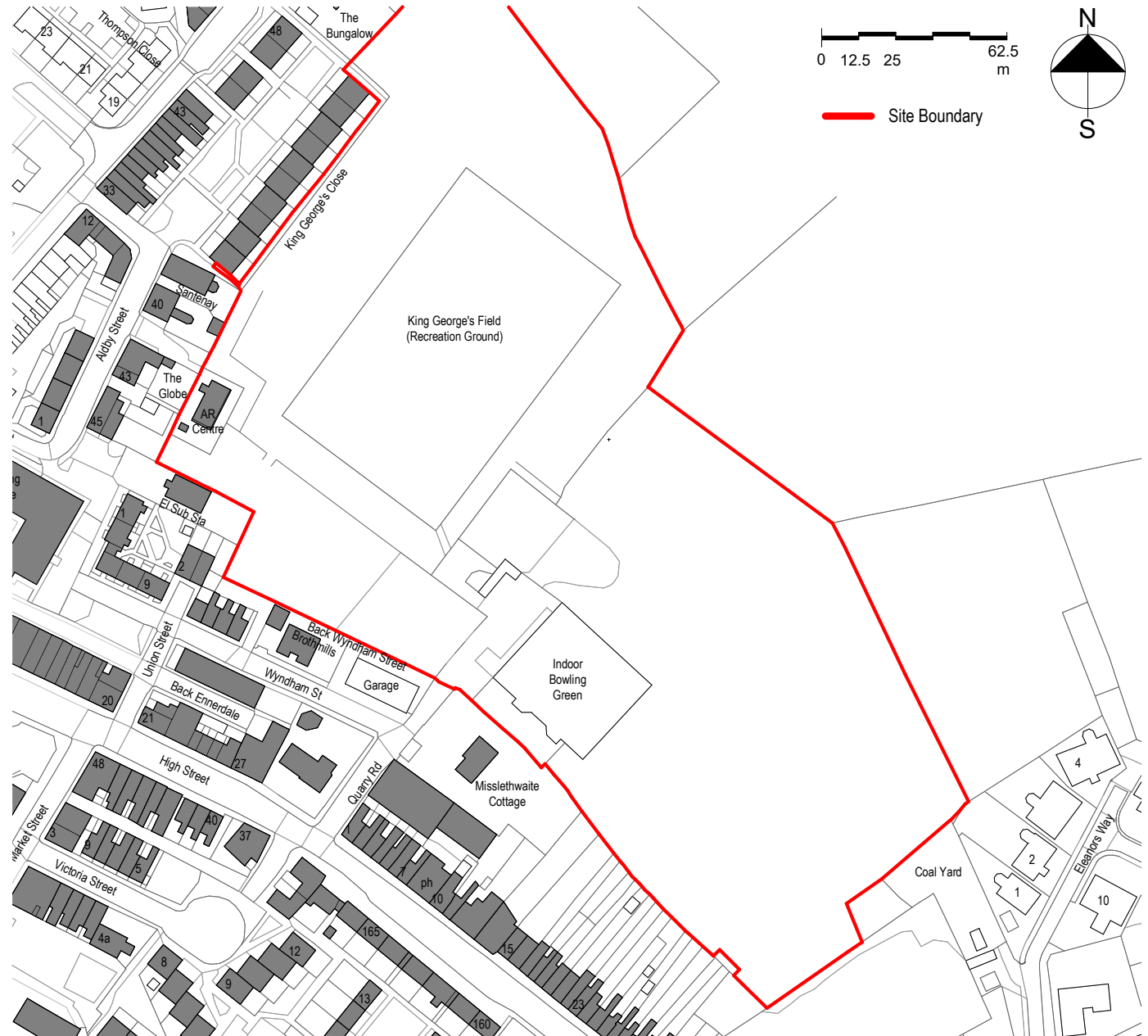
2.4 Adjacent Properties

There are a number of residential properties surrounding the site including a newly constructed residential estate located toward the north of the site.

From Wyndham Street there are a number of businesses including vehicular repair garage and carpet supplier located towards the entrance of the site.

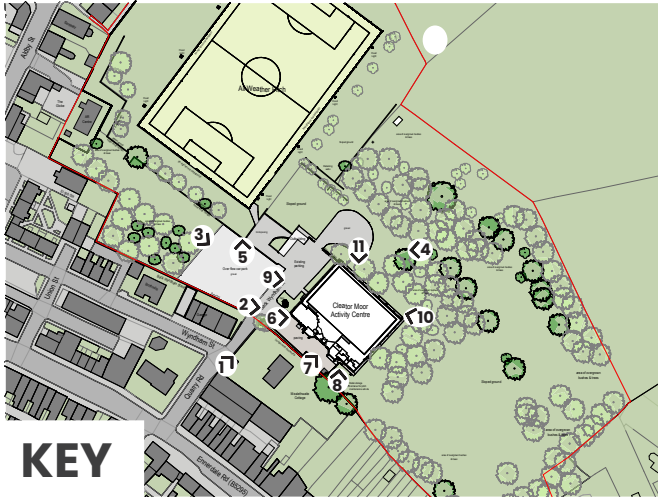
2.5 Existing Facilities

The existing building contains an indoor artificial bowling green facility, fitness suite and separate gender group change facilities. Externally there is a full size 3G pitch



Indicative Site Red Line Boundary

2.6 Site Photographs



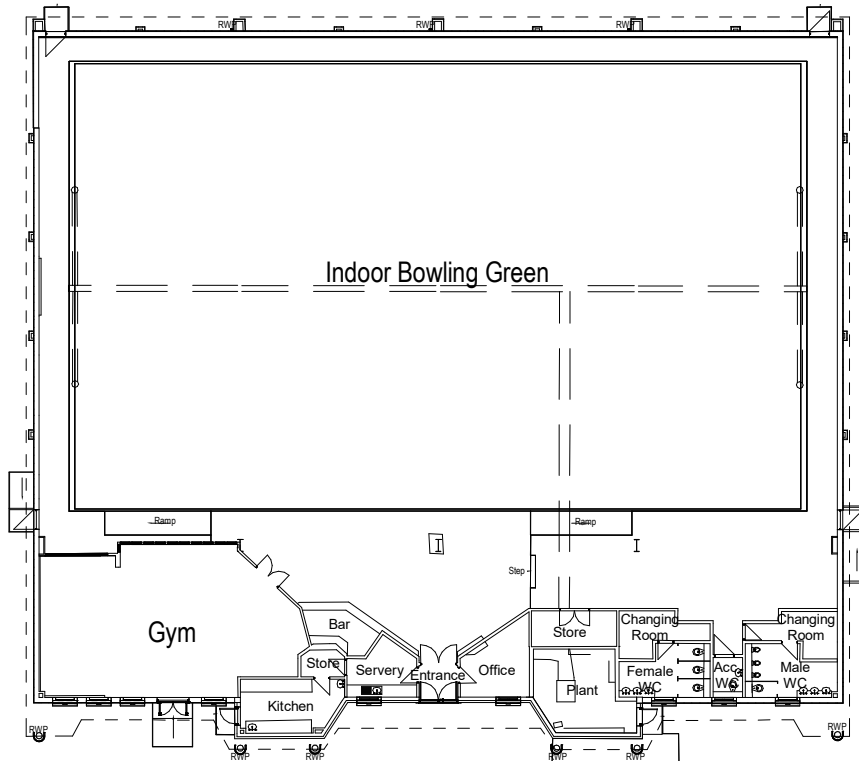
2.7 Existing Building External Photographs



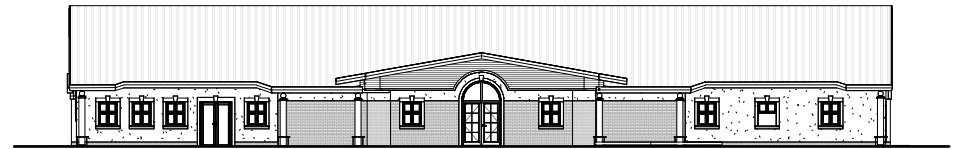
2.8 Existing Building Internal Photographs



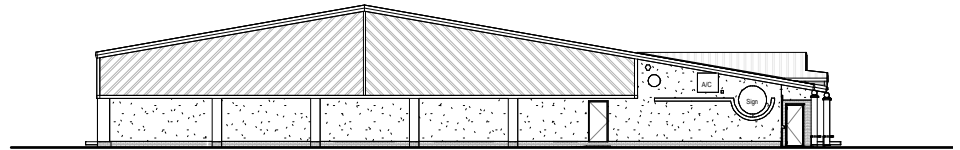
2.9 Existing Building Drawings



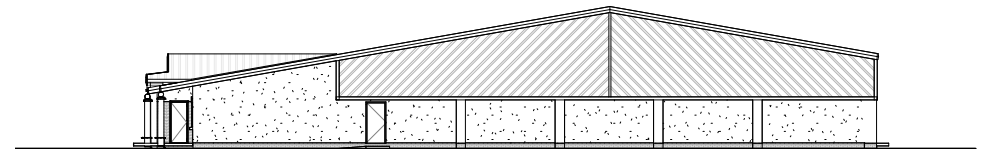
Existing Floor Plan



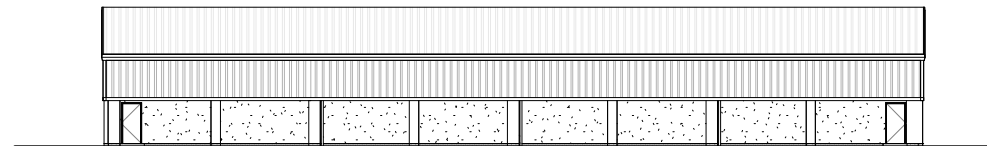
Existing SW Elevations



Existing NW Elevations



Existing SE Elevations



Existing NE Elevations

03 Consultation

3.1 Pre-Application

3.2 Flood Risk & Drainage

3.3 Highways

3.4 Ground Conditions

3.5 Ecology

3.6 Arboricultural

3.7 Landscape and Visual

3.8 Noise

3.9 Sport England

3.10 Public Consultation

3.1 Pre-Application

A formal pre-application consultation was submitted to the then Copeland Council and a detailed response was issued on 9/06/22 with reference PAA/22/0070.

This response came in the form of a summary letter from the Planning and Place team at the then Copeland Borough Council.

Refer to Section 07 Appendices for the full letter.

3.2 Flood Risk & Drainage

The development site is within a Flood Zone 1 (Low Probability) and therefore the pre-application response has requested that a Flood Risk Assessment is submitted with the planning application. Refer to Geol Consultants Ltd FRA report GEOL22-8472 for details.

The new building footprint and road infrastructure will create new areas of impermeable surfacing and therefore requires new drainage infrastructure to accommodate the additional volume and increased rate of surface water generated by the new development. A full drainage strategy has been prepared by Furness Partnership. Please refer to drainage strategy for details.

3.3 Highways

As with any planning application a transport statement has been provided in order to demonstrate how the proposals will accommodate the increased need and volume of traffic to support the existing transport network and proposed scheme.

Where possible sustainable methods of travel have been encouraged in the proposal with cycle parking provision, EV charging facilities and coach drop off facilities etc.

SK Transport Ltd have carried out a full assessment of the scheme including swept path tracking diagrams in accordance with the national policy and Cumbria Design Guide to ensure adequate parking facilities and vehicle access is accommodated. Please refer to SK Transport Ltd Assessment.

3.4 Ground Conditions

It has been identified during the Pre application that the site is not within a coal mining area, however a Phase 1 desktop study is recommended to accompany the Planning Application. Geol Consultants have been appointed to carry out the Phase 1 Ground Investigation Report

Please refer to GEOL Consultants Ltd Phase 1 and Phase 2 Investigation reports.

3.5 Ecology

An ecology appraisal and impact assessment has been undertaken to be submitted with the planning application. It assesses the current issues on the site and has recommended ecological enhancements. For details please refer to the ecological report

3.6 Arboricultural

As the site contains many areas of small groups of trees, an arboricultural survey has been requested to identify and assess adverse impacts from the proposed development and to what extent. The scheme included a 700m² extension towards the back of the existing bowls centre, a newly laid car park area with additional unmarked car parking towards the south west of the building and a running track around the sports pitch and southeast of the site.

Bowland Tree Consultancy Ltd have been appointed and have produced a full report of the tree conditions and locations and assessment on the impact of the proposals. Refer to Bowland Tree Consultancy Ltd. Arboricultural survey and report for details.

3.7 Landscape and Visual

A full landscape scheme has been prepared to support the planning application. The pre-application advice suggested that a landscape scheme is required to demonstrate any ecological enhancements for the scheme, to soften the visual impact of the development against the backdrop of existing buildings.

Please refer to section 6 of of this Design and Access statement for the landscape appraisal.

3.8 Noise

The pre-application response made reference to the site being flanked by residential properties and then consideration is essential in terms of the impact the development may have on the residents. Therefore, a noise assessment has been carried on the site and the proposals are designed to minimise the impact of noise pollution. Please refer to Hoare Lea noise impact assessment.

In addition, an external lighting strategy has been prepared to accompany the planning application keeping in mind the impact of any new lighting within the development site.

3.9 Sport England

As the development involves the extension and alteration of an existing bowls centre and includes improved and additional sports facilities and a new running path, Sport England have been consulted in the form of a separate pre-application to assist in developing the proposals.

Refer to Sport England Pre-application response of the proposals in the appendices 7.2.

3.10 Public Consultation

Extensive consultation with the local community and other stakeholders and community groups have taken place to assess the need for the residents of Cleator Moor in terms of existing and desired sporting activity facilities available. The results from the public consultation have informed the development of the detailed brief in terms of the activities that the existing indoor bowls centre will be extended and offer a wider range of sporting activities within the centre.

Please refer to Appendix 7.3 for the Public Consultation as prepared by Strategic Leisure.

04 Design Proposals

4.1 Introduction

4.2 Structural and Civil Summary

4.3 MEP and Sustainability Summary

4.4 Site Plan

4.5 Floor Plan

4.6 Roof Plan

4.7 Elevations

4.8 Building Sections

4.9 Site Context Elevations

4.10 External Visuals

4.11 External Materials

4.1 Design Summary

Use

The proposals are for an extension and refurbishment to the existing Cleator Moor Activity Centre to facilitate and encourage participation in physical activities for the local community by upgrading and adding to existing leisure facilities. The scheme also incorporates a separate set of facilities to accommodate the COSC. The internal and external spaces are designed to be flexible, simple and low-maintenance but also robust and attractive.

The site and floor plan have been designed to be accessible and provide a range of facilities and opportunities for users of all abilities to promote active lives and interactions.

The additional facilities proposed are summarised as follows:-

Activity Centre:-

- 18mx36m Sports Hall (within repurposed Bowls hall)
- Fitness Suite
- Multipurpose Studio
- Cafe / Reception area
- Kitchen facilities
- Consultation and Admin office

- Group and Accessible changing
- Toilet facilities
- Changing places
- Storage rooms
- Parking facilities for Cars (EV & Accessible), Motorcycle and cycle
- Service Yard

COSC:-

- Activity room
- Games Room
- Sensory Room
- Admin office
- Kitchen
- Storage
- Accessible WCs
- External garden area with garden store

Layout

The current proposals emphasise flexible, multi-purpose spaces that can be intensively used for a variety of activity and fitness uses, getting best value for money and future-proofing the scheme. Key aspects are the inclusion of suitable storage and proper consideration of the performance aspects of the design, such as ventilation and lighting, to ensure suitability for each different activity.

The sports hall will be developed under the existing bowls centre shell, which due to height restriction will

only accommodate community level badminton, basketball, netball, volleyball and 5-a-side football as well as a wide range of studio type and community activities. The sports hall will also accommodate short bowls for the already established bowls community at Cleator Moor.

The southern end of the existing building and the existing entrance is retained for COSC facilities. Whereas a new entrance point will be formed for activity centre users visible from the site entrance and car park.

Appearance

The external walls are a combination of high quality composite cladding colours. A refurbished and replenished existing building fabrics. The existing building cladding and fascia is replaced with new to match the proposed, upgrading and encompassing the existing building into the overall centre.

The entrance lobby, reception and multipurpose space incorporates external glazing providing active building frontage and allowing daylight into the public spaces. Skylights are proposed in key location to provide more natural daylight into the heart of the circulation areas, located within the cafe seating area.

The entrance lobby, canopy and external signage provides a clear entrance point to users approaching the building from the car park and footpath.

Landscape / Boundary

The scheme proposes external hard and soft landscaping as shown on the site plan. The scheme intends to utilise the existing levelled unmarked car park area and extend to facilitate the additional leisure facility in terms of the overall parking provision.

A new running track is proposed, which loops around the 3G pitch and out east into the meadow area. Resting points and wild flower areas are proposed along the route for points of interest to users.

Environment

The facilities have been designed to be sustainable and are to incorporate specific measures which meet client priorities. The building strives to maximise the use of natural day-lighting and minimising the use of fossil fuels and other natural resources via the provision of mechanical heating and ventilation. Photo-voltaics are proposed on the roof to support the day to day operation of the centre, see energy and sustainability statement.

An infiltration basin and soakaway (if suitable) will be incorporated as the SuDs hierarchy for the scheme as part of the sustainable drainage strategy. See drainage strategy for details.

4.2 Structural and Civil Summary

Structural Design Drivers

The main drivers governing the structural design solutions are:

- Large roof span over fitness areas
- Open plan fitness suite
- Lateral stability of building frame
- Coordination with the existing building structure

Substructure Proposals:

The following design solutions have been suggested within the Site Investigation reports:

Typical foundations within the single storey extension

Conventional shallow strip and pad footings taken down through the made ground and based within the natural clays should prove adequate. The foundations should be based at a minimum depth of 0.9m below finished ground levels and can be designed to a maximum allowable bearing pressure of 100kN/m².

When considering future car parking areas and ground bearing slabs, based on the results of the insitu DCP tests, a design CBR value of 5% can be adopted for the shallow compact made ground and natural strata, where these materials are to be used as an undisturbed subgrade at approximate formation level.

Where trees will be removed due to clashes with the new building, strip and pad footings will need to be extended to a deeper level and provided with clay heave protection measures to avoid the risk of clay heave.

Ground Floor Slab

Ground bearing reinforced concrete slabs are the preferred solution and will be acceptable on the site utilising a 200mm slab on well compacted Type 1 as required and laid on a geotextile membrane. Any soft spots should be dug out and replaced with lean mix concrete.

Superstructure Proposals:

The superstructure for the proposed leisure centre building comprises a single storey braced steel framed structure over the reinforced concrete ground floor slab. The main structural design feature of the

building are the open plan fitness areas.

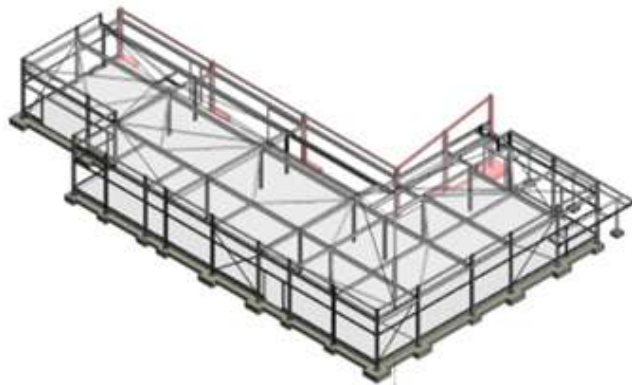
Roof Structure

The proposed system for the roof structure comprises of structural metal deck to supporting the roof build up and finishes. The deck is supported the steelwork roof members.

There is a parapet around the perimeter of the extension roof.

Canopy

There is an entrance canopy comprising steelwork cantilever frame and lightweight decking roof.



Ground Investigation Summary

Please refer to Phase 1 and Phase 2 reports.

Drainage

The existing site extends over the existing Cleator Moor Activity centre in Cumbria. The site currently comprises of the bowls centre and 3G pitch.

The proposed development involves extending the existing bowls centre with the construction of additional car parking spaces.

The surface water discharge from the proposed development will be made up from the following elements: Building roof area, paved areas around the new development, Access roads and Car parking bays.

The recommended surface water discharge hierarchy set out in the CIRIA SuDS Manual is to utilise soakaways, or infiltration as the preferred option, followed by discharging to an appropriate watercourse. If these options are not feasible then the final option is to discharge to an existing surface water sewer, followed by discharge into a combined public sewer. There are no local waterways so we are proposing to discharge into the main sewer system.

Infiltration testing was completed however no infiltration was noted within the excavations, so soakaways were not feasible. Therefore a SuDS attenuation system is to be implemented. This will be in the form of swale ponds with attenuated run off into the existing surface water system.

Porous Pavements: - Porous/permeable surfaces are proposed for the car park construction as they can provide an effective way to reduce the flow rate of surface water runoff and give the necessary 2-stage treatment required to remove hydrocarbons prior to discharge into the receiving water body.

A pre-development enquiry has been submitted to confirm whether they have any assets adjacent to the site boundary. This drainage strategy will be updated once a response is received however for the purposes of this report it has been assumed that a suitable discharge location will be available as there are a number of United Utilities combined sewers adjacent to the site boundary. Formal approval to connect into the public drainage network will be agreed through the submission of an S106 application.

Carbon Reduction

At Furness Partnership, we understand that as structural engineers we have a huge responsibility to

mitigate carbon emissions within the built environment. We calculate the embodied carbon in our structural solutions as standard practice, both early on and at key stages of the project journey. This allows the client to make quantified decisions towards carbon reduction. We follow the following process to achieve embodied carbon reduction in our designs:



The following strategies were used to achieve this reduction:

- Low cement concrete specifications
- Modification of the cladding design to reduce secondary steel used
- Re-use of existing structure where possible
- Improved ground conditions to reduce sub structure
- Optimising the efficiency of design to reduce steelwork

We use these principles at the beginning of the design process to not only design an efficient structural design but as low carbon option as possible.

4.3 MEP and Sustainability Summary

Mechanical Services

The primary heat source for the building will be air source heat pumps. These units will extract low grade heat from the outside air and feed the heating coil in the air handling unit and local heater batteries.

The proposal is for a single air handling unit in the plant area serving the Sports Hall, Café and Reception Area via galvanised steel ductwork with ceiling mounted supply and extract diffusers. The multipurpose studio, fitness suites and Activity area and similar occupied rooms will be ventilated by local heat recovery ventilation

The sports hall will be heated by the central ventilation air handling unit. The multipurpose studio, fitness suites and Activity area and similar occupied rooms will be heated and cooled by VRF air conditioning units. These will be connected to external condensing units by refrigerant grade copper tube. Circulation spaces will be heated by local electric heaters.

The existing cold water supply will serve a cold water storage break tank located in the plantroom serving all potable cold water outlets via a cold water booster set.

An air source heating system will provide high grade heat to a hot water calorifier mounted in the plantroom.

This calorifier will supply hot water to all wash hand basins, sinks and showers via copper tube and fittings. The tenancy hot water outlets will be served by local electric point use water heaters.

A new BMS control panel will be located in the plantroom to control the new systems.

Electrical Services

A new electrical supply will be provided to a new sub-station adjacent to the building. From here a supply cable will be taken to a new main switch panel located in the plantroom.

From here submain cables will be taken to local distribution boards to serve separate areas. These distribution boards will serve the electrical requirements for the area served. New LED lighting will be provided throughout. This will be a mixture of

ceiling mounted recessed fittings, down lights, batten fittings and wall lights suitable for the area being served. External Lighting will be provided by a mixture of wall lights and column mounted lighting as appropriate.

A new type L1 fire alarm system will be installed throughout with Annunciation will be a combination of integral sounder bases and wall mounted sounders as appropriate.

All fire exit doors are to be linked to the main fire alarm panel and reception to raise an alarm should the door be opened. Verbal and visual annunciation will be provided throughout the building.

A TV cable backbone system will be provided to the server room thereafter distribution will be by coax cabling to TV positions. All aerials, dishes, cabling and distribution systems to be provided along with surge protection where the above cables enter the building. Coax cabling will be provided from the server room TV system to each piece of fitness equipment as required by specialist.

A PA system will be provided allowing announcements and background music to be made around the leisure centre.

A CCTV system will be provided consisting of fixed

internal intended to cover areas shown on strategy layouts. CCTV cameras will be connected to head end equipment via power over ethernet cabling back to the server room where head end equipment will be located.

An intruder detection system will be provided throughout the leisure centre utilising a combination of dual technology sensors and door contacts.

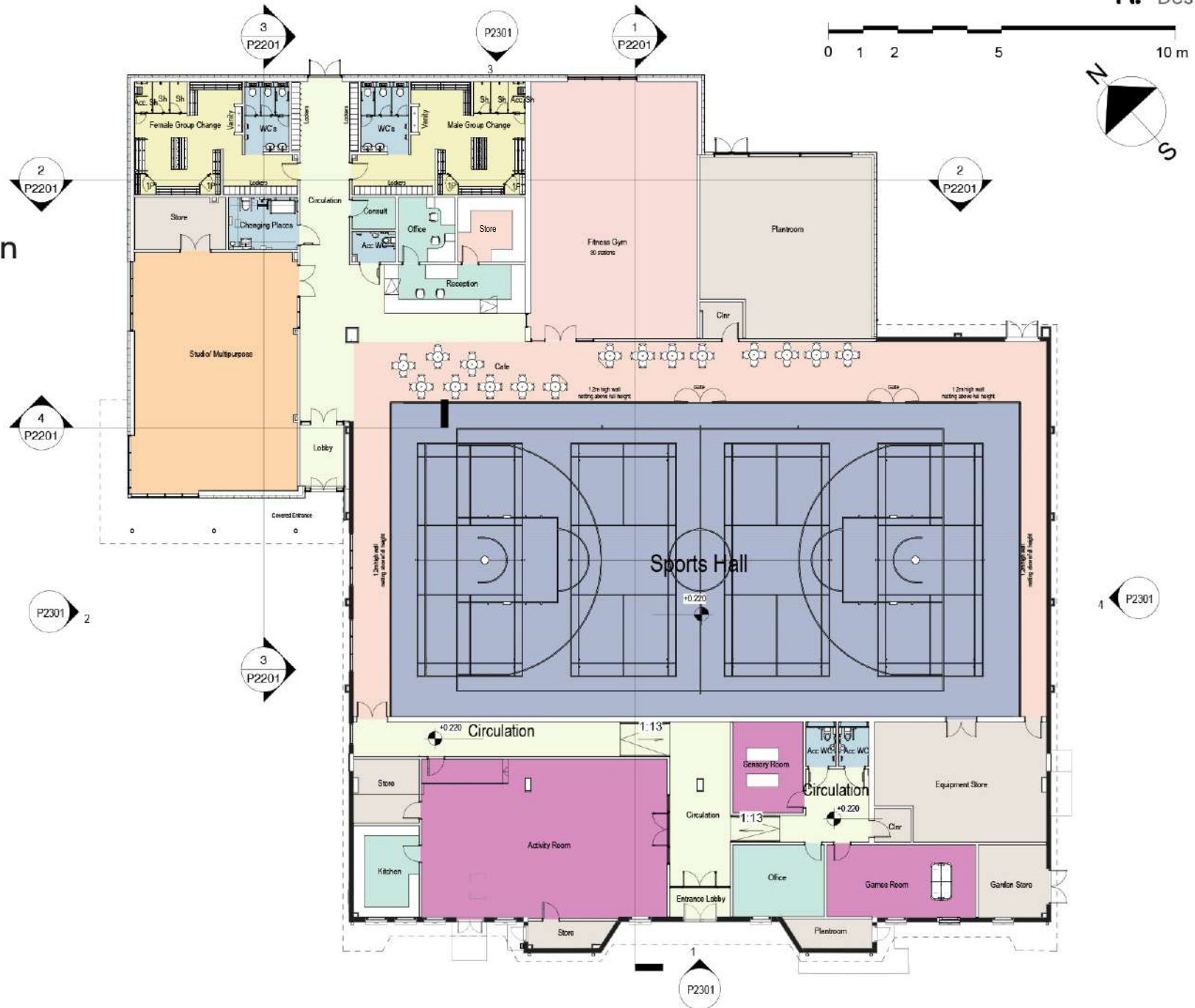
A new access control system will be provided (by others) throughout the centre to doors indicated on strategy layouts. Containment, power, fire alarm interface, and data wiring to comms cabinet shall be provided, with access control equipment provided by the Client.

A new roof mounted photovoltaic array will be provided. The size and output of the array will be 50kWp, 200m² as shown on the architects layouts.

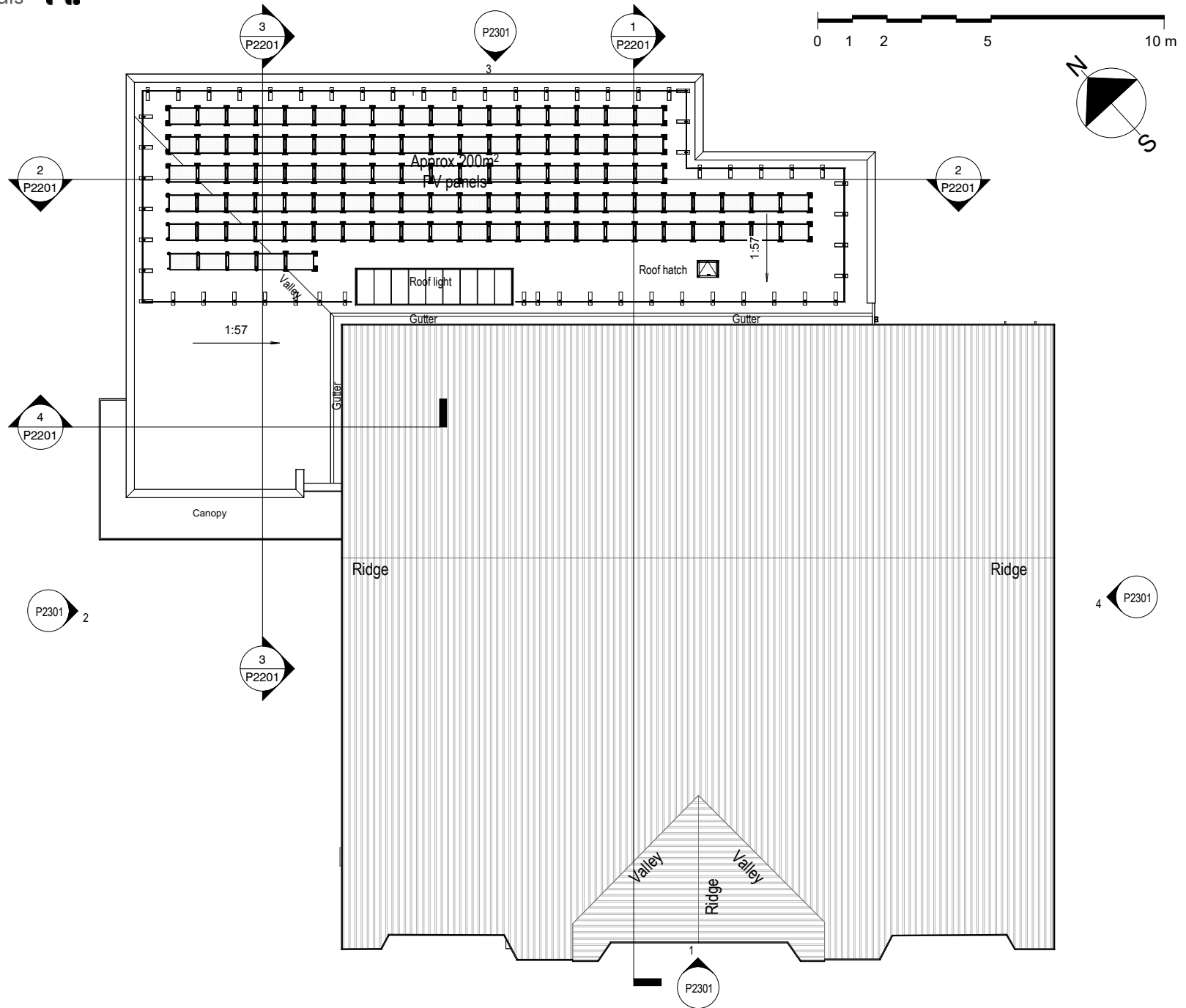
4.4 Site Plan



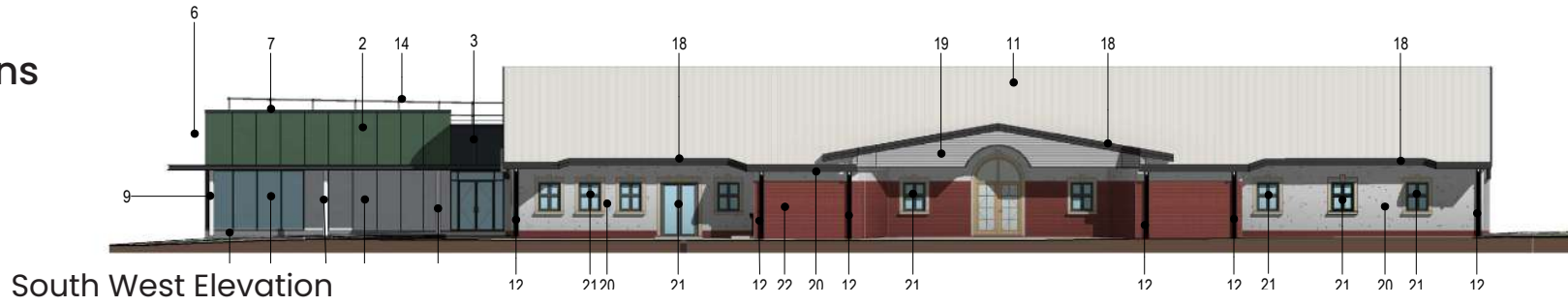
4.5 Floor Plan



4.6 Roof Plan



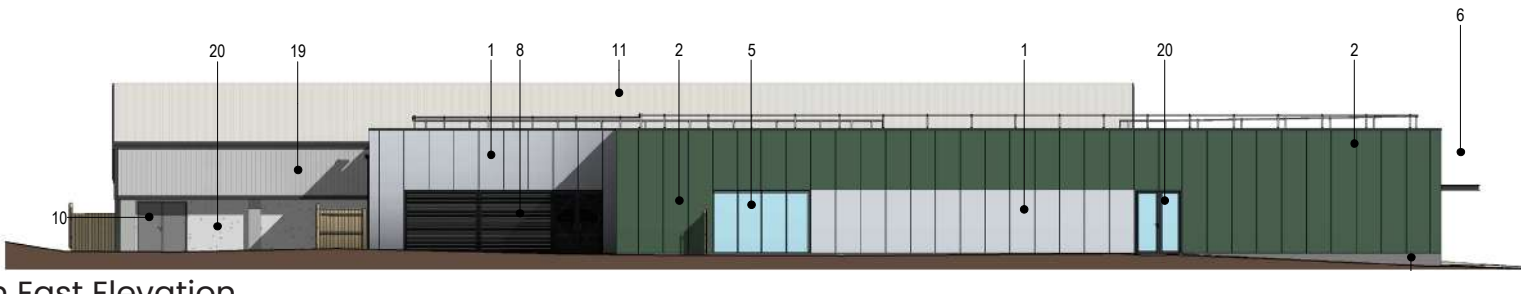
4.7 Elevations



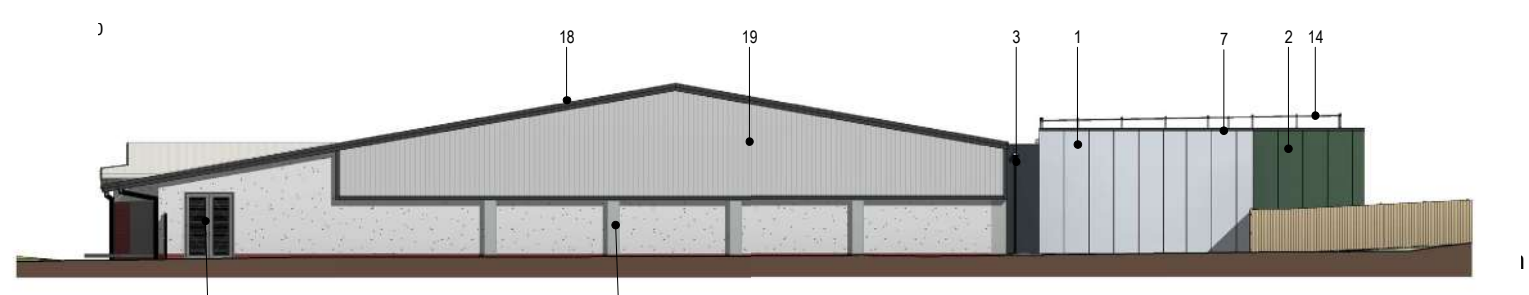
South West Elevation



North West Elevation



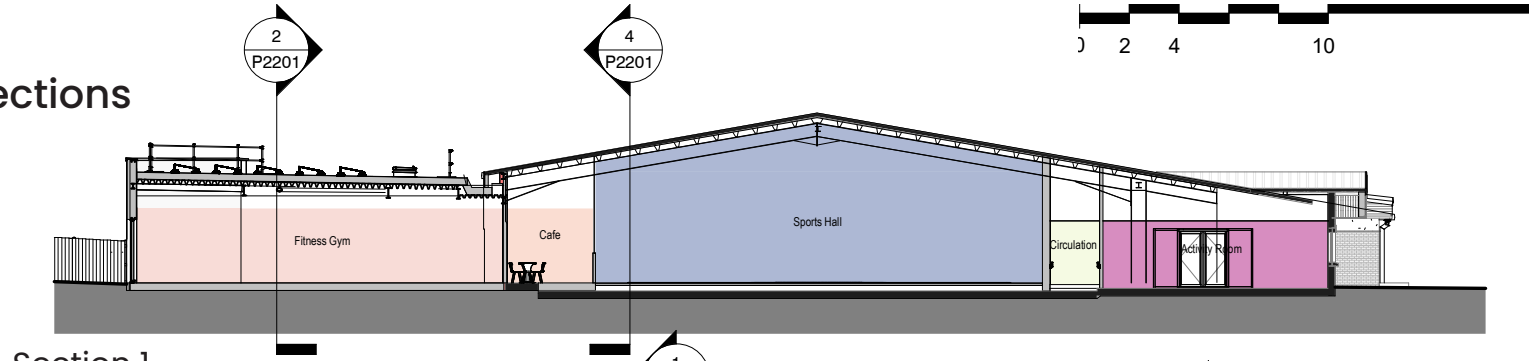
North East Elevation



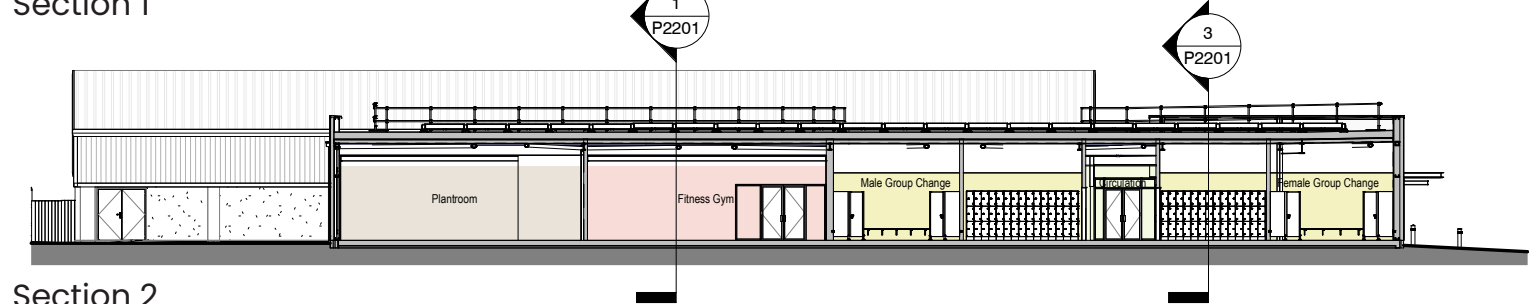
South East Elevation

Materials Legend	
1.	Composite Cladding Panels - Light grey
2.	Composite Cladding Panels - Green
3.	Composite Cladding Panels - Dark Grey
4.	Brickwork - Dark Grey Engineering Brick Flinth
5.	PPC Aluminium frames double glazed curtain walling - Anthracite Grey Frames
6.	Entrance canopy
7.	PPC Aluminium Cappings/fashings - Anthracite Grey
8.	PPC Aluminium louves to Plant Room - Anthracite Grey
9.	Exposed external columns in colour white
10.	PPC Aluminium framed solid external doors - in colour Grey
11.	Existing roof retained
12.	PPC Aluminium downpipes to replace existing feature downpipe columns
13.	Indicative Building Signage
14.	Roof man safe railings
15.	PV panels
16.	External plant enclosure - close boarded timber fence 1.8m high
17.	New timber fence
18.	Roof guttering replaced to in colour RAL 7016
19.	Existing external cladding replaced in colour mid grey metal cladding
20.	Existing rendered walls / piers re-painted light grey / white
21.	Existing doors / windows retained and made good
22.	Existing Brickwork retained and repointed

4.8 Building Sections



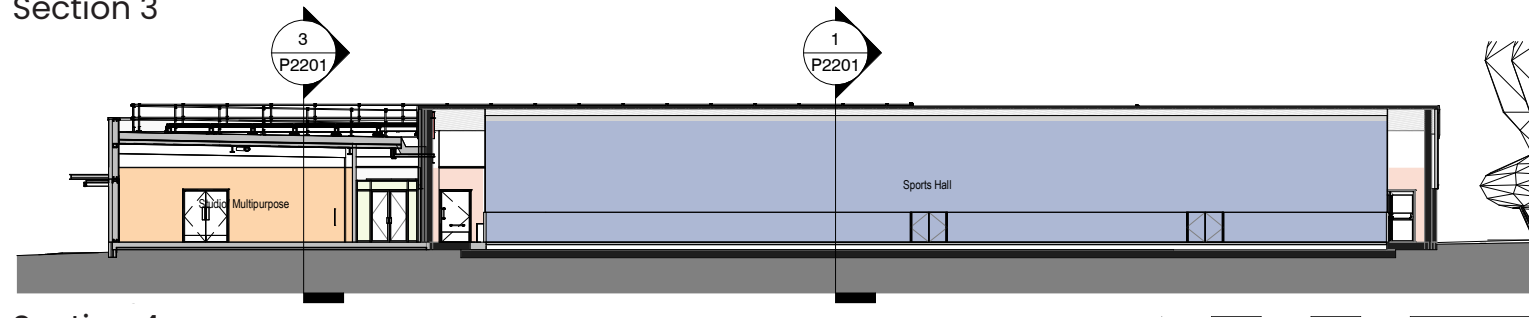
Section 1



Section 2



Section 3



Section 4

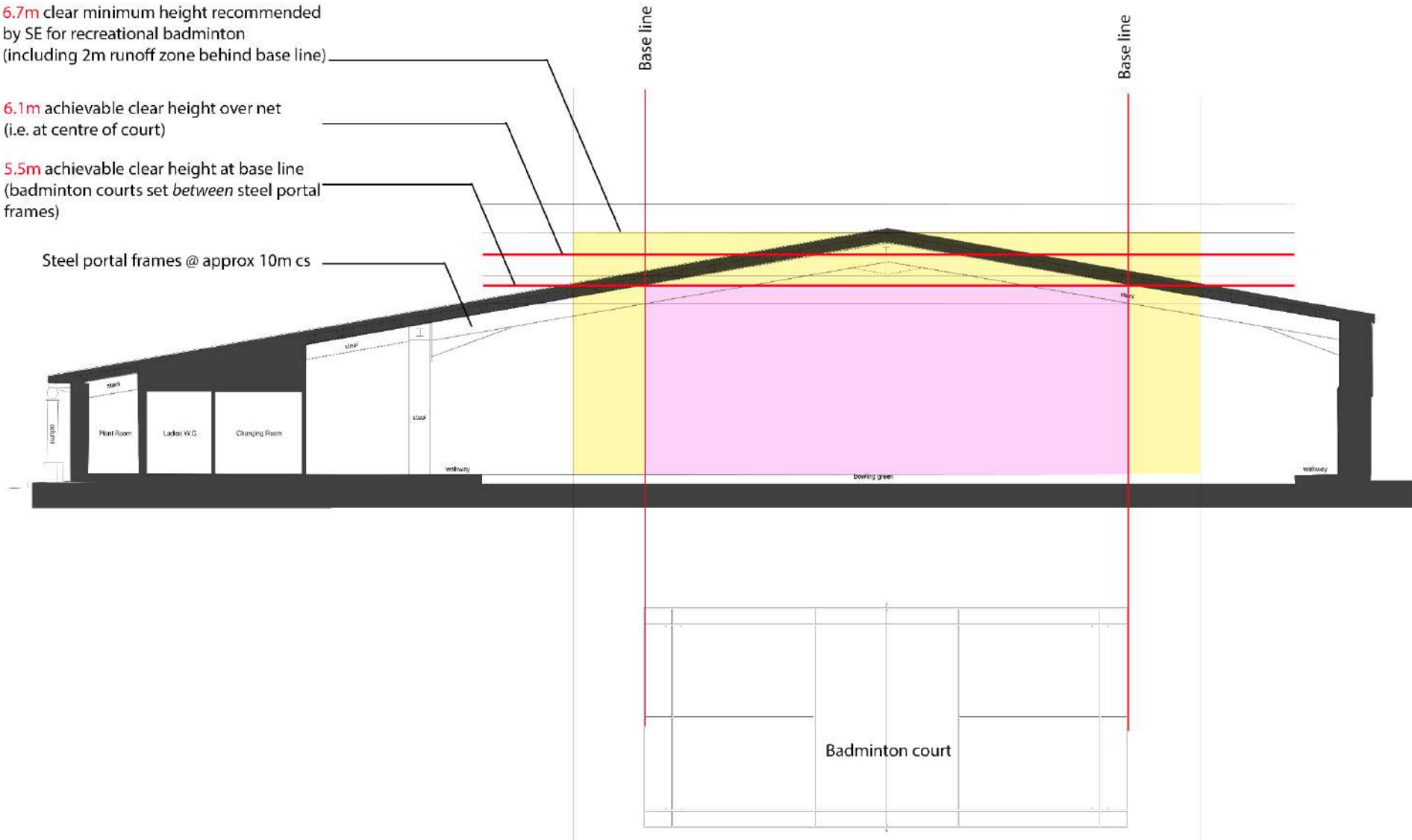
4.8 Building Sections

6.7m clear minimum height recommended by SE for recreational badminton (including 2m runoff zone behind base line)

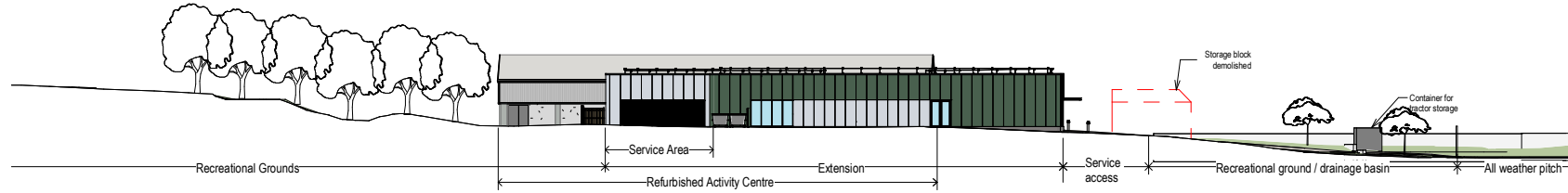
6.1m achievable clear height over net (i.e. at centre of court)

5.5m achievable clear height at base line (badminton courts set *between* steel portal frames)

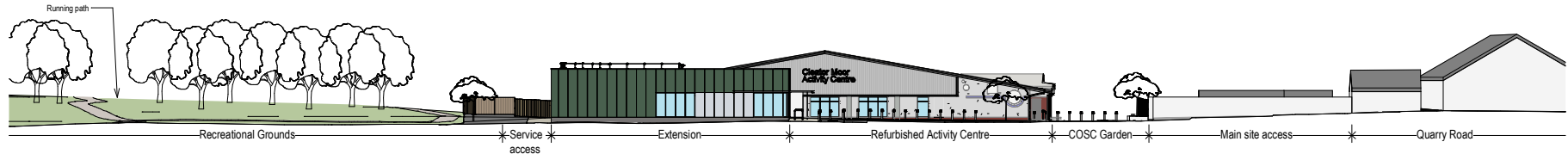
Steel portal frames @ approx 10m cs



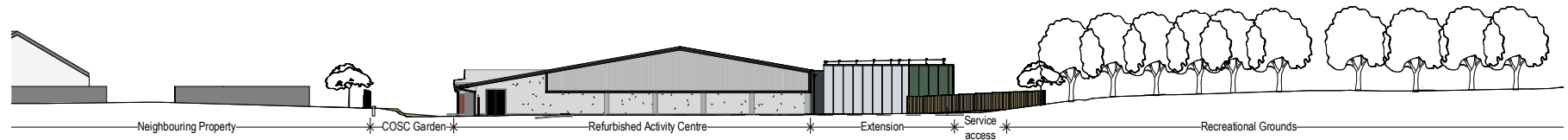
4.9 Site Context Elevations



Site Context Elevation 1



Site Context Elevation 2



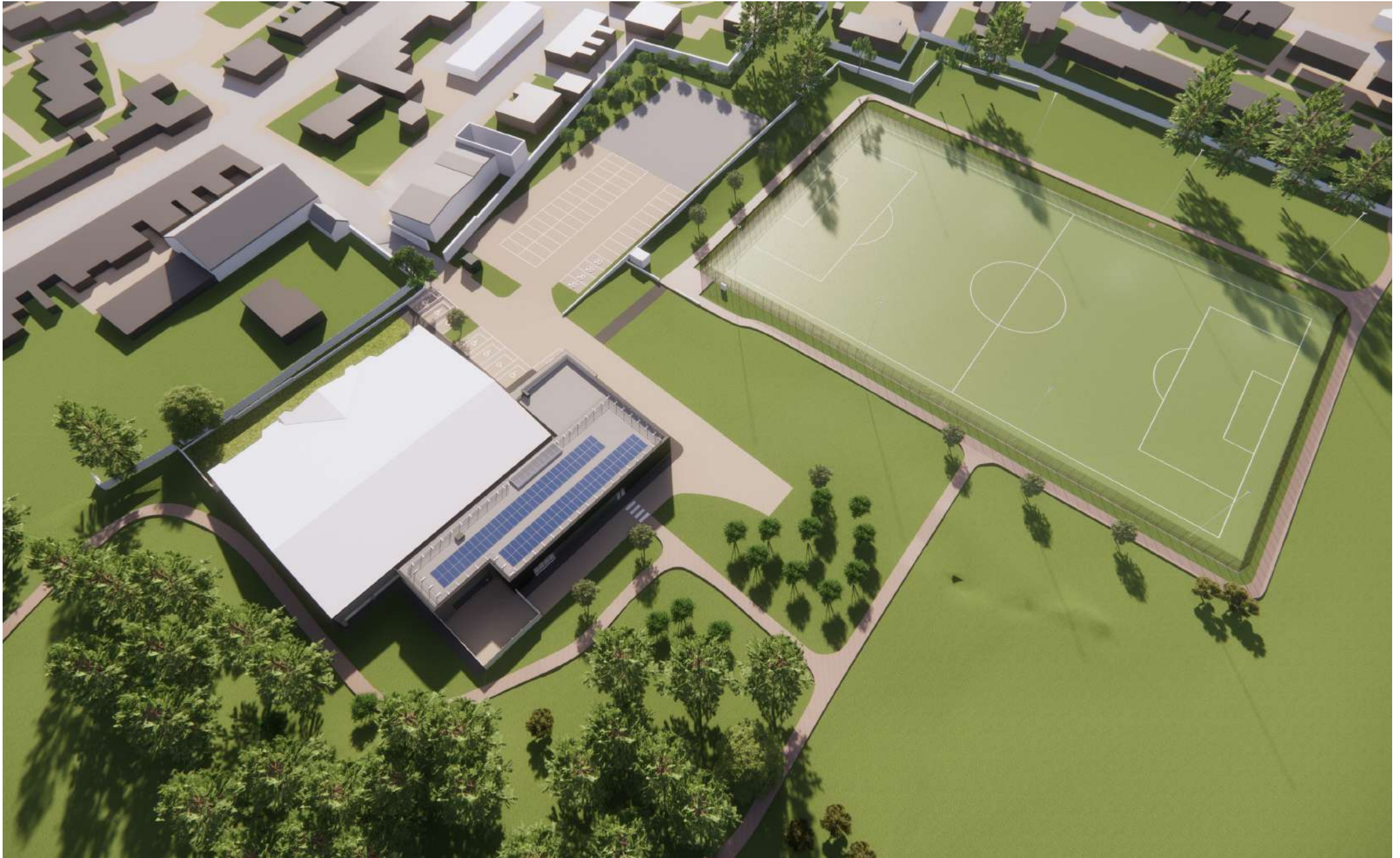
Site Context Elevation 3



Site Context Elevation 4

4.10 External Visuals





Illustrative aerial CGI of proposed activity centre

4.11 External Materials



Single ply roofing



Coloured composite cladding



Grey insulated composite cladding panels



PPC aluminium glazing system



Facing brickwork



Rainscreen panels



Illustrative CGI of view from proposed car park

05 Access Statement

5.1 Vehicular Access, Transport Links

5.2 Design for Accessibility

5.3 Security

5.1 Vehicular Access, Transport Links

Upon entering the site from the Wyndham Street the main car park is located immediately to the left hand side, with disabled parking bays located on the right hand side fronting the building. The site topography is generally level around the car park area and building, however beyond that towards the southeast the site slopes upwards.

Car, motorcycle and cycle parking

7no. accessible parking bays are provided close to the entrances for both the activity centre and COSC facility. Motorcycle parking is provided adjacent the accessible spaces keeping in slight of the main entrance to minimise theft.

A number of spaces are provided as EV charging with some provided as ducting for future provision.

Sheltered cycle parking is provided under the entrance canopy.

Coach parking and drop-off facilities

A designated drop off area sized big enough for

coaches is provided along the access route to the rear service yard area. There is a turning bay provided for the manoeuvring of larger vehicles including coaches and delivery trucks.

Bus Links

The site is within walking distance of the High Street (B5295) bus stops in both directions.

Walking

There narrow vehicular access from Wyndham Street does not allow for segregated pedestrian and vehicular access. However, clear signage and an upgrade on the site entrance surface it can be pedestrian priority which can be well lit to improve visibility to improve the current condition and provide safe accessible access.

There are 2 no. identified pedestrian access routes which will be connected to the new running path with links to Birks Rd and Aldby St.

5.2 Design for Accessibility

a) Connections with the wider environment

The site benefits from good accessibility with the wider

environment via existing paths connecting to the adjacent residential areas. Pedestrian priority road access has been incorporated to the main entrance off Wyndham Street to maintain pedestrian access from the Activity Centre to Quarry Road / Wyndham Street.

b) Access within the site

Disabled visitors will be able to park in close proximity to the building and access the main entrances for both the Activity Centre and COSC. The new building connects to existing paths with gentle gradients. The proposed new paths will be constructed from firm, level, non-slip surfacing.

c) Access within the building

The layout has been design in accordance with the relevant Sport England design guidance notes (DGN), BS8300 and approved document M for access to and use of building. Design aspects such as, building circulation corridor widths, door clear opening widths, ramped access, accessible requirements to sanitary and changing facilities, pool access, vanity unit and reception desk design, all conform with the relevant statutory guidance which is reflected in the proposed floor plan.

5.3 Security

The general principles of 'Secured By Design' have been followed to ensure that the design of the building does not present any aspects that makes it easier for criminal activity to occur. This includes well lit, clear and visible entrances to the building, a visible external perimeter, secure service yards, and an open and artificially lit public car park. The external materials at ground level are robust and secure, with ample glazing around the principal front and side elevations, allowing for passive surveillance from the building to the main pathways around the facility and nearby amenity areas. Glazing to the front entrance also provides natural surveillance to the cycle and motorcycle parking and car park. The service yard to the rear of the building will be securely gated and fenced.

The proposals include a CCTV system that provides surveillance around the building and car park.



Illustrative CGI of Proposals

06 Landscape Proposals

6.1 Site Description

6.2 Landscape Constraints and Opportunities

6.3 Landscape Character

6.4 Visual Amenity

6.5 Landscape Proposals

6.1 Site Description

The site primarily comprises a astro turf pitch, an activity centre, a car park, and open green spaces. It is located close to the centre of Cleator Moor north of the B5295, the primary roadway which runs through town.

The existing buildings on the site include changing rooms and the current activity centre, which is proposed to be refurbished and extended. There is also a disused structure at the northwest corner of the site buried behind dense scrub. A new sports pitch, with fencing, lighting, and an informal gravel car park are located in the western part of the site. The majority of the remaining area of the site is comprised of scrubby vegetation and grassed areas that have not been maintained to date.

The area immediately surrounding the site is a mixture of retail, leisure, and services and residential areas, both established and newly developed. Surrounding Cleator Moor and close to the site to the northeast are agricultural fields.

The majority of the development around the immediate edges of the site are residential properties with strong, established shrub and treed boundaries. There is a new

housing development called Ellis Park of 62 homes being established to the northeast of the site with views over the top of the proposed site as levels change to create an approximately 2 metre height difference between the site and the new development. It's anticipated that there will be close boarded timber fencing forming the boundary of the site.

The entrance to the site is through a small side road to the south of the site. The primary connection to the site is along Quarry Road from the B5295. This is the only vehicular access point into the site.

Formal pedestrian access to the site includes a partial pavement along Quarry Road from the B5295. To the northwest of the site lies a currently informal connection from the residences through a broken fenceline and runs along the back of the recreational fields.

The site is relatively flat to to the north. Moving southeast, the geography begins to rise away from the recreational fields, steeply at first, then more gradually until culminating at the residential development along the southeastern border. Because of the relatively low-lying nature of the northern part of the site, any built form along the south is shielded from seeing into the site from the dense scrub and tree growth.

The site is also under a 'Public Space Protection Order' by

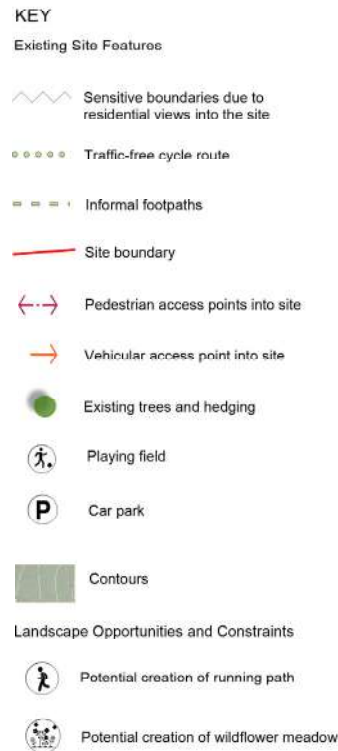
the Cumberland Council, which relates to the protection of open space on the site, including the restriction of alcohol on-site and a focus on dog control.

6.2 Landscape Constraints and Opportunities

The site's primary constraints include the limitations that the existing built form on the site impose on the possible landscape amendments that could be made.

The opportunities working around that built form still allow for the creation of more recreational engagement across the site and hydrological remediations to be made to better the water storage strategy than what currently exists on the site. There is also a potential to better the existing ecological habitats such as the meadowland and encouraging better health and maintenance of the woodland.

The constraints and opportunities plan on the right sets out the site's landscape constraints and opportunities.



Constraints and opportunities plan

6.3 Landscape Character

The landscape character type around the site is 'Ridge and Valley' as set out by the Cumbria Landscape Character Guidance 2011. This character type begins to break up near the site but continues with enough consistency to classify the site as such comfortably.

Some of the identifiable characteristics of this landscape character include land with a series of ridges and valleys working towards the limestone fringed surrounding the Lakeland Fells. There are also typically highly maintained medium to large pastoral fields interspersed with native woodland and plantations.

The site steadily rises from approximately its central point to its highest point in the southeast. The building is on a slightly higher position than the sports pitch, which is on the lowest and flattest ground to the northwest.

The proposed development includes an extension to the current building. The extension is a single storey that, due to changing levels around the building, will sit at a lower height than the current building. This means it should not infringe or impose on the characteristics of its surrounding landscape.

6.4 Visual Amenity

The viewpoints taken in and around the site give a range of views around the context of the site.

Refer to the Viewpoint Location Plan, for the location of each of the photoviews.

Viewpoint 1 is taken from the pedestrian access to the King George V Close in front of the row of residential properties set off from Birks Road. There is only pedestrian access to this point, with vehicular access being restricted before it would be afforded any views into the site. From the viewpoint, you can see the location of the Activity Centre behind the sports pitch. From here, the proposed addition would be seen in conjunction with the existing Activity Centre.

Viewpoint 2 is located on the pedestrian footpath on the B5295 looking down Quarry Road towards the vehicular access point into the site. From this point, none of the existing or proposed building is visible, with only a small section of the car park seen from the main road.

Viewpoint 3 is taken from the designated traffic-free cycle route that runs north of the site moving east-west across the periphery of Cleator Moor. The topography rises up between the path and the site with tree planting running over the hill, completely obscuring views from

the path into the site, particularly the lower levels that contain the built form.

Viewpoints from within the town centre have been selectively omitted due to the intervening built form and obscuring the views into the site from other points around the village.

The representative viewpoints demonstrate that the proposed additions to the current Activity Centre and associated works will have limited visibility beyond the immediate context of the site due to intervening built form and topography. Where the proposed development will be visible, such as from the ground and upper floor windows of the properties located along the site's western and northern boundaries which have views into the site, the proposed addition will be seen in conjunction with the current Activity Centre and its surrounding recreational facilities without disrupting other current views into and across the site.



Viewpoint location plan



Viewpoint 1: View into the site from the pedestrian access in front of King George V Close to the southwest of the site



Viewpoint 2: Pedestrian route alongside B5295 looking through the industrial estate towards the site entrance



Viewpoint 3: Viewpoint from the National Cycle Network Route 71 to the northeast of the site



6.5 Landscape Proposals

The landscape proposals comprise of an extension and formalisation of the car park along with an attenuation basin to support natural drainage plans around the site. A proposed running track runs throughout the site with strategically located rest points to the southeast. A new garden area is also provided for the community group using the activity centre.

The aims of the landscape design include:

- Thinning existing tree and shrub groups and additional native shrub and tree planting to support local ecology.
- Enabling an increase in recreation and engagement with the outdoors.
- Controlling the natural flow of water and enhancing the site's water storage capacity.

The first is accomplished through the general cutting back and cleaning of dead or dying tree and shrub species such as Ash. Better visual access through these dense vegetative areas also helps promote safety when utilising the path to the south of the site. Strategic addition of other native tree and shrub species helps to increase ecology without further limiting visual access through these areas and enhancing its visual and ecological amenity.

The paths are designed together to suit the predicted desire lines from the functional building space, facilities, to the outdoor recreation areas and playing fields in and around the site.

The running and walking paths are designed to encourage further community usage of the site while giving more outdoor space that can be used for fitness and activities by the proposed Activity Centre. The signage and seating around the southern portion of the path also aids in education and engagement for those interested in the local ecology and impact of remediation planting.

Ornamental planting helps to soften the car park and provide more of an entrance for the Activity Centre.

Finally, the SuDS attenuation basin is strategically located to catch the flow of water downhill before reaching the sports pitch. It also provides another ecological environment that is not currently supported on the existing site.



The addition of the formal and less formalized running path gives greater access to outdoor fitness activities. The path created in conjunction with creating healthier stands of trees and shrubs enables greater enjoyment of the outdoors on the site and better ecological education for its users.



The infiltration basin satisfies SuDS sustainability objectives for water management around the site. It is to be planted with a biodiverse seed palette to make it a distinguishing and attractive site feature.



The provision of a community garden attached to the southwestern side of the building allows for increased community usage on the site. It is also likely to increase the site's productivity and grow its education potential for all of its users.

07 Appendices

7.1 Pre-Application Letter

7.2 Pre-Application email from Sport England

7.3 Public consultation

7.1 Pre-application Letter

Stuart Ainsley
Cohesion Consult
Clarendon House
Leeds
LS27 7QT

Please Contact: Nick Hayhurst
Officer Tel No: 07799075059
My Ref: PAA/22/0070
Date: 9 June 2022

Dear Sir

REQUEST FOR PRE-APPLICATION ADVICE

REFERENCE NUMBER: PAA/22/0070

**RE: ADAPT AND EXTEND THE EXISTING ACTIVITY CENTRE TO PROVIDE A NEW ACTIVITY HUB
AT: CLEATOR MOOR ACTIVITY CENTRE, OFF WYNDHAM STREET, CLEATOR MOOR**

Thank you for your pre-application request form which was received on 31/05/2022.

I have now had the opportunity to review the site on the Council's GIS mapping system and the information submitted as part of this enquiry. I would advise that planning permission will be required for this development.

Site Constraints

- There are no protected trees on the site
- The site lies outside the Conservation Area and there are no Listed Buildings within the immediate vicinity of the site
- The site does not lie within an area which is noted for key protected species
- The site is not known as a contaminated
- The site lies within Flood Zone 1

Planning Policy

I would advise that the following policies of the Copeland Local Plan 2013 – 2028 relevant to this proposal are as follows:

- Policy ST1 – Strategic Development Principles

- Policy ST2 – Spatial Development Strategy
- Policy ST3 – Development Priorities
- Policy ST4 – Providing Infrastructure
- ER9 – Key Service Centres
- ER10 – Renaissance through tourism
- Policy T1 – Improving Accessibility and Transport
- SS4 – Community and Cultural Facilities and Services
- ENV 1 Flood Risk and Risk Management
- Policy ENV3 – Biodiversity and Geodiversity
- Policy ENV5 – Protecting and Enhancing the Borough's Landscapes
- Policy DM10 – Achieving Quality of Place
- Policy DM11 – Sustainable Development Standards
- DM21 – Protecting Community Facilities
- Policy DM22 – Accessible Developments
- DM24 – Development Proposals and Flood Risk
- Policy DM25 – Protecting Nature Conservation Sites, Habitats and Species
- Policy DM26 – Landscaping

You can access the Copeland Local Plan 2013 – 2028 using the link below. This contains details of the relevant policies listed above.

http://www.copeland.gov.uk/sites/default/files/attachments/copeland_local_plan_2013_2028.pdf

Emerging Copeland Local Plan

The emerging Copeland Local Plan 2017-2035 has recently been the subject of a Publication Draft Consultation. The Publication Draft Consultation builds upon the previously completed Issues and Options and Preferred Options consultations. Given the stage of preparation of the Copeland Local Plan 2017-2035 some weight can be attached to policies within the Publication Draft where no objections have been received. The Publication Draft provides an indication of the direction of travel of the emerging planning policies, which themselves have been developed in accordance with the provisions of the National Planning Policy Framework.

The relevant policies include: DS2PU, DS3PU, DS5PU, SC1PU, SC2PU, SC3PU, DS1PU, DS6PU, DS7PU, DS8PU, DS9PU, DS10PU, DS11PU, SC4PU, N1PU and BE3PU.

You can access a copy of the Publication Draft using the link below:-

[Local Plan 2021-2038 Publication Draft Consultation | Copeland Borough Council](#)

Principle of Development

The proposal involves the extension and alterations to an existing leisure facility within Cleator Moor, the creation of additional car parking and the installation of a jogging track.

The site lies within the designated settlement boundary of Cleator Moor which is listed under Policy ST2 as one of the Key Service Centres within the Borough where appropriately scaled development is supported.

The proposals would provide enhanced sports and community facilities within Cleator Moor. This would accord with the provisions of Policies ST1 and SS4 and DM21 of the adopted Local Plan.

On this basis the principle of development on this site is considered to be acceptable.

Material Planning Considerations

Flood Risk and Drainage

The site lies within Flood Zone 1.

I have noted the intention to submit a Flood Risk Assessment and Drainage Strategy as part of any submission for planning permission.

Highway Safety and Parking

Any planning application should be supported by a Transport Statement to ensure that the existing highway network has capacity to accommodate the volume of traffic that is likely to be generated by this form of development.

Sustainable forms of transport should be encouraged, including connectivity between the site and the town centre for pedestrians and cyclists. A draft Travel Plan should also be submitted to support the application.

Parking should be provided to meet the requirements as set out in the Cumbria Development Design Guide and should also cater for disabled visitors to the site.

Ground Conditions

This site is not within a Coal Referral Area. Consequently, Standing Advice from the Coal Authority would apply to any application.

The Council does not hold any records which suggests that the site is subject to any contamination, although the provision of a Phase 1 Desktop Study is recommended.

Ecology and Nature Conservation

There are no known issues relating to ecology. I have noted the intention to submit an Ecology Assessment to accompany the application which is welcome and will provide clarity on this issue. Any ecological enhancements that can be achieved on the site as part of this development are encouraged.

The addition of additional landscaping to enhance the ecological benefit of the site is welcome and should be clearly documented.

Trees and Landscaping

As there are a number of small trees that surround the existing building an Arboricultural Assessment should be provided to verify that this part of the site can be developed without having an adverse impact on these trees.

The application should also be supported by a full and detailed landscaping scheme which includes a scheme of proposed maintenance in order to help soften the visual appearance of the development.

Landscape and Visual Assessment

Given that the site is well contained and the proposed development relates to an existing facility which will be viewed against the backdrop of existing buildings any impacts on the local landscape are likely to be minimal. This could be addressed within any Design and Access Statement that is submitted in support of the application.

Landscaping should be considered in order to soften the development where possible. A proposed scheme together with arrangements for the maintenance of any new planting should be provided with the planning application.

Layout, Scale and Appearance

It is accepted that the scale of the extension is determined to some extent by its function. Notwithstanding this consideration should be given to the use of materials and colour to try and break up its bulk and scale when viewed from outside the site.

The use of a contemporary design and the incorporation of active frontages is supported.

The use of appropriate boundary treatments needs to be given careful consideration to minimise the visual impact within the locality, particularly with regards to the service yard.

Impacts on Residential Amenity

As the site is flanked by a number of existing residential properties it is imperative that consideration is given to the potential impacts on residential amenity. Noise should be kept to a minimum and appropriate insulation should be used to mitigate the levels of noise emitting from the buildings should be designed to contain noise. A Noise Assessment should be submitted to support the application.

The extent and positioning of any external lighting would also require careful consideration in order to minimise its impact on residential amenity.

Consideration should also be given as part of the design of the building to potential overlooking and other impacts on the amenities and privacy of the adjoining neighbours.

Sustainability

The incorporation of sustainable measures as part of the design of the extension is welcome. Any generation of energy from on-site provision is also encouraged on the basis that any visual impact can be minimised.

Impact on Provision of Sports Facilities

As the proposal involves the extension and alteration to an existing sports and community facility and the creation of a running track it is essential that Sports England are involved in the proposals at an early stage. They are likely to be a key consultee and their support for the project is vital.

Community Engagement

It is noted that extensive consultation has been undertaken in the formulation of the proposals. It would be worth evidencing this engagement in either a Statement of Community Involvement or as part of the Design and Access Statement,


Summary

The proposal to extend and enhanced an existing leisure and community facility is welcome. The site is able to accommodate the scale of development proposed and the mixture of uses proposed is acceptable. Its location within the settlement boundary of Cleator Moor, which is one of the Key Centres within the Local Plan, is acceptable in principle.

A number of material considerations need to be addressed as part of any planning application. This will require the submission of a number of supporting documents and relevant assessments as set out above.

The Local Planning Authority is keen to engage in proactive discussion to support the submission of a planning application for the proposals as outlined. We offer Pre application advice free of charge.

Please note that the advice in this letter is given in good faith on the basis of the information available at the present time. The advice may be subject to revision following further examination or consultation, or where additional information comes to light, and is therefore not binding on any future recommendation which may be made to the Council or any formal decision by the Council.



N. Hayhurst
Head of Planning and Place

7.2 Sport England Pre-application Email

Pre-Application Advice - Proposed Extension and update of facilities at the Cleator Moor Activity Centre - Sport England Ref: PA/23/NW/COP/64422

The from address Janet.Belfield@sportengland.org is not a recognised contact in Office.net. [Help](#)

From [Janet Belfield](#)

To [Luke Ellis](#)

Date 2023-05-22 17:38:02

Dear Luke

Thank you for your pre-application enquiry (included below) providing follow up information after our introductory Teams call on 17 March 2023. I apologise for the delay in getting back to you due to limited staff resource across the Team, and volumes of casework in our system. You explained that the project is the redevelopment of the existing Cleator Moor Indoor Bowls Centre to provide a wider indoor sporting offer at the centre. Sport England's formal response is set out below:

Sport England – Statutory Role and Policy

The site is known as the Cleator Moor Activity Centre which contains an artificial grass sports pitch (a playing field) and an indoor bowls centre along with ancillary facilities. It is understood that the proposal prejudices the use, or leads to the loss of use, of land being used as a playing field or has been used as a playing field in the last five years, as defined in The Town and Country Planning (Development Management Procedure) (England) Order 2015 (Statutory Instrument 2015 No. 595). The consultation with Sport England at the formal planning application stage would therefore be a statutory requirement.

Sport England has a Playing Fields Policy in place to help it assess such applications. Sport England has considered the proposal in light of the National Planning Policy Framework (NPPF) (in particular Para. 99), and against its own Playing Fields Policy (which is consistent with the NPPF), which states:

'Sport England will oppose the granting of planning permission for any development which would lead to the loss of, or would prejudice the use of:

- all or any part of a playing field, or
- land which has been used as a playing field and remains undeveloped, or
- land allocated for use as a playing field

unless, in the judgement of Sport England, the development as a whole meets with one or more of five specific exceptions.'

Sport England's Playing Fields Policy and Guidance document can be viewed via the link below:

https://www.sportengland.org/how-we-can-help/facilities-and-planning/planning-for-sport#playing_fields_policy

The Proposal and Impact on Playing Field

The proposal is for development of the existing sports hall and it does not propose any works to affect the existing artificial grass pitch. It is understood that the proposals seek to:

- retain the existing sports building and bowls hall and within it provide a 4-court badminton court to provide a multi-sport offer to provide other sports such as indoor 5 a side, basketball, short bowls etc;
- a 700m² extension would be built on the rear of the building that would provide:
 - additional changing, toilet and shower facilities with a dedicated changing places facility;
 - a 30-station fitness suite;
 - a multi-purpose studio; and
 - associated plant and storage facilities.
- alterations would provide a new entrance lobby position and within it a new servery/café; and
- additional car parking would be provided outside the Centre along with a multi user trail.

The proposal would not have any impact on the functional playing field.

Assessment of the Proposal

Extension to Sports Hall

The extension to the sports hall is into land that does not form part of the functional playing field and to provide a changing facility for indoor and outdoor sports. Therefore it would be unlikely for any impact on functional playing field from the extension. The size of the changing facility would need to meet relevant National Governing Body design and size guidance, and Sport England has not

liaised with any National Governing Bodies because it does not undertake routine consultation with them on requests for pre-application advice. The current Football Foundation guidance recommends that each team changing facility be 18m². The layout does not appear to include any officials changing rooms and ought to, ideally two officials' rooms should be provided to accommodate officials of different gender. If you were happy for me to do so I could approach the Football Foundation, England Rugby League (users of the artificial grass pitch), England Badminton, Basketball England and England Bowls to seek their views and seek advice for you on the proposals. Please advise me on this in due course.

Design – Sports Hall Height

You have referred to your intention to design the sports hall in accordance with Sport England Design Guidance Note Sports Halls (2011). For some sports such as Badminton, Volleyball and trampoline the clear internal height above the court to any downward projection such as light fittings, roof mounted equipment and tracking for netting is particularly important. However, working within the existing building, with no addition to the roof proposed, the height within the sports hall may be compromised and not meet design guidance for sports halls. The drawing embedded in your email shows the headroom with the badminton courts positioned centrally about the ridge line, as 5.5m at the baseline and 6.1m at the net to maximise as much height as possible. Sport England guidance recommends a clear minimum height of 6.7m. The design guidance specifically for badminton ([link](#)) explains that the minimum clear heights over the critical volume of the court and below any obstructions such as beams, basketball backboards, cricket net rails and lights are International level 9.0m, Premier level 9.0, Club level 7.5m, and Community level 6.7m. Sport England advises that 6.1 m is the absolute minimum height for recreational badminton such as in a village community hall. Working within the shell of the existing building it's understood that the height is fixed and can't easily be changed without considerable work and cost. It is therefore acknowledged that the height within the hall would not meet design guidance.

Design – Sports Hall Floor Area

You acknowledge that the Sport England recommended size for a four-court sports hall is 34.5 x 20m (690m²) and this size has been advised since the Sports Hall Guidance was updated in 2012. In the past, Building Bulletin 98 referred to a minimum size of 18 x 33 x 7.6m. This size is now considered by Sport England and the NGBs to be unsuitable as it does not allow the recommended court sizes and limits teaching / coaching and flexibility of use. Building a new facility, it would be recommended that the new floor area size is accommodated. However, working within the scope of the existing building the hall proposed is 34.5 x 18m (621m²). You consider this could still accommodate a wide range of sports at a community level of play, albeit with a less generous runoff and spectator area. Realistically adapting the hall to provide a multi-sport offer in addition to bowls would be welcomed, but it is acknowledged that the size and height is restricted due to the size of the existing building shell. Some sports would be easily accommodated and for others that need height may not be possible or play would be compromised.

Badminton courts for community, club and premier use require safety run offs of 1.5 metres along each side and 2 metres at the back. Where curtains are provided between courts the side safety run offs can be reduced to 1.2 metres for community play and 1.3 metres for club and premier play. The safety run offs appear adequate apart from between courts where 2.75 metres is the separation distance between them rather than the standard that requires 1.5 metres per court, so slightly under sized. However, at one end of the hall the margin is indicated to be 2.09 metres on the proposed floor plan, so there could be scope for a slightly greater separation distance between badminton courts.

For basketball, a 33m x 18 m 4-court sports halls can accommodate community/club level of play using the minimum principal play area (PPA) court size and run offs; and 34.5 x 20 m 4-court sports halls can accommodate the preferred PPA court size and run offs for club/community/training level of play. Therefore in this instance the hall could only meet the minimum size permitted for community and club play.

Design – Internal Features

Your design provides space for teams to circulate outside the Sports Hall (in the cafe area) where they have views into the Sports Hall over a half height wall / netting. proud

The development will also provide space for the Copeland Occupational and Social Centre (COSC), separated from the main Activity Centre, towards the existing entrance of the existing building shell, with an activity room, sensory and games room. The COSC facilities have their own secure internal circulation route that can be accessed by both internal and external doors. The existing levels changes are accommodated using internal ramps to accessible WC facilities with adequate space for passing, and manoeuvring for wheelchair users.

Outdoor Features

Vehicle and Cycle Parking

Outside the Activity Centre additional car parking is proposed along with disabled parking spaces located in close proximity to both the entrance and the COSC entrance. Cycle parking is provided under a covered entrance canopy and motorcycle parking is also located and visible from the entrance and studio space. There appears to be opportunities for cyclists and pedestrians to conflict

with vehicle traffic when accessing the activity centre from the B5295 Ennerdale Road, which would need to be addressed. The additional parking is not on functional playing field and therefore it is unlikely to be a matter Sport England would object to.

Running Path

The proposal also includes a new running track / multi-user trail. This is located outdoors on ancillary land around the Activity Centre. Its route follows the topography of the site, around the existing artificial grass pitch and around the remaining sloping land towards the southeast of the site. It does not affect functional playing field; therefore it would be unlikely for Sport England to object to this element of the proposal. It's not clear if the path would be suitable for inclusive use for those walking and cycling or running and it needs to provide for such inclusive use. Some of the site is shown as sloping and the gradients need to be suitable for all users. It would be appropriate to waymark/distance mark it and provide benches or resting points too; and additionally provide links into other paths or access points in the wider surrounding area where possible. I would welcome the opportunity to liaise with England Athletics (EA) on this part of the proposal and seek their input. England Athletics are promoting England Athletics four new track facility concepts "New:Gen" to inspire a new generation to enjoy athletics and running these are PlayTrack, CompactTrack, MiniTrack and ActiveTrack. I am aware that EA could helpfully provide design and materials guidance; and they were helpful when the Millom Community Group were developing the running loop at Millom School.

Active Design

There is a need to ensure that there is safe access into and out of the site for those walking, cycling and wheeling. It's not clear from the site block plan whether there is safe access for active travellers as a segregated footpath and segregated cycle path is not shown. Sport England would welcome the concepts of Active Design being incorporated into your project. Sport England's new Active Design Guidance was launched on Thursday 18th May, and more information about it can be found here: [LINK1](#) and [LINK2](#).

Strategic Need for the Sports Facility

Copeland Council commissioned a Facilities Planning Model report for sports halls from Sport England in 2020. The report showed that there was a shortage of supply of sports halls in Copeland to meet the demand from residents. Copeland Indoor and Built facilities Report 2020 identifies a need for Copeland Borough Council and partners to plan for the refurbishment of Cleator Moor Activity Centre to ensure that it can continue to respond to local health and wellbeing priorities and deliver increased opportunities for participation in physical activity and sport for clubs and the community. It identifies Cleator Moor as one of Copelands' four market towns and it is an area of high deprivation (IMD 2 area). It is also identified to be a Copeland Healthy Town with priorities for dementia, obesity, learning disability and sensory impairment.

Conclusion

Sport England understands the need for the development and would welcome the concept of the scheme in an area of high deprivation where it could enable people from deprived communities have access to good facilities to help them lead more active lifestyles.

It is acknowledged that the height of the converted bowls hall to a multi-sport hall falls short of the height recommended for certain sports such as badminton, but that this would be only one of the sports offered in the sports hall.

Sport England would be unlikely to object to the broad principal of the proposal, but at this point in time a fuller assessment cannot be made for the reasons set out above. Sport England would welcome engaging with the relevant National Governing Bodies and adding their advice into a later response.

Any follow up to this should be sent to Sport England's Team email box planning.north@sportengland.org I am leaving Sport England in June, and my last day will be 16 June. Its not yet determined who will pick this up from me when I leave.

Yours sincerely

Janet Belfield Principal Planning Manager – North, Planning & Active Environments, Place Directorate
T: 020 7273 1610 M: 07919 044159

We have updated our Privacy Statement to reflect the recent changes to data protection law but rest assured, we will continue looking after your personal data just as carefully as we always have. Our Privacy Statement is published on our [website](#), and our Data Protection Officer can be contacted by emailing [Gaile Walters](mailto:Gaile.Walters)

From: Luke Ellis <luke.ellis@robertslimbrick.com>
Sent: Monday, April 17, 2023 4:31 PM
To: Planning North <Planning.North@sportengland.org>
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Subject: Proposed Extension and update of facilities to Cleator Moor, Activity Centre, Cumbria

Ref: 10319 Towns Fund Copeland Cleator Moor

Dear Sir / Madam

Following an initial discussion with Janet Belfield on 17.03.2023 via Teams Call, we are hereby issuing to proposed drawings for pre-application advice to assist in developing the proposals with the target of submitting a full planning application in June 2023. The project is the redevelopment of the existing Cleator Moor indoor bowls Centre to provide additional sporting activities and facilities to Cleator Moor of Cumbria.

Please see attached the following drawings for your review:

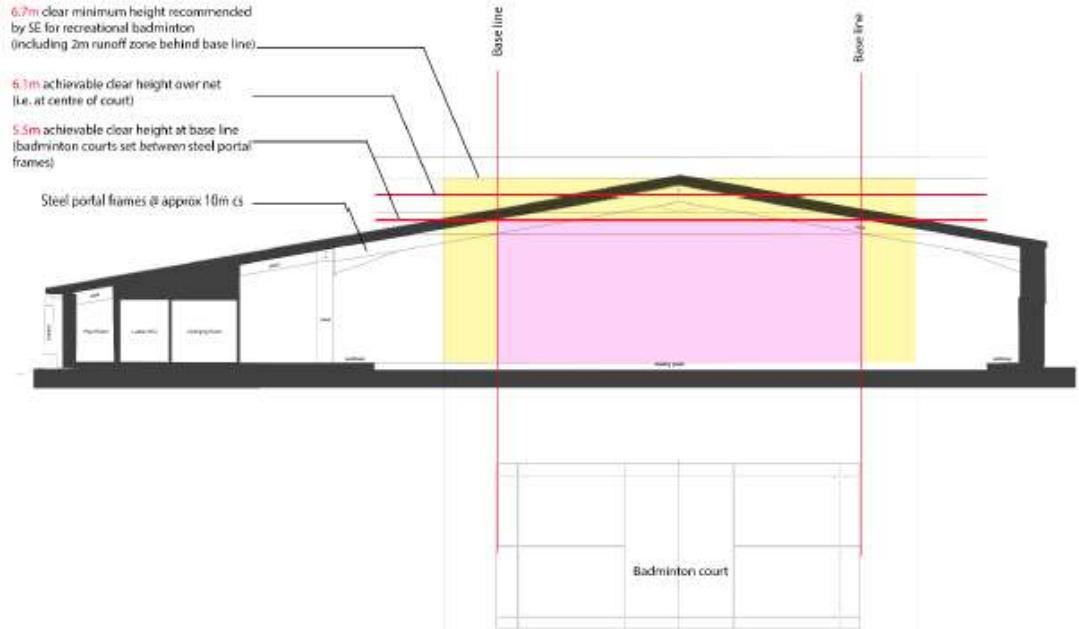
- 10319-RL-XX-ZZ-DR-A-A0001_S2_P01 Site Location Plan
- 10319-RL-XX-ZZ-DR-A-A0002_S2_P01 Existing Site Plan
- 10319-RL-XX-00-DR-A-A0101_S2_P01 Existing Floor Plan
- 10319-RL-XX-ZZ-DR-A-A0301_S2_P01 Existing Elevations
- 10319-RL-XX-ZZ-DR-A-A2002_S2_P01 Proposed Site Plan
- 10319-RL-XX-00-DR-A-A0101_S2_P01 Existing Floor Plan
- 10319-RL-XX-ZZ-DR-A-A2301_S2_P01 Proposed Elevations

General Activity centre

The proposals look to retain the existing building and bowls hall and implement a 4 court badminton court with capacity to provide other sports such as indoor 5 a side, basket ball, short bowls etc. A 700sqm extension built on the rear of the building will provide increase provision of changing, toilet and showers with a dedicated Changing places facility. A 30 station fitness suite an multipurpose studio is also provided within the extension with associated plant and storage facilities. A clearly visible reception / servery is located immediate past the newly located entrance lobby.

The sports hall has been design to the Sport England DGN Sports Halls 2011 at 18m due to the cafe area extending between the Sports hall and fitness suite. It is intended that space for teams to circulate outside the confines of the designated Sports Hall (in the cafe area) where they have views into the Sports hall over the half height wall / netting. Although 34.5 x 20m is the usual recommended size for a 4 court sports hall and considered ideal, 34.5 x 18m is still common and will accommodate a wide range of sports at a community level of play, albeit with a less generous runoff and spectator area.

In terms of the Sports Hall height, given that we are utilising and existing structure, an analysis of the achievable clear head heights is depicted in the diagram below with positioning the Badminton courts centrally about the ridge line.



Cleator Moor Activity Centre - Analysis of clear height over badminton court
Roberts Limbrick - May 2022

COSC

There is to be a separate sub-lease for the Copeland Occupational and Social Centre (COSC) to utilise the newly refurbished facilities, which are separated from the main Activity Centre, towards the existing entrance of the existing building shell, with an activity room, sensory and games room. The COSC facilities have their own secure internal circulation route that can be accessed by both internal and external doors. The existing levels changes are accommodated using internal ramps to accessible WC facilities with adequate space for passing, and maneuvering for wheel chair users.

Site Plan

In terms of the proposals, we are intending to facilitate additional parking in line with the national regulations, and are providing adequate disabled spaces located in close proximity to both the Activity Centre entrance and the COSC entrance. Cycle parking is provided under a cover entrance canopy and motorcycle parking is also located and visible from the entrance and studio space. A new running track is proposed to route along the topography around the existing 3G pitch and around the remaining sloped land towards the South East of the site.

I hope the extent of the proposals make sense. If you have any queries of the attached that you would like me to clear up, or any additional information, please let me know.

Kind regards



Luke Ellis
ACIAT

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7.3 Public Consultation

Copeland Borough Council

Towns
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Cleator Moor Activity Centre – Town Deal

A report by Strategic Leisure Limited

February 2022

Copeland
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1. Introduction

- 1.1. Copeland Borough Council (CBC) commissioned Strategic Leisure Ltd (SLL) to support the process of fulfilling the conditions for the Town Deal award for Cleator Moor Activity Centre redevelopment/refurbishment, and for a potential new facility at Millom. SLL is also carrying out a wider strategic study for Copeland which is based on Sport England's Strategic Outcomes Planning Guidance (SOPG) framework which will assess the strategic need and leisure provision throughout Copeland and will provide a strategic context for future provision, including Whitehaven Sports Centre and provision in Egremont. This report will focus on Cleator Moor Activity Centre. The Government has offered CBC and the Cleator Moor Town Deal Board the sum of up to £22.5m to deliver the Cleator Moor Town Investment Plan (TIP). One of the five projects within the TIP is the Healthy Town Project which involves the redevelopment and enhancement of the Cleator Moor Activity Centre to provide an inclusive and accessible facility to encourage healthy, active lifestyles. The development of a new multi-purpose financially sustainable centre with an indoor sports hall and flexible studio space could provide opportunities for a variety of activities which would be informed through consultation.
- 1.2. The following areas will be covered within the scope of work and in this report:
- **Identify gaps in current service provision;**
 - **Surveys and consultation;**
 - **Optimal facility/activity mix for the future;**
 - **Operational management options and preferred route;**
 - **Business Plan – showing revenue streams; and**
 - **Support funding application to Sport England.**

2. Background

- 2.1. The Healthy Town project has been developed to encourage wider participation in physical activity, recognising that Cleator Moor has a strong provision of sports clubs and outdoor facilities and seeks to improve the inclusivity of the overall offer so that underrepresented groups, such as young women and people with disabilities, are able to participate more widely in sports and recreation. Existing facilities in Cleator Moor do not meet modern requirements for a community-based centre and the Activity Centre building is in poor condition. A new or refurbished centre would improve resident and visitor perceptions of the town and help retain and attract young people and families and strengthen the economy.
- 2.2. This project aligns closely with the development of the synthetic 3G pitch taken forward through accelerated Town Deal funding to improve the existing infrastructure for Cleator Moor's sports clubs.
- **Poor health outcomes** – Health outcomes are a significant driver of deprivation in Cleator Moor. Life expectancy in Cleator Moor is 4 years lower than the national average and people spend fewer years in good health than the national average. Cleator Moor also has a comparatively lower proportion of people in good or very good health, and more people in bad or very bad health compared to the national rate. In terms of wider wellbeing, evidence suggests that Copeland residents have experienced an increase in anxiety which has not been seen across the wider region or national average. There are particular issues of excess weight and obesity, particularly amongst year 6 children; 42% carry excess weight compared to the national average of 34%¹. There is a clear opportunity to address poor health within Cleator Moor to enable residents to enjoy healthier, active and more productive lives.
 - **Difficulties attracting and retaining young people** – Healthy Town seeks to address the challenge that Cleator Moor faces in retaining talented young people and has been designed to improve the sporting, leisure and recreation offer which stakeholder engagement has highlighted as a priority for young people. The loss of young people is a particular challenge for Cleator Moor as the wider borough of Copeland has the lowest projected growth of working age population in the country and an overall ageing population.
 - **Deprivation** – Cleator Moor has pockets of severe and entrenched deprivation which reflects poorer standards of health and education, lower household incomes, and higher levels of benefits dependency. A significant proportion of the town is within the top two deciles for multiple deprivation nationally, of which health deprivation is a key dimension. Without investment, these limited opportunities are likely to persist. A new, refurbished centre would provide sport and health pathways into employment.

¹ Child obesity and excess weight: small area level data, 2017 (Public Health England)

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2.3. The key issues for Cleator Moor outlined in the indices of multiple deprivation (2017) show:

Cleator Moor South ward is within the most deprived 10% of LSOA's nationally, with 17% of children living in low income families and 12% of households experiencing fuel poverty. The Community Wellbeing Index shows poor results for health and voice/participation.

General health in Cleator Moor is poor with 11.3% of residents being very limited in day-to-day activities, against a national average of 8.3%

7.3% of the population classed as long-term sick or disabled, against a national average of 4%.

Out of work claimant rates for the town are 13% compared to the national average of 8.2%. Of the population of Cleator Moor, 30.6% have no qualifications.

Average house prices in 2018 were £109,676 (national average of £322,562). Whilst there is sufficient affordable housing in the town, properties are generally old and energy inefficient stock; unattractive to buy or rent.

There is significant digital exclusion (average of 70%) in Cleator Moor due to lack of physical access to a computer at home. Some have mobile phones but experience poor connectivity and cost barriers.

- **Lack of quality recreation and physical activity space** – The current leisure and recreation offer is weak and does not appeal to a broad cohort of the population, with sports facilities focusing on the bowls green. Cleator Moor has a strong provision of sports clubs and outdoor facilities and a strong sporting culture. Healthy Town has been developed to encourage wider participation in physical activity and seeks to improve the inclusivity of the overall offer so that underrepresented groups such as young women and people with disabilities are able to participate more widely in sports and recreation.

2.4. The Healthy Town project will make a strong contribution to the following strategic objectives for Cleator Moor:

- **To reduce deprivation and improve community health and wellbeing; and**
- **To enhance the quality of life by investing in an improved cultural, sports and leisure offer set within attractive places and spaces including an animated town centre.**

Contribution to COVID-19 recovery

- 2.5. The pandemic has underscored the importance of healthy communities. Healthy Town seeks to promote healthier and happier lifestyles with increased physical activity which impacts positively on both mental and physical health. Health messages from the pandemic are encouraging physical activity for physical health and mental health benefits, and where appropriate to achieve weight loss to reduce risk of serious illness from COVID-19.
- 2.6. There have been high levels of redundancies, job losses, and company closures throughout the town; this project provides an opportunity to improve quality of life for the community which becomes increasingly important during a time of crisis. COVID-19 recovery is crucial and presents an opportunity to transform physical activity habits for the local community.
- 2.7. The 2022 White Paper ‘Levelling Up the United Kingdom’ Executive summary states: “Urban areas and coastal towns suffer disproportionately from crime, while places with particularly high levels of deprivation, such as former mining communities, outlying urban estates and seaside towns have the highest levels of community need and poor opportunities for the people who grow up there” and “While London and much of the South East have benefited economically, former industrial centres and many coastal communities have suffered. This has left deep and lasting scars in many of these places, damaging skills, jobs, innovation, pride in place, health and wellbeing”. This project will do much to address community need and deliver sport and leisure opportunities in Cleator Moor.

Contribution to clean growth principle

- 2.8. The new multipurpose centre would be aligned to the clean growth ambitions and there will be environmental gains through investment in leisure assets and modernising plant and equipment, ensuring buildings and facilities are environmentally sustainable. In addition, physical activity services also have a key role to play in changing peoples’ behaviours to make the change from cars to other more sustainable forms of transport including walking and cycling.
- 2.9. Evidence from the Association for Public Service Excellence (APSE) suggests that leisure centres produce between 10 and 40 percent of a district and unitary council’s carbon direct carbon emissions. The ageing infrastructure is highly energy inefficient and will undermine the Council’s delivery of net zero Carbon targets by 2037, which is the commitment of all the Cumbrian councils.

Project funding and outcomes/outputs

Table 1: Cleator Moor Activity Centre Outputs and Key Conditions

Towns Fund potential allocation - £2.75M

- **Strategic objectives**

- Provide enhanced leisure and recreation space – increasing its inclusivity, visibility and accessibility to attract and retain people in Cleator Moor
- Provide the facilities and infrastructure to empower residents to live healthy, active lifestyles and equip them with the confidence and aspiration to succeed.
- Enable under-represented groups to access and participate in a wider range of activities.
- Encourage young people to access and participate in sports and recreation to maximise opportunities, skills and services and contribute to the economic success of Cleator Moor.

Expected outputs and outcomes

- **Outputs:**

- Upgraded community centre, with sports and activities facilities: 1
- Number of visitors to leisure venue: 75,000 additional visits pa
- Number of new learners assisted (through accredited and unaccredited courses): 125 pa

- **Outcomes:**

An improved leisure offer could support tourism, economic growth, and health improvements in the following ways:

- Social value impact of increased physical activity amongst residents and enhanced increased employability training provision: £13.6 million present value benefit
- Co-location of health services;
- Health services and social area with café ;
- Local employment e.g. café, leisure assistants, cleaners, personal trainers, health workers etc.;
- Inclusion of café could include a café franchise/ local provider or start-up;
- Opportunities for apprenticeships/employment experience;
- Join up the town and existing footpaths/walking routes, improved leisure facilities will contribute to the 'Active Town' concept/Active Travel and Active Environment. Informal track providing connections through to the town;
- Opportunity for cycle hire/bike repair franchise;
- Opportunities for volunteering and an opportunity to build on the extensive volunteering that took place during the pandemic with 600 volunteers supporting the Covid Volunteer Network;
- Improved leisure facilities increase the potential to host events which could attract more visitors/tourists;

Expected outputs and outcomes (con't)

- Population of around 6,700 in the town with an increase in people over 65 years expected over the coming years; this project is an opportunity to provide adaptable and fit for purpose facilities for the future;
- The project will build on the main strengths of the town – the high degree of pride and commitment people have for the place they live, with a strong and close-knit community;
- There have been high levels of redundancies, job losses, and company closures throughout the town; this project provides an opportunity to improve quality of life for the community which becomes increasingly important during a time of crisis. Covid recovery is crucial and presents an opportunity to transform physical activity habits for the local community; and
- Promote a healthier and happier lifestyle with increased physical activity which impacts positively on both mental and physical health. Health messages from the pandemic are encouraging physical activity for physical health and mental health benefits, and where appropriate to achieve weight loss to reduce risk of serious illness from Covid, with associated benefits for the national health service.

Plan for addressing key conditions

- The Council, as the project lead, will provide a more detailed delivery plan that gives an overview of operational and management plans in support of the final Business Case.
- The Council will provide confirmation of match funding arrangements once these have been secured. Discussions have been opened with potential funders including Sport England, SL Social Impact Fund and Copeland Community Fund as sources of match and the Council will submit applications during the Business Case development as detailed information is confirmed to support those applications.
- The Council is working with the Copeland Work & Skills Partnership to develop the skills elements of the project, including more detail on the types of learning/ number of courses this project will facilitate. This will be included as part of the Towns Deal Business Case.

Built Facility Strategy Summary for Cleator Moor Activity Centre

2.10. In 2020 SLL completed a Built Facility Strategy for CBC and the following items were included in the summary specifically for the centre.

- **Review/feasibility study of Cleator Moor Activity Centre which examines future demand based on demographics and prioritising the needs of Cleator Moor and its wider communities; and**
- **The review should consider the viability of retaining existing bowls rinks at Cleator Moor Activity Centre based on a local needs assessment. This could include another option for indoor bowling. Further consideration should be given to the provision of a café to support all future indoors sports activities at Cleator Moor Activity Centre including future bowls provision.**

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New synthetic pitch



Side of centre nearest to pitch



Car park



Rear of centre – space for expansion



Rear of centre and location for part of circular walk



Building near pitch, currently used for storage but could be replaced with modular changing



Approach to front of centre



Front of centre

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Cleator Moor Activity Centre – Town Deal



Current reception area



Fitness suite



Café seating



Bowling area



Bowling area with cafe



Bowling area



Land between centre and pitch

Social value and health benefits

2.11. The Sport England Active Lives survey 2020-2021, reports that 25.9% of the adult population in Copeland is inactive (less than 30 mins physical activity per week). 24.5% of children and young people are inactive in Cumbria, compared to 31.3% average for England. 39.6% of children are leaving primary school in Copeland overweight or obese (34.3% in England). 52.2% of children and young people in Cumbria (England average 44.9%) are doing the Chief Medical Officer's recommended guideline of 60 minutes per day².

2.12. Nationally a more active population is not only healthier, but also impacts positively on the current costs of social care, mental health, dementia and it is estimated reduces GP visits nationally by 30 million a year. The 2019 study by Sheffield Hallam University for Sport England showed that for every £1 invested in sport, £4 of value is returned. Community sport and physical activity is worth £85.5 billion annually; £42 billion of this figure is social value, including improved work productivity, reduced crime, stronger communities, educational attainment, and of course healthier people. This extrapolates for the Cleator Moor project for an investment of £5m to social value benefits of £20m.

2.13. In July 2011 (updated January 2020) the four UK Chief Medical Officers (CMOs) published physical activity guidelines in a joint CMO report 'Start Active, Stay Active' ([UK Chief Medical Officers' Physical Activity Guidelines \(publishing.service.gov.uk\)](#)) covering early years, children and young people, adults and older adults.

2.14. There is a growing acknowledgment within government, national organisations, and services about the benefits of becoming and staying active and there is a willingness to work collaboratively. There is a real understanding of the need to focus on increasing activity in those least likely to participate and embedding active living (i.e. embedding activity into everyday lives), into communities in an inclusive way.



² Sport England, Active Lives, CYP 2, 2019

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- 2.15. This presents a huge challenge to educate and promote the benefits of leading an active lifestyle which can improve our mental and physical wellbeing, confidence, interpersonal skills and sense of achievement. Educating the community about the benefits of active living will be an important part of the overall project in Cleator Moor, alongside the development of the capital project, it is important that we promote and educate individuals and communities about this message, creating awareness of these benefits.
- 2.16. According to the NHS Quality Outcomes Framework 2015-16, Copeland has a higher percentage of the population compared to England with the key diseases of hypertension, diabetes, asthma, and dementia.
- 2.17. 60% of Cleator Moor is in IMD (2019) decile 2 for multiple deprivation (1 being the highest compared nationally), and 60% of Cleator Moor is in decile 1 for health deprivation and disability, which measures the risk of premature death and impairment of quality of life through poor physical and mental health. According to the 2011 census information 12% of people have their day to day activities limited 'a lot' or 'a little'. The provision of a high quality, accessible centre with a wide variety of programmed sports, physical activities, and health related projects will realise significant benefits for the inactive and ill health prevention partners.

Physical inactivity is the fourth leading risk factor for global mortality accounting for 6% of deaths globally. People who have a physically active lifestyle have a 20% to 35% lower risk of cardiovascular disease, coronary heart disease and stroke compared to those who have a sedentary lifestyle. Regular physical activity is also associated with a reduced risk of diabetes, obesity, osteoporosis and colon and breast cancer and with improved mental health. In older adults physical activity is associated with increased functional capacities. The estimated direct cost of physical inactivity to the NHS across the UK is over £0.9 billion per year. ³

Copeland SOPG study – strategic context

- 2.18. SLL is also carrying out a wider strategic study for Copeland which is based on Sport England's Strategic Outcomes Planning Guidance (SOPG) framework which will assess the strategic need and leisure provision throughout Copeland and will provide a strategic context for future provision, including Whitehaven Sports Centre and provision in Egremont. The Cleator Moor project is one of a portfolio of potential investments in physical activity across Copeland, as set out in the SOPG report. These investments respond to the needs identified in the 2020 Built Facility Strategy (BFS).
- 2.19. The Built Facility Strategy for Copeland (2020) identified that there are 6 strategic sized sports hall (with 3 or more badminton courts) but only 2 of these provide access during the day because they are on educational sites. The Facility Planning Mode for Copeland sports halls in 2022 established that supply slightly exceeded demand, therefore there are no additional badminton courts required. However, the percentage of the population with or without access to a car is important, because it influences travel patterns to sports halls.

³ Source: Public Health England

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- 2.20. If there is a high percentage of the population with access to a car, as there is in Copeland then more visits to sports halls are by car. If the reverse is true, then a network of locally accessible sports halls is important for residents who either walk or use public transport to travel to a sports hall. The findings for Copeland from Sport England's Facility Planning Model are that 81% of visits to sports halls are by car (up to 20 minutes' drive time), 10% of all visits by walking (20 minutes/1-mile catchment area), and 9% of visits are by public transport (20 minutes catchment area). Car ownership in Cleator Moor is particularly low and, although it is in the 20 minute drive time catchment area of Whitehaven Sports Centre, a facility local to Cleator Moor would ensure that access is available to a sports hall by foot and public transport which would optimise opportunities for participation in sport and physical activity.
- 2.21. There are several options being identified and costed by architects and a project management company for Whitehaven Sports Centre which currently has 9 badminton courts. The centre is in need of major refurbishment in the short term and there are aspirations to relocate the centre, potentially combining provision with Copeland Pool or on a separate out of town site. These options would reduce the number of badminton courts available at Whitehaven Sports Centre and therefore strategically it makes sense to invest in local provision in Cleator Moor which would also be accessible to residents from Egremont. Another option under consideration is the provision of a specialist gymnastics centre based in Whitehaven Sports Centre which would require the conversion of 3 badminton courts (reducing the overall number to 6), which again demonstrates the need for more local provision in Cleator Moor.

3. Surveys and Consultation

Surveys

- 3.1. In addition to the consultation with key stakeholders, 2 surveys were promoted: a bowling survey and general survey. The full summary is attached in Appendix 1.

Bowling survey

- 3.2. This was distributed, using databases from GLL, the current building operator, and also the local indoor bowls organiser, in August 2021 with a closing date in mid-September 2021. The survey was designed to ascertain the views of bowlers, particularly with regard to using the facility for multi-purpose activities and quality issues.
- 3.3. There were 33 responses received, 85% of these were male and 15% female and over 75% were over 65 years old. This is a disappointing return, but it is expected that the views from these bowlers would be reflective of the wider bowling membership (approximately 150 bowlers). The respondents were from a variety of postcodes with 12% coming from Cleator Moor (CA25). A significant majority (85%) intend to return to use the centre at least once per week. Of those not returning there are various reasons including cost, lack of facilities, and poor bowling surface.
- 3.4. 60% of those completing the survey said that the Activity Centre meets the needs of the local area with those who thought otherwise citing lack of facilities, outdated facilities, and limited free use. In terms of quality, there was a mixed response with 55% feeling that facilities are excellent, adequate or fit for purpose with 45% feeling that the facilities require investment or are poor. 50% of the respondents felt that there were issues around the condition of the bowling carpet, almost half felt there were problems relating to programming of other activities on the bowling carpet, and 20% cited cost as a factor. The majority of comments were in favour of other uses of the area as long as the carpet was protected adequately.
- 3.5. 75% of respondents felt there should be a minimum of 5 rinks, with 20% citing 4 and 10% 2.

General survey

- 3.6. This was promoted through social media and partner organisations, for example the Town Council and also to the current users (database GLL). The survey was available from mid-August 2021 to mid-September 2021 and was designed to capture the views of centre users (not bowlers) and non-users.
- 3.7. There were 76 responses with 54% female and 46% male and these were across all age groups, particularly 25-64 yrs old. 6% were 16 to 24 years old. 65% of respondents were from Cleator Moor (CA25) and nearly 10% from CA23. Of the respondents to the survey 20% were current users of the facilities and 80% non-users which is particularly important in ascertaining future use of the facility.

- 3.8. Non users do not use the facility primarily because of lack of facilities, the facilities are outdated, lack of time and a variety of other reasons. 78% of respondents felt the centre does not meet the needs of the local community, 22% thought that it does. Only 23% of people felt that the facility required improvement, but this should be taken in context that most of the respondents are non-users and many were not aware of what facilities the centre has. 50% would like a sports hall and a café, 35% fitness, and 32% an informal track. The most popular activities that people would like to see in the centre were fitness, badminton, events and holiday activities for children but most sports had interest from respondents. The needs of disabled people were mentioned by several of the people completing the survey.

Consultation

- 3.9. Consultation took place with a number of stakeholders including:

- Cleator Moor Town Council
- Egremont Town Council
- England Indoor Bowls Association
- Public Health
- Active Cumbria
- Phoenix Youth Project
- Local schools
- England Short Mat Bowls
- GLL

- 3.10. There were a number of key issues arising from the consultation, including:

- **Cleator Moor Activity Centre should be accessible to the whole community and provide a wide range of activities. Currently the perception is that the facility only caters for bowlers, numbers are diminishing, and the bowlers come from outside the Cleator Moor area;**
- **The centre should provide some protected time for use by young people e.g. through the Phoenix Youth Project and quiet times should be provided free of charge to hard to reach groups;**
- **The centre is in need of a major refurbishment as the quality of the facility is lacking and access, signage and promotion of the facilities is considered to be poor;**
- **There were 300 active bowlers 20 years ago, this has reduced to 150-200 bowlers. England Indoor Bowls Association is in support of making the centre more multi use providing the carpet can be adequately protected;**

- **Short mat bowls is an alternative option to indoor bowls, or can be provided as an additional activity either in the sports hall or on the flexible floor covering the bowling green, although it should be noted that the current bowlers wouldn't necessarily feel that transferring to short mat bowls would be an option for them. This was suggested by England Short Mat Bowls and GLL;**
- **The proposed health rooms could be utilised by health practitioners including health and wellbeing co-ordinators, diabetes prevention, social prescribing and musculoskeletal (msk) services;**
- **Informal track – opportunity to connect two housing estates to the centre and also to join up with the Connected Town project (cycle paths/footpaths), as part of track will overlap;**
- **Public transport is considered to be a real issue where currently access to leisure facilities is difficult unless the family own a car; and**
- **Cleator Moor is well catered for traditional male outdoor sports such as rugby and football but provision for other sports and activities is very limited.**

4. Optimal Facility/Activity Mix

- 4.1. The consultation results from the surveys and stakeholders provides some options for consideration. It is clear that the local community considers that the centre should be something that services all of the community rather than just the bowlers who are predominantly over 65 years old with numbers diminishing each year. There is a desire to see a high quality local facility, with a wider variety of activities which will appeal to all ages.
- 4.2. The bowling provision, however, is of strategic importance in the area and it may be considered important to retain indoor bowling provision either at the current level or with a reduced number of rinks. Alternatively, short mat bowls could be provided, although it is important to note that many of the current bowlers would not consider this an alternative for them. Options 1-3 below retain the current bowling rinks, (although option 1 reduces the number of rinks from 5 to 3) and options 1-3 all introduce the option of making the current bowling green carpet more multi-functional by utilising locking tiles or boarding on top of the current rink. There are 2 main suppliers which are recommended by the EIBA – Dale Sport Services and Greengage. Options 4, 5 and 6 would mean no indoor green bowling in its current form. 6 options for consideration are therefore detailed below:

Table 2: Options for facility mix

Option	Facility Mix	Capital Cost
Option 1	<ul style="list-style-type: none"> • No sports hall extension to the current facility • 3 of the 5 bowling rinks are retained and the remaining area is used for other activities, bowling rink area has tiling/boards to make the bowling surface a flexible floor space. The reduction in number of rinks could provide space to accommodate 2 badminton courts size space (but ceiling too low to accommodate community badminton playing) • 30 station gym • 1 spin studio – approx. 20 spin bikes • 2 consultation rooms (including a sink) – suitable for co-location of NHS services – partnership with health providers e.g. musculoskeletal, cardio rehab, social prescribing • Café and vending (potential for a bar for functions) • Changing rooms to accommodate centre and new pitch • Storage • Car parking • Outside – an informal track – running, walking, cycling (about 3 metres wide, timber edge, crushed limestone or tarmac). Low level lighting. • Inclusion of COSC 	£6,392,000

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Option	Facility Mix	Capital Cost
Option 2	<ul style="list-style-type: none"> • Main sports hall extension – 2 badminton courts • Current bowls area (5 rinks) retained but with a flexible floor space (i.e. floor covering) • 30 station gym • 1 spin studio – approx. 20 spin bikes • 2 consultation rooms (including a sink) – suitable for co-location of NHS services – partnership with health providers e.g. musculoskeletal, cardio rehab, social prescribing • Café and vending (potential for a bar for functions) • Changing rooms to accommodate centre and new pitch • Storage • Car parking • Outside – an informal track – running, walking, cycling (about 3 metres wide, timber edge, crushed limestone or tarmac). Low level lighting. • Inclusion of COSC 	£7,800,000
Option 3	<ul style="list-style-type: none"> • Main sports hall extension – 4 badminton courts • Current bowls area (5 rinks) retained but with a flexible floor space (i.e. floor covering) • 30 station gym • 1 spin studio – approx. 20 spin bikes • 2 consultation rooms (including a sink) – suitable for co-location of NHS services – partnership with health providers e.g. musculoskeletal, cardio rehab, social prescribing • Café and vending (potential for a bar for functions) • Changing rooms to accommodate centre and new pitch • Storage • Car parking • Outside – an informal track – running, walking, cycling (about 3 metres wide, timber edge, crushed limestone or tarmac). Low level lighting. • Inclusion of COSC 	£10,205,000
Option 4	<ul style="list-style-type: none"> • Demolish current centre (no indoor green bowling) • Provide 4 badminton court sports hall new build • 30 station gym • 1 spin studio – approx. 20 spin bikes • 2 consultation rooms (including a sink) – suitable for co-location of NHS services – partnership with health providers e.g. musculoskeletal, cardio rehab, social prescribing • Café and vending (potential for a bar for functions) • Changing rooms to accommodate centre and new pitch 	£7,175,000

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Option	Facility Mix	Capital Cost
	<ul style="list-style-type: none"> • Storage • Car parking • Outside – an informal track – running, walking, cycling (about 3 metres wide, timber edge, crushed limestone or tarmac). Low level lighting. • Inclusion of COSC 	
Option 5	<ul style="list-style-type: none"> • Siting all of the changing/café/studio and fitness facilities (as below) within the current bowling area (no indoor green bowling) • Main sports hall extension – 2 badminton courts • 30 station gym • 1 spin studio – approx. 20 spin bikes • 2 consultation rooms (including a sink) – suitable for co-location of NHS services – partnership with health providers e.g. musculoskeletal, cardio rehab, social prescribing • Café and vending (potential for a bar for functions) • Changing rooms to accommodate centre and new pitch • Storage • Car parking • Outside – an informal track – running, walking, cycling (about 3 metres wide, timber edge, crushed limestone or tarmac). Low level lighting. • Inclusion of COSC 	£6,265,000
Option 6	<ul style="list-style-type: none"> • Repurpose bowls area as 4 court sports hall and add new extension to site all other facilities (no indoor green bowling) • 30 station gym • 1 spin studio – approx. 20 spin bikes • 2 consultation rooms (including a sink) – suitable for co-location of NHS services – partnership with health providers e.g. musculoskeletal, cardio rehab, social prescribing • Café and vending (potential for a bar for functions) • Changing rooms to accommodate centre and new pitch • Storage • Car parking • Outside – an informal track – running, walking, cycling (about 3 metres wide, timber edge, crushed limestone or tarmac). Low level lighting. • Inclusion of COSC 	£6,217,000

*An additional studio/flexible space would be preferable in all options but has been discounted due to capital cost

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4.3. The table below illustrates the advantages and disadvantages of each of the options and recommendations for progressing these options.

Table 3: Advantages and Disadvantages for each option

Option	Advantages	Disadvantages	Meets community need	Recommendation
Option 1 (refurbishment and reconfiguration)	<ul style="list-style-type: none"> Some facility improvement Flexible flooring over the bowling green to enable other activities to be programmed 	<ul style="list-style-type: none"> Significant capital costs for limited facility improvement Bowlers likely to feel this area much less suitable for their needs from a playing perspective by reducing from 5 rinks to 3 Ceiling too low to include higher level badminton Inability to relocate COSC to this venue Impact on current contract with GLL during refurbishment closedown eg staffing etc Sport England do not fund refurbishments 	No	Not to pursue this option
Option 2 (retain bowls area and 2 court extension)	<ul style="list-style-type: none"> Flexible flooring over the bowling green to enable other activities to be programmed New 2 court badminton sports hall and other facility improvements, which will enable achievement of key outcomes Indoor bowling players will be happy 	<ul style="list-style-type: none"> Retention of existing building and reduced energy efficiency Potentially unaffordable Impact on current contract with GLL during refurbishment/new build closedown eg staffing etc 	No – potentially unsupported by the community as 2 court hall (rather than 4 court)	Not to pursue this option
Option 3 (retain bowls area and 4 court extension)	<ul style="list-style-type: none"> Flexible flooring over the bowling green to enable other activities to be programmed New 4 court badminton sports hall and other facility improvements, which will enable best achievement of key outcomes 4 court will enable basketball, netball, 5 a side football Indoor bowling players will be happy 	<ul style="list-style-type: none"> Retention of existing building and reduced energy efficiency Unaffordable Impact on current contract with GLL during refurbishment/new build closedown eg staffing etc 	Yes	Although this is the best option from a community perspective, the capital costs are prohibitive

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Option	Advantages	Disadvantages	Meets community need	Recommendation
Option 4 (new build)	<ul style="list-style-type: none"> • Option to build in same place or parallel to synthetic pitch • Can continue operation of current building until new centre ready to open • New building will be more energy efficient – significant carbon footprint benefits • New building will be a high quality visitor experience and encourage more attendances • Smaller building will be cheaper • More attractive to a private operator • Private operator could take on structural building repairs with a new build • Would require less parking • Improved facilities based on community need • 4 court will enable basketball, netball, 5 a side football and combination of facilities will enable achievement of key outcomes 	<ul style="list-style-type: none"> • Discontinue indoor bowling in present form – bowlers potentially very unhappy 	Yes – although bowlers will be displaced	To pursue this option and develop a revenue plan
Option 5 (facilities sited in bowls hall plus 2 court extension)	<ul style="list-style-type: none"> • Potentially a cheaper option by utilising existing facility • Would require less parking • Improved facilities based on community need 	<ul style="list-style-type: none"> • Discontinue indoor bowling in present form – bowlers potentially very unhappy • Retention of existing building and reduced energy efficiency • 2 court hall will prohibit basketball, netball, 5 a side football • Impact on current contract with gll during refurbishment/new build closedown eg staffing etc 	No – potentially unsupported by the community as 2 court hall (rather than 4 court)	Not to explore this option

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Option	Advantages	Disadvantages	Meets community need	Recommendation
Option 6 (repurpose bowls hall to 4 court hall and additional facilities extension)	<ul style="list-style-type: none"> • Potentially a cheaper option by utilising existing facility • Would require less parking • Improved facilities based on community need • 4 court will enable basketball, netball, 5 a side football and combination of facilities will enable achievement of key outcomes 	<ul style="list-style-type: none"> • Discontinue indoor bowling in present form – bowlers potentially very unhappy • Refurbishment as opposed to new build – quality of facility compromised • Retention of existing building - reduced energy efficiency • Potential unknowns of the current building and risk associated with this – not able to pass on lifecycle and maintenance risks to the contractor • Ceiling too low to include higher level badminton • Impact on current contract with gll during refurbishment closedown eg staffing etc • Provision would need to be made for gll to manage the synthetic pitch during any closedown eg portacabin etc • Sport England do not fund refurbishments • More uncertainty over capital costs than a new build 	Yes – although bowlers will be displaced	To pursue this option and develop a revenue plan

- 4.4. All of the options include a facility for Copeland Occupation and Social Centre (COSC) as part of the overall site plan. COSC is a day centre for individuals with physical disabilities and is open Monday to Friday 10am to 4pm. There are 27 members and a waiting list currently. COSC is keen to explore the opportunity of moving to the Activities Centre due to their current accommodation not being inadequate for their needs including lack of outdoor space and the potential for the activities at the centre being more accessible.
- 4.5. Options 1, 2 and 5 have not been recommended to be progressed as they do not meet the community need as they do not provide a suitable facility for some of the activities that were requested as part of the consultation process i.e. a 4 court sports hall. Options 3, 4 and 6 all meet the community need, consultation, and strategic objectives. Whilst option 3 is highly desirable, given it satisfies the current usage for indoor bowling, Therefore Options 4 and 6 are recommended to be developed (capital cost permitting) and the following facility mix and the activities these would allow, have been identified below:

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Table 4: Facility optimal mix and illustration of activities which could be programmed within these facilities

Facility	Facility Mix
Cleator Moor Activity Centre	<ul style="list-style-type: none"> • Main hall (max 4 badminton courts) – 2 options (options 2 above for 2 courts and options 3, 4 and 5 above for 4 courts) • Current bowls area retained but with a flexible floor space (i.e. floor covering) (Options 1-3) • 30 station gym • 1 spin studio – approx. 20 spin bikes • 2 consultation rooms (including a sink) – suitable for co-location of NHS services – partnership with health providers e.g. musculoskeletal, cardio rehab, social prescribing • Café and vending (potential for a bar for functions) • Changing rooms to accommodate centre and new pitch (depending on cost of inclusion indoors) • Storage • Car parking • Outside – potential for an informal track – running, walking, cycling (about 3 metres wide, timber edge, crushed limestone or tarmac). Low level lighting. • Facility for COSC
Activities:	<ul style="list-style-type: none"> • Indoor bowling (options 1-3) • Short mat bowls • Health services • Pathways to employment support through health and sport – plus sports/coaching skills/training • Events e.g. cinema, social area etc • Tea dances • Dance • Yoga • Fitness • Disability groups • Cycling/ Spinning • Under 5's • Parents and toddler • Martial arts • Badminton (2 court or 4 court hall option) • Gymnastics • Short mat bowls • Youth activities • Walking, running, football etc • Basketball, netball, indoor cricket nets, carpet bowls, and indoor football (if 4 courts)

Estimated attendances at new/refurbished centre

- 4.6. The estimated number of attendances with the improved facility will increase from the current level of just over 15,000 p.a. to approximately 178,000 for option 4 and 155,000 for option 6. These are Year 1 estimates and attendances are likely to increase by up to 30% by year 6/7; these estimates are conservative and there is potential to increase these numbers (please see Table 5). Attendances for option 6 will depend on the quality of the refurbishment; the higher the quality the more attendances that can be expected.

Table 5: Estimated attendances at new centre

Activity	Actual participation 2018/19	Projected participation in Year 1 new build Option 4	Projected participation in Year 1 with repurposed bowls and ancillary facilities extension Option 6
TOTAL	15,272	Approximately 178,000	Approximately 155,000

Financial Sustainability

- 4.7. The current operational subsidy from the council to the current leisure operator is approximately £50,000 p.a. (through the contract with GLL/CBC); this level of subsidy is not considered to be something the council can afford on an ongoing basis. Two new high level business plans have been developed as part of this report for the 2 recommended options 4 and 6 (summary in table 6) Please see Appendix 2.

Table 6: Indicative business plan net figures for operation of the new centre

Facility	Subsidy/Surplus
Current	£50,000 subsidy
Option 4 – new build	£56,850 surplus
Option 6 - repurpose bowls hall to 4 court hall and additional facilities extension	£42,814 surplus

- 4.8. A new/refurbished centre would be financially sustainable in revenue terms, (as highlighted in the table above) with a surplus of approximately £57,000 pa for a new build facility and approximately £43,000 pa for a repurposed indoor bowls hall 4 badminton court hall with ancillary facilities as an extension. The surplus in operational costs could be reinvested into the facilities/activities. In addition, Option 4 would be aligned to the clean growth ambitions and there will be some significant environmental gains. Investment in leisure assets and modernising plant and equipment, ensuring buildings and facilities are environmentally sustainable, will provide significant carbon footprint reductions.

- 4.9. However, either of these 2 options would ensure the new facility is more financially sustainable and would also deliver more users and a wider variety of activities, although the indoor bowlers would be displaced in both options. Another benefit of option 4 is that the new sports hall could be built on a different footprint within the site, thus allowing for the current centre to remain open while the building work takes place which will ensure some continuity of provision. Both business plans include below the line costs for sinking funds based on 1.5% of capital costs (Sport England recommended), however this is not currently included in the operational costs of the Cleator Moor Activity Centre so for comparison purposes these have been excluded above.
- 4.10. There are some disadvantages with a 4 court sports hall being built in a repurposed bowls hall (Option 6) and these have been summarised in table 3. Some of these disadvantages will have ongoing revenue consequences for the Council; the disadvantages which have the most impact compared to the new build option (option 4) are:
- **A refurbishment will not have the same quality finishes and feel as compared to a new build and the frontage of the centre may look unchanged;**
 - **Retention of existing building will mean reduced energy efficiency compared to a new build and any carbon footprint reductions will be minimal;**
 - **From a maintenance and lifecycle perspective, there are potential unknowns of the current building and therefore there is risk associated with this – these risks will not be able to be passed on to the contractor;**
 - **There will be an impact on the current contract between CBC and GLL during the refurbishment closedown eg staffing etc, which could be costly for the Council;**
 - **Provision would need to be made for GLL to manage the synthetic pitch during any closedown eg portacabin etc; and**
 - **There is more uncertainty over capital costs for a refurbishment than for a new build.**
- 4.11. All of these factors should be taken into account when selecting the preferred option and clearly the most important criteria of all is to select an option which delivers the expected community outcomes and is affordable.
- 4.12. SLL has undertaken consultation with both the existing indoor bowlers and the NGB over the future provision in Cleator Moor. Whilst in an ideal world the indoor bowling facility would be retained, this does not facilitate increased activity within the Cleator Moor community and the new facility will offer a broader range of participation opportunities across the community which will deliver the required outcomes in terms of health and participation. To mitigate the impact of there being no bowls specific facility, Short Mat bowling opportunities will be available in the new facility together with a range of programmes and activities developed specifically for older people. CBC will work on this in partnership with Active Cumbria and their incumbent operator GLL.

Capital funding

- 4.13. The original project costs were estimated at £5.03million. The Council engaged an architect (Robert Limbricks) with substantial leisure centre experience who have developed plans for each of the options; Press and Starkey, a project management/QS company, has provided estimate of costs for each of these options. All options currently exceed the original estimated sum due to price inflation and the addition of accommodation for COSC which was not in the original scheme. These costs, and the associated match funding required, are identified in the table below. Nationally capital costs for building have significantly increased over the last few years and therefore the original estimates have proved to be insufficient.
- 4.14. The challenge therefore has been to develop a scheme which is achievable in the funding envelope available – options 4 and 6 have therefore been identified as providing best value for money and achieving significant community outcomes.

Table 7: Indicative capital costs for each option and partnership funding shortfall

	Option 1	Option 2	Option 3	Option 4	Option 5	Option 6
Estimated capital cost	£6,392,000	£7,800,000	£10,205,000	£7,175,000	£6,265,000	£6,217,000
Towns Fund allocation	£2,750,000	£2,750,000	£2,750,000	£2,750,000	£2,750,000	£2,750,000
Match funding required	£3,642,000	£5,050,000	£7,455,000	£4,425,000	£3,515,000	£3,467,000

5. Partnership funding and Sport England

- 5.1. Potentially Sport England funding may be available for this project or more likely as a contribution to a portfolio of projects across Copeland – as a result of CBC following the Strategic Outcomes Planning Guidance process, which informs any allocation of grant funding from the Strategic Investment Fund. The maximum award would be £2m from this pot and in reality, if any funding is awarded, the amount is likely to be much lower. SLL has a continuing dialogue with Sport England regarding this project, Whitehaven SC, and the Towns Fund project at Millom. The SOPG work for Copeland will help inform any funding support from SE.
- 5.2. SE does not, however, fund refurbishments and therefore if Option 6 is the preferred option for Cleator Moor, SE funding would not be available for the project. Confirmed match funding for the Cleator Moor project is a condition of the Towns Fund award. CBC has indicated that it would prefer to source any partnership funding from grant providers rather than any Prudential Borrowing.
- 5.3. There are numerous other pots of grant funding available in Copeland and Cumbria. It is our understanding that CBC is approaching a number of sources to access funding towards this project:
- **Sellafield Ltd through the Social Impact Fund (SIF) - currently part funds several projects and it may provide further funding for the Cleator Moor project, although the likelihood is that this would be for the COSC element only;**
 - **Copeland Community Fund;**
 - **Cumbria Community Foundation;**
 - **Section 106; and**
 - **Funding from key partners such as health and youth services.**
- 5.4. It would be useful for the Council to develop a funding strategy in relation to the capital projects in Copeland to ensure that funding sources are targeted in a co-ordinated and strategic manner.
- 5.5. There is potential for reduction in facilities if the total amount of capital is not available. Value engineering could take place to reduce the specification of materials, plant etc but should be approached with caution and should not affect the sustainability of the facilities.

6. Operational management options and preferred route

6.1. The table below sets out the options available for management of the new/refurbished centre. Whilst there are alternative options available to the existing outsourced arrangement, due to the lack of an existing charitable trust and in the current absence of a community organisation willing to consider an asset transfer, it may be prudent to continue with the current arrangement. The proposed centre has multiple facilities which require leisure management expertise for programming, marketing, and operations and therefore it would not be easy to find an alternative arrangement or provider. The existing contract with GLL has been extended to the end of March 2024 which is now co-terminus with the Allerdale contract. There is an intention to reprocure jointly with Allerdale. Consideration could also be given, because of impending local government reorganisation, to ensure that in the new unitary authority the contracts are co-terminus. The contract in Eden finishes in 2027 and Carlisle in 2035.

Table 8: Potential Management models for Cleator Moor Activity Centre: Advantages and Disadvantages

Governance option	Advantages	Disadvantages
In house management (CBC)	<ul style="list-style-type: none"> • Retain all income/surpluses • No set up costs (apart from staff and management costs) • Control over activities, marketing and community engagement 	<ul style="list-style-type: none"> • No experience in house and currently CBC doesn't manage any facilities • Direct responsibility for management and operations • Risk is with CBC • Employment of staff to operate facilities • Responsible for expenditure/maintenance/investment • Reliance on central support • No VAT or NNDR relief, therefore management more expensive • Less flexibility • Least preferred option in survey/consultation
Outsourced	<ul style="list-style-type: none"> • Transfers risk to contractor • Fixed contract term • Coming to end of current contract with GLL • Opportunity to realign contract in relation to Local Government Reorganisation • Contractor usually meets all costs • Contractors offer Non-profit distributing organisation (NPDO) – National Non Domestic Rates (NNDR) and VAT benefits • New centre more likely to be attractive to external contractor • Specification in place for programming/pricing etc. 	<ul style="list-style-type: none"> • Contractor market affected by COVID19 and unlikely to gain any interest in contract • Formal procurement process – specification and performance measures – expensive for CBC as would need external support as no in-house expertise (£30,000 approx.), however contract coming to an end with GLL (March 2024) and therefore would need to re procure anyway • Client monitoring of contract • Contractor retains income

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Governance option	Advantages	Disadvantages
Establishing a new organisation (social enterprise)	<ul style="list-style-type: none"> • Risk transfers to NPDO (providing sufficient financial resources available) • Assets transferred under a lease to NPDO • Financially independent from CBC • FT leisure manager and professional staff, supported by Trustees 	<ul style="list-style-type: none"> • Contract and specification (as outsourced management option) • Recruit suitable personnel • Support costs/services to be considered – can be high for single operation NPDO's • Set up costs vary and can be considerable depending on resources available at CBC
Asset Transfer	<ul style="list-style-type: none"> • Transfer of asset – freehold or long term lease • No set up costs – only legal agreement for asset transfer • Demonstrate best value – no requirement to tender • Operating risk with third party • Often easier for third party to secure external funding • If asset transfer to Town Council - ability to raise income for operating costs, e.g. precept • Community engagement often easier at a more local level • Could create a charity/trust to benefit from VAT and NNDR relief post asset transfer 	<ul style="list-style-type: none"> • CBC does not have same level of control over pricing and programming as traditional contract or in-house management • Is there a willing partner/community organisation to take this on? • Variety of facilities in proposed facility which requires expertise in programming/marketing and operational leisure management
Existing Charitable Trust Management	<ul style="list-style-type: none"> • Transfer of asset – freehold or long term lease • Another body has already incurred set up costs– only legal agreement for asset transfer • Charitable Trust benefits from VAT and NNDR relief • Operating risk with third party • Easier for third party to secure external funding if charitable status • Consider a Trust already managing leisure facilities - Expertise and experience in managing leisure facilities and dealing with the local community • Community engagement often easier at a more local level 	<ul style="list-style-type: none"> • CBC does not have same level of control over pricing and programming as traditional contract or in-house management • No existing Management Trusts, therefore, not really an option

7. Recommendations

7.1. It is recommended that:

- **The new centre optimal facility mix is Option 3, based on the results of the consultation exercise, because this achieves the maximum physical activity and health benefits. However, due to capital funding constraints Options 4 and 6 are the preferred options based on need and affordability and will achieve significant outcomes and better value for money in terms of capital costs.**
- **Consideration be given to the advantages and disadvantages of Options 4 and 6 and that these are factored into the decision making process.**
- **If Option 4 or 6 is considered the preferred route, it is recommended that consultation is carried out with the bowling club and also the NGB as either of these options will mean no provision for the existing indoor carpet bowlers.**
- **A funding plan be developed to co-ordinate applications for grants and funding partnerships. This should be set within the wider strategic context of provision within Copeland.**
- **SLL engagement with Sport England regarding funding for Cleator Moor (if Option 4 selected), Millom, and Whitehaven projects is continued.**
- **CBC continues with the existing outsourcing arrangement for managing the new centre due to the lack of an existing charitable trust and in the current absence of a community organisation willing to consider an asset transfer.**
- **Given that the current contract with GLL has been extended to the end of March 2024 which is co-terminus with the Allerdale contract and there is an intention to reprocure jointly with Allerdale (The contract in Eden finishes in 2027, and Carlisle in 2035), consideration could also be given, because of impending local government reorganisation, to ensure that in the new unitary authority all the contracts are co-terminus.**

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