

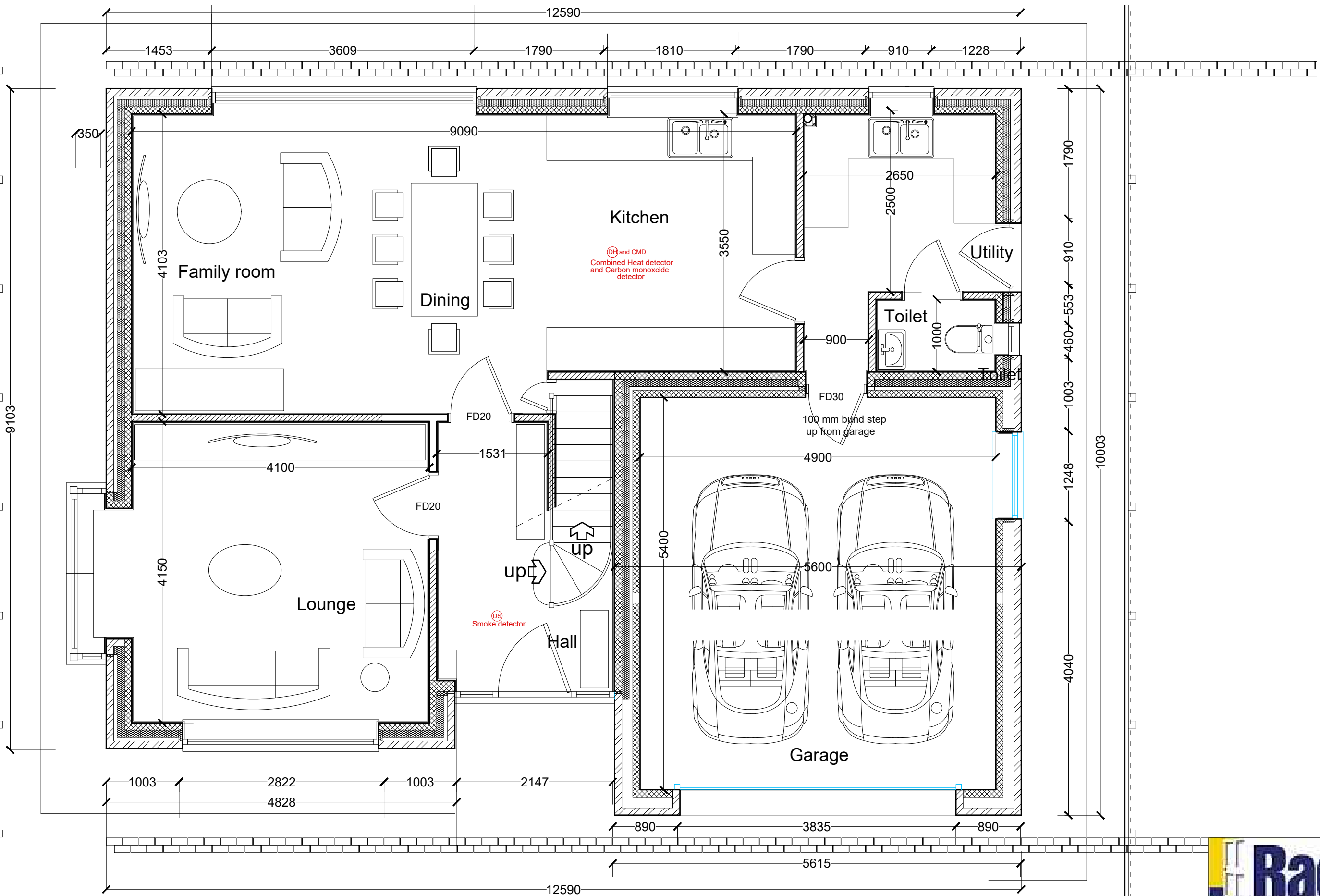
RESIDENTIAL DEVELOPMENT  
 SCHOOL BROW/ MORESBY PARKS ROAD  
 MORESBY  
 CUMBRIA  
 CA28 8UU

TYPE ONE  
 THE LORTON

**Geoffrey Wallace Limited** FCSD MCIAT  
**Architectural Design and Technology**  
 Mobile 07816046756  
 geoffreywallaceltd@gmail.com

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SCALE BAR 1/200 ORIGINAL DRAWING SIZE A3	0.0	2.0	4.0	6.0	8.0	10.0	12.0	14.0	16.0	18.0	20.0 metres	80.0 metres	70.0	60.0	50.0	40.0	30.0	20.0	10.0	0.0	SCALE BAR 1/500
SCALE BAR 1/100	0.0	1.0	2.0	3.0	4.0	5.0	6.0	7.0	8.0	9.0	10.0 metres	400.0 metres	350.0	300.0	250.0	200.0	150.0	100.0	50.0	0.0	SCALE BAR 1/2500
SCALE BAR 1/50	0.0	1.0	2.0	3.0	4.0	5.0 metres															

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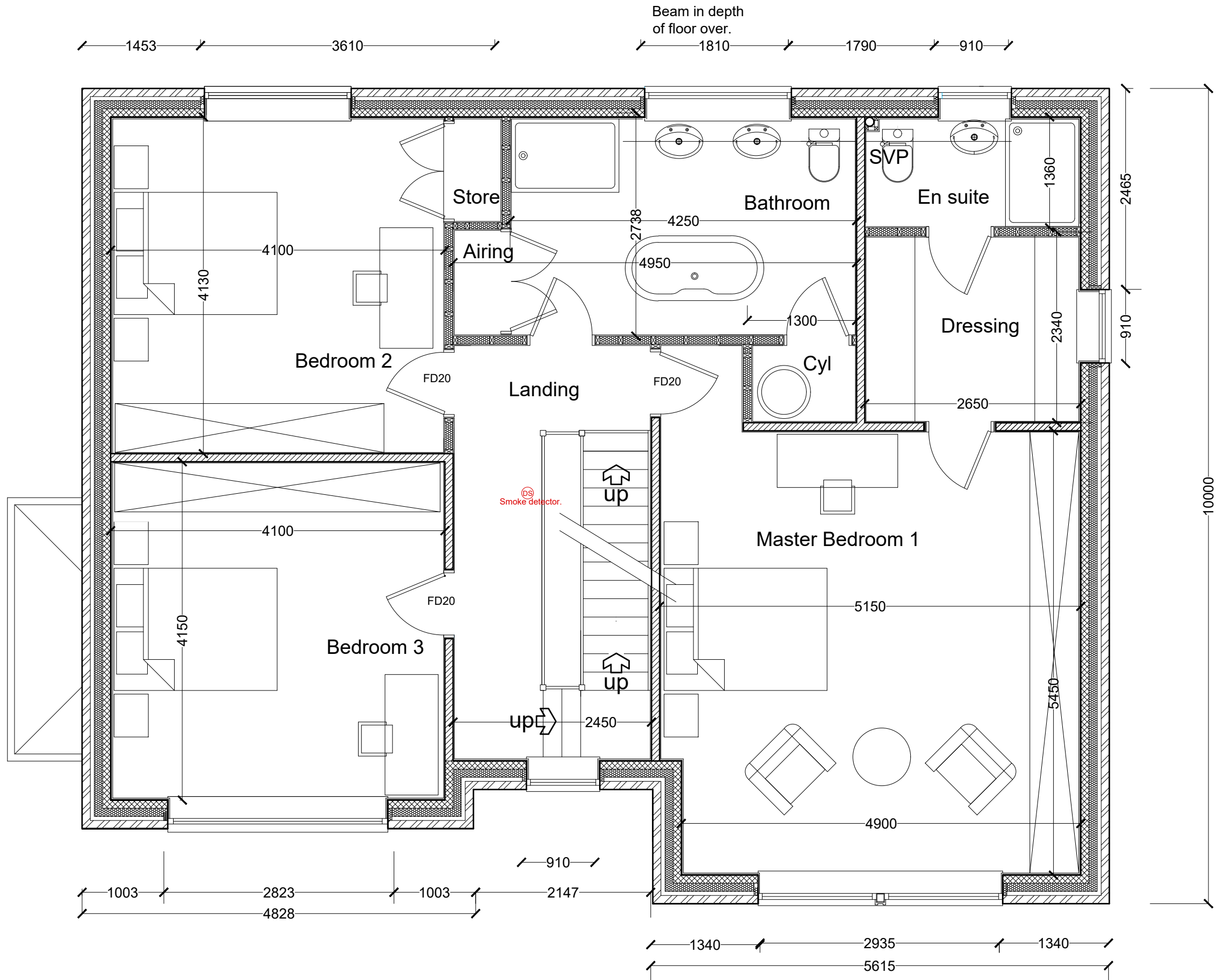
TYPE ONE  
 THE LORTON

GROUND FLOOR PLAN

Scale: 1/50 @ A3  
 Date: JULY 2019  
 DWG No. 19/0218/01

REV 00/00/0000

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# FIRST FLOOR PLAN

SCALE BAR 1/200 ORIGINAL DRAWING SIZE A3	0.0	2.0	4.0	6.0	8.0	10.0	12.0	14.0	16.0	18.0	20.0 metres	80.0 metres	70.0	60.0	50.0	40.0	30.0	20.0	10.0	0.0	SCALE BAR 1/500
SCALE BAR 1/100	0.0	1.0	2.0	3.0	4.0	5.0	6.0	7.0	8.0	9.0	10.0 metres	400.0 metres	350.0	300.0	250.0	200.0	150.0	100.0	50.0	0.0	SCALE BAR 1/2500
SCALE BAR 1/50	0.0	1.0	2.0	3.0	4.0	5.0 metres															

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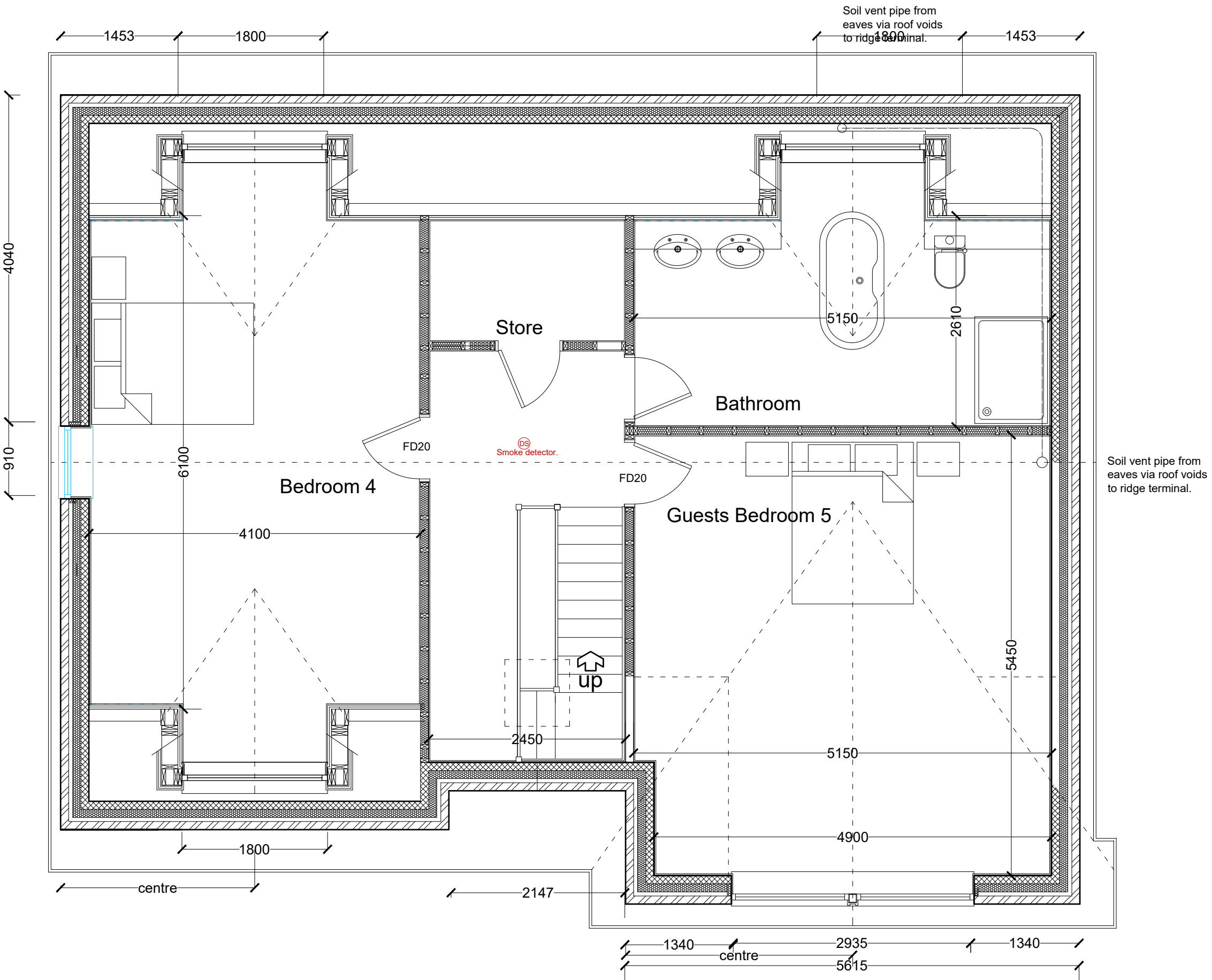
FIRST FLOOR PLAN

Scale:  
 Date:  
 DWG No.

1/50 @ A3  
 JULY 2019  
 19/0218/02

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## SECOND FLOOR PLAN

SCALE BAR 1/200 ORIGINAL DRAWING SIZE A3	0.0	2.0	4.0	6.0	8.0	10.0	12.0	14.0	16.0	18.0	20.0 metres	80.0 metres	70.0	60.0	50.0	40.0	30.0	20.0	10.0	0.0	SCALE BAR 1/500
SCALE BAR 1/100	0.0	1.0	2.0	3.0	4.0	5.0	6.0	7.0	8.0	9.0	10.0 metres	400.0 metres	350.0	300.0	250.0	200.0	150.0	100.0	50.0	0.0	SCALE BAR 1/2500
SCALE BAR 1/50	0.0	1.0	2.0	3.0	4.0	5.0 metres															

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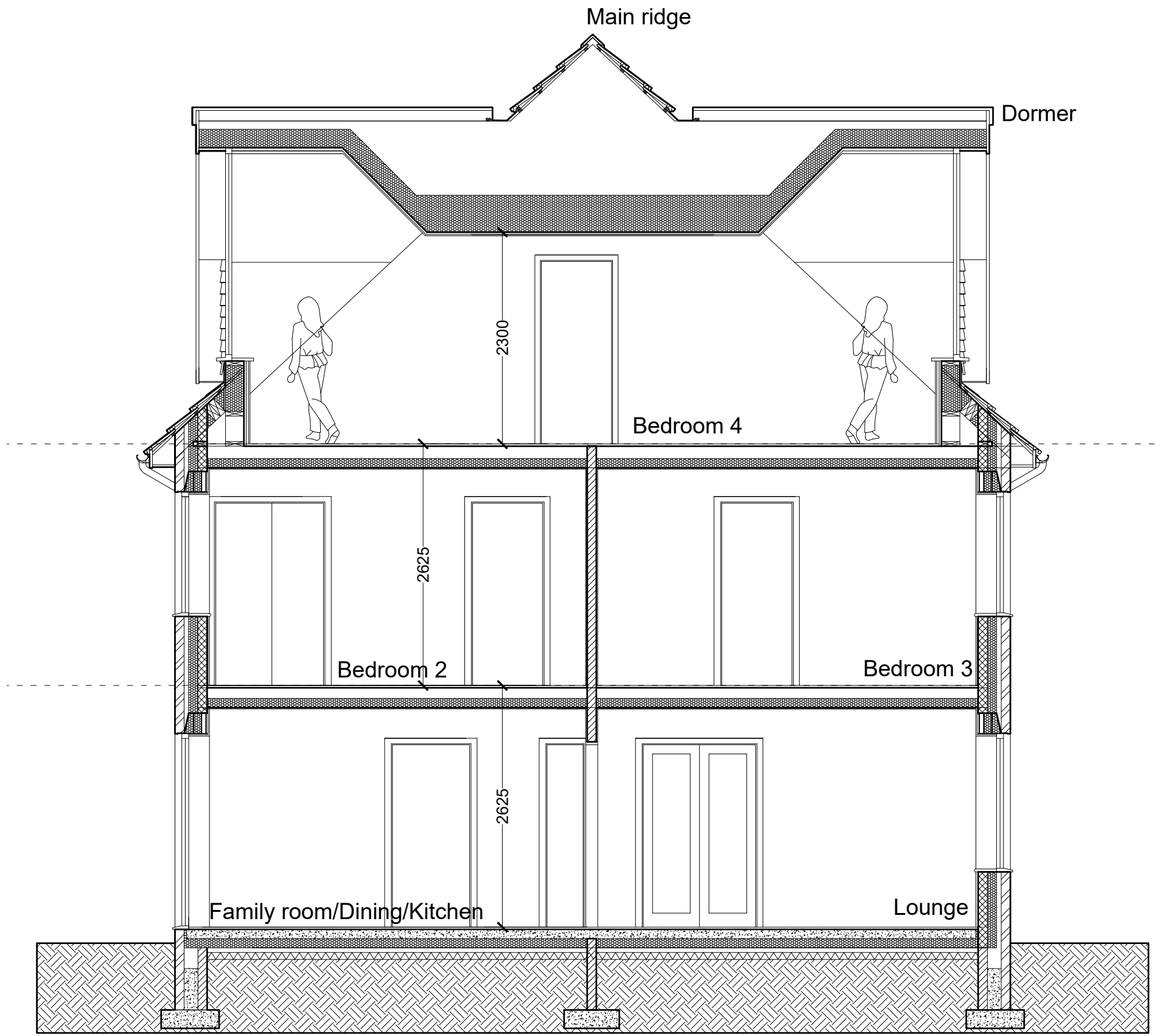
SECOND FLOOR PLAN

Scale:  
 Date:  
 DWG No.

1/50 @ A3  
 JULY 2019  
 19/0218/03

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SCALE BAR 1/200 ORIGINAL DRAWING SIZE A3	0.0	2.0	4.0	6.0	8.0	10.0	12.0	14.0	16.0	18.0	20.0 metres	80.0 metres	70.0	60.0	50.0	40.0	30.0	20.0	10.0	0.0	SCALE BAR 1/500
SCALE BAR 1/100	0.0	1.0	2.0	3.0	4.0	5.0	6.0	7.0	8.0	9.0	10.0 metres	400.0 metres	350.0	300.0	250.0	200.0	150.0	100.0	50.0	0.0	SCALE BAR 1/2500
SCALE BAR 1/50	0.0	1.0	2.0	3.0	4.0	5.0 metres															

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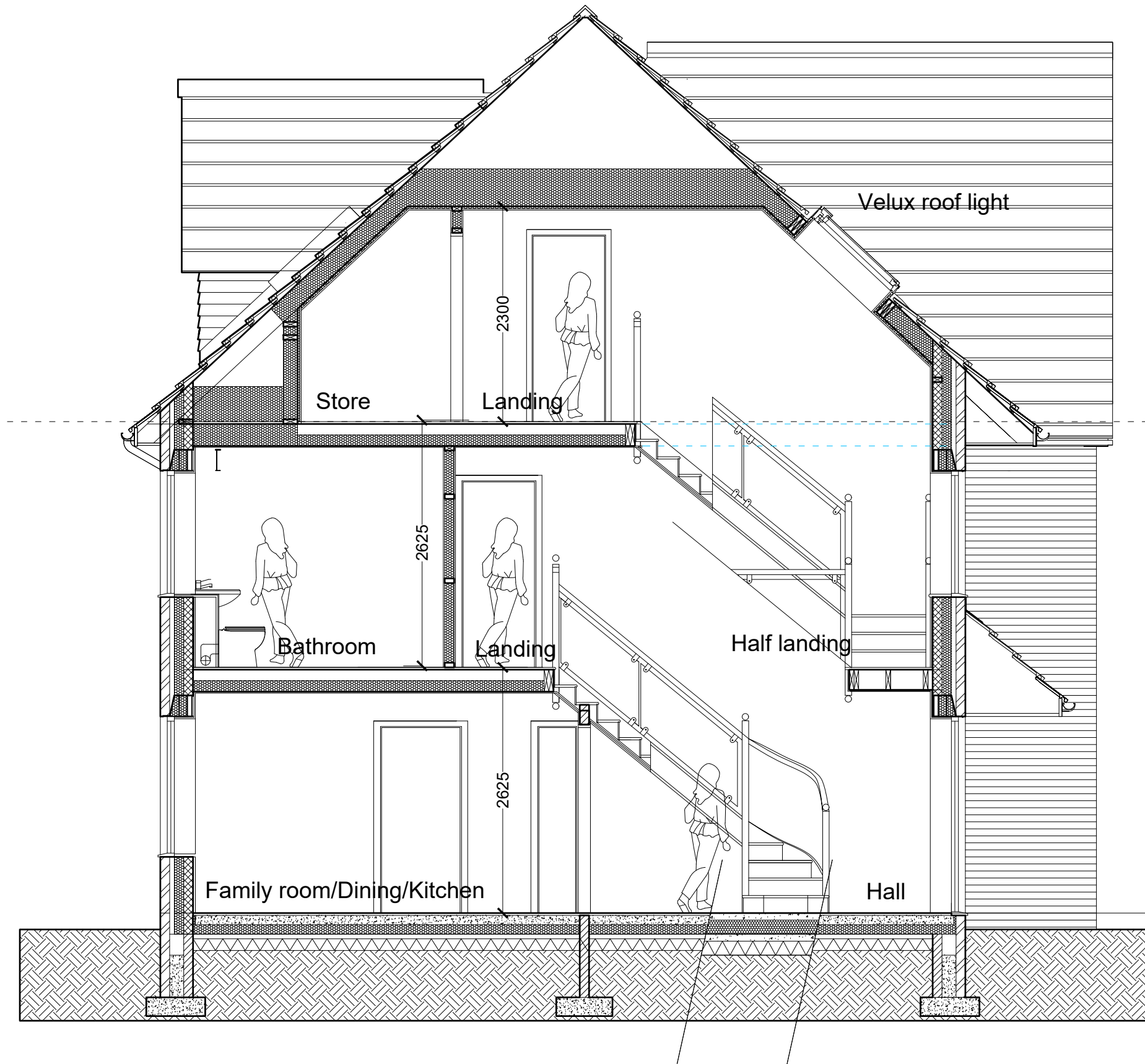
SECTIONAL  
 ELEVATION AA

Scale: 1/50 @ A3  
 Date: JULY 2019  
 DWG No. 19/0218/04

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SCALE BAR 1/200 ORIGINAL DRAWING SIZE A3	0.0	2.0	4.0	6.0	8.0	10.0	12.0	14.0	16.0	18.0	20.0 metres	80.0 metres	70.0	60.0	50.0	40.0	30.0	20.0	10.0	0.0	SCALE BAR 1/500
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SCALE BAR 1/50	0.0	1.0	2.0	3.0	4.0	5.0 metres															

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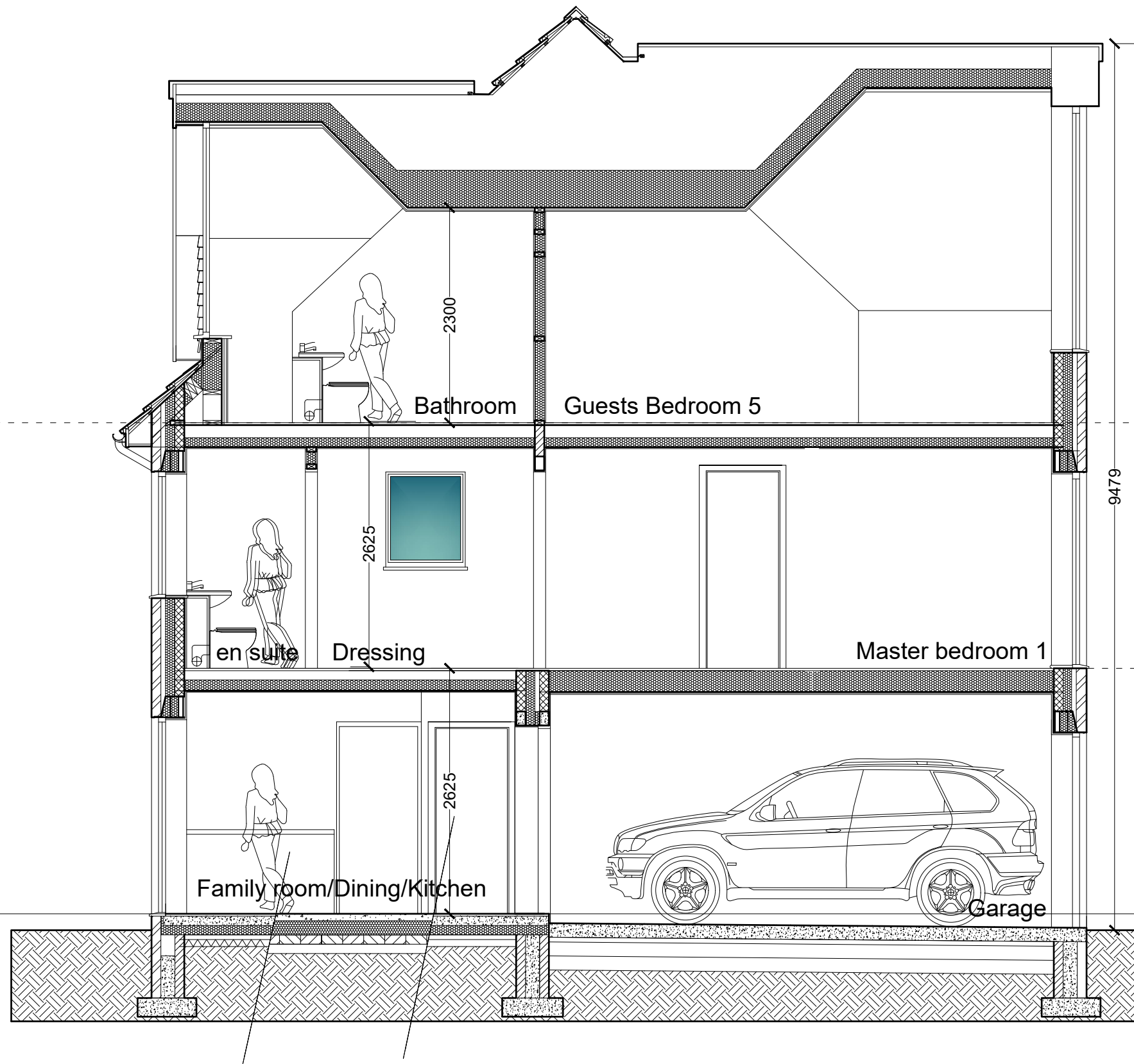
SECTIONAL  
 ELEVATION BB

Scale:  
 Date:  
 DWG No.

1/50 @ A3  
 JULY 2019  
 19/0218/05

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SCALE BAR 1/200 ORIGINAL DRAWING SIZE A3	0.0	2.0	4.0	6.0	8.0	10.0	12.0	14.0	16.0	18.0	20.0 metres	80.0 metres	70.0	60.0	50.0	40.0	30.0	20.0	10.0	0.0	SCALE BAR 1/500
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TYPE ONE  
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SECTIONAL  
 ELEVATION CC

Scale:  
 Date:  
 DWG No.

1/50 @ A3  
 JULY 2019  
 19/0218/06

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Dormer with feature window

Gable with feature window

Velux roof light

RWP

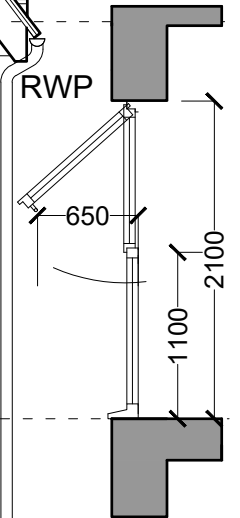
RWP  
Soldier course

Artstone cills and heads

Soldier course

Front entrance

Garage door



Centre transom to be designed to withstand a horizontal force of 0.74 kN/M. Lower glazing panel to be toughened glass and fixed to withstand the same horizontal force.

**Planning Details.**  
**Finishes:**  
**Proposed Roof:** Marley Modern flat grey roofing tiles with proprietary matching ridge tiles and verge trims.  
**Proposed walls:** Weinerberger Hathaway Brindled mixed colour facing bricks with Artstone cills and heads.  
**Door and windows:** Dark grey uPVC framed double/triple glazed windows with modern pattern doors to owners choice. All windows to be from one manufacturer for consistency.  
**Garage Doors:** Vertical pattern timber of composite steel door colour to match front door and to be approved by Raemore Developments Limited.  
**Boundaries:** Natural larch single boarded timber fences not exceeding 2000 mm high from ground level.  
**Frontage:** See Block Plan  
**Site Area:** See Block Plan  
**Total House Height.** Ground to Ridge 9.479 Metres  
**House Floor Areas:**  
 Ground floor:.....75.51 Sq. M.  
 Garage:.....27.51 Sq. M.  
 First Floor:.....104.95 Sq. M.  
 Loft (measured 1500 mm from sloping soffits).....82.86 Sq. M.  
 Living Room: .....18.47 Sq. M.  
**Total including garage.....290.83 Sq. M.**

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FRONT ELEVATION

Scale:  
 Date:  
 DWG No.

1/50 @ A3  
 JULY 2019  
 19/0218/07

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REAR ELEVATION

Scale:  
 Date:  
 DWG No.

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 JULY 2019  
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SCALE BAR 1/200 ORIGINAL DRAWING SIZE A3	0.0	2.0	4.0	6.0	8.0	10.0	12.0	14.0	16.0	18.0	20.0 metres	80.0 metres	70.0	60.0	50.0	40.0	30.0	20.0	10.0	0.0	SCALE BAR 1/500
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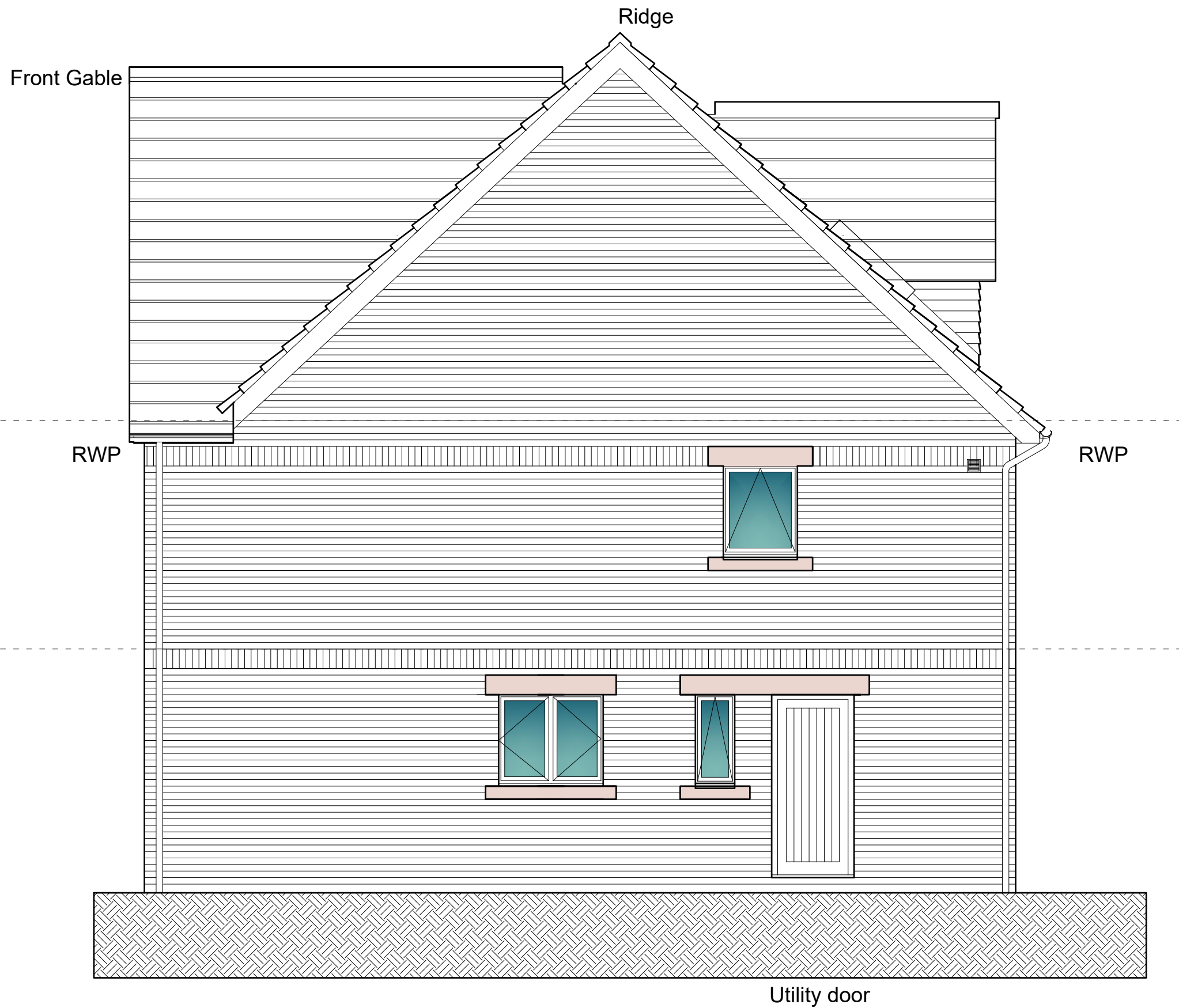
TYPE ONE  
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END ELEVATION

Scale: 1/50 @ A3  
 Date: JULY 2019  
 DWG No. 19/0218/09

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SCALE BAR 1/200 ORIGINAL DRAWING SIZE A3	0.0	2.0	4.0	6.0	8.0	10.0	12.0	14.0	16.0	18.0	20.0 metres	80.0 metres	70.0	60.0	50.0	40.0	30.0	20.0	10.0	0.0	SCALE BAR 1/500
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END ELEVATION

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 19/0218/10

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