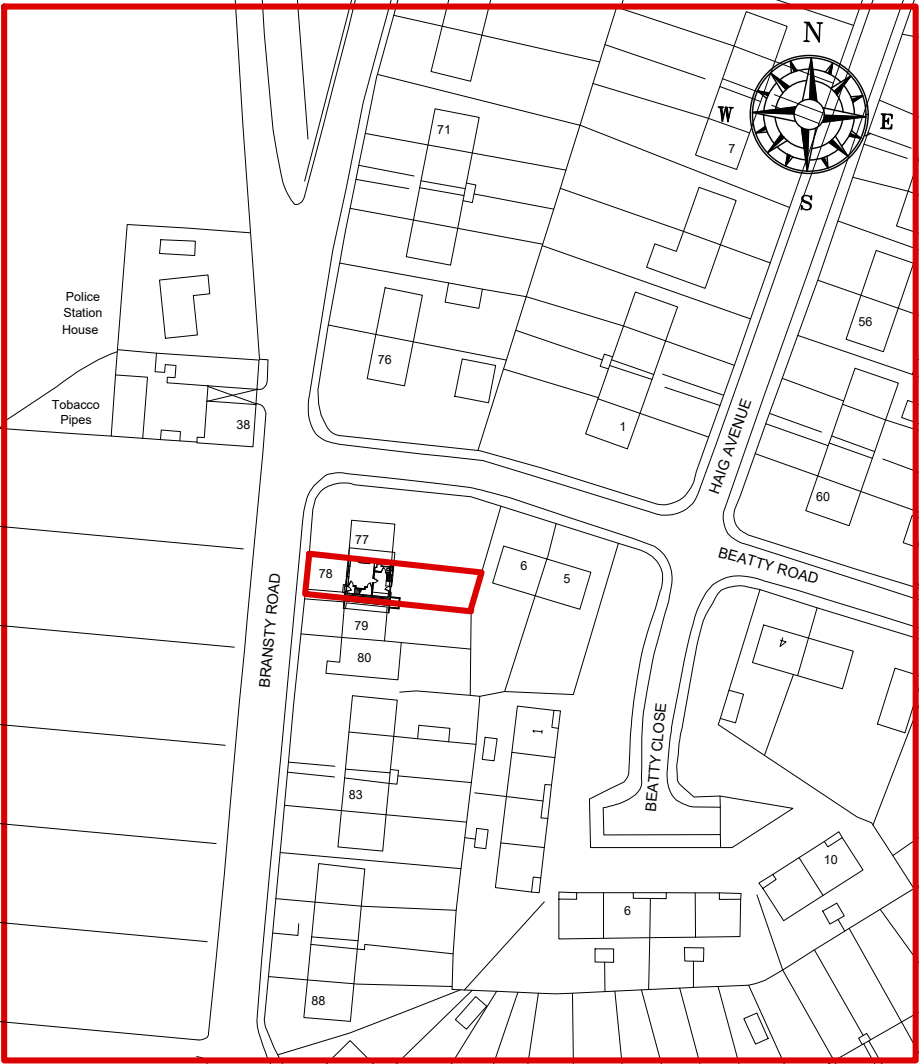
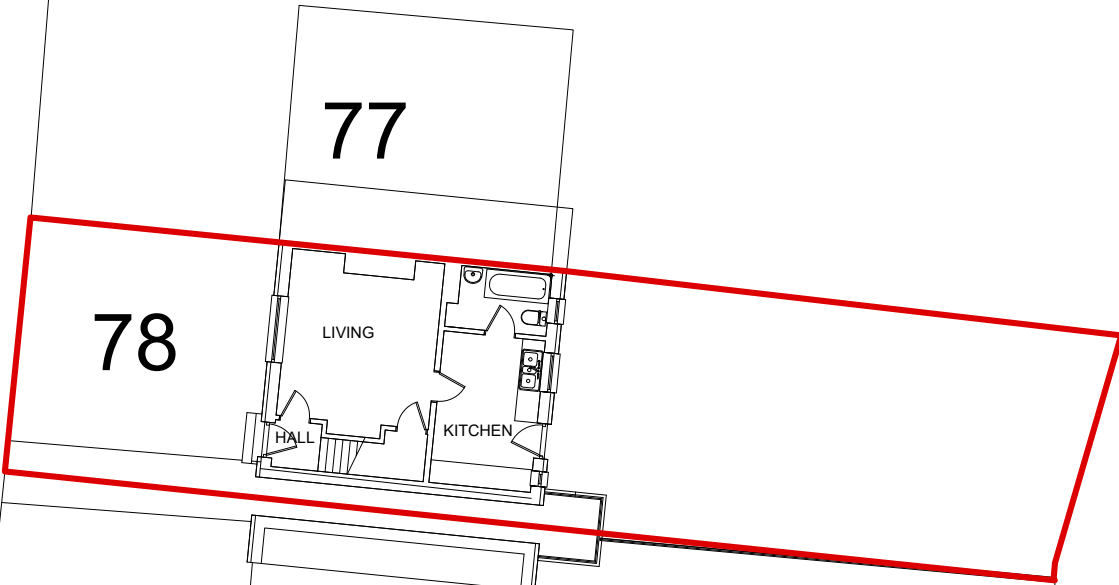


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BRANSTY ROAD



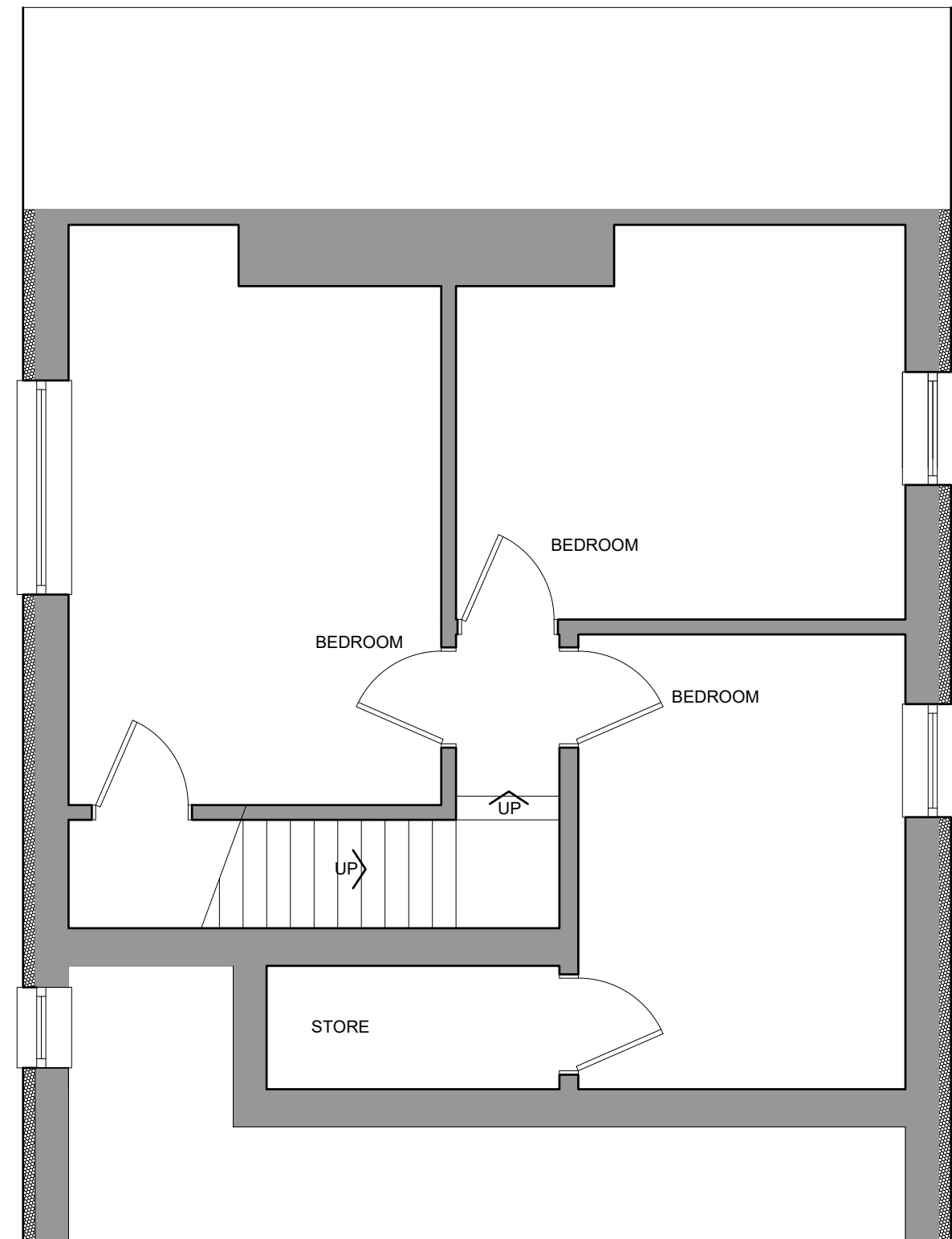
LOCATION PLAN 1/1250 Scale

BLOCK PLAN

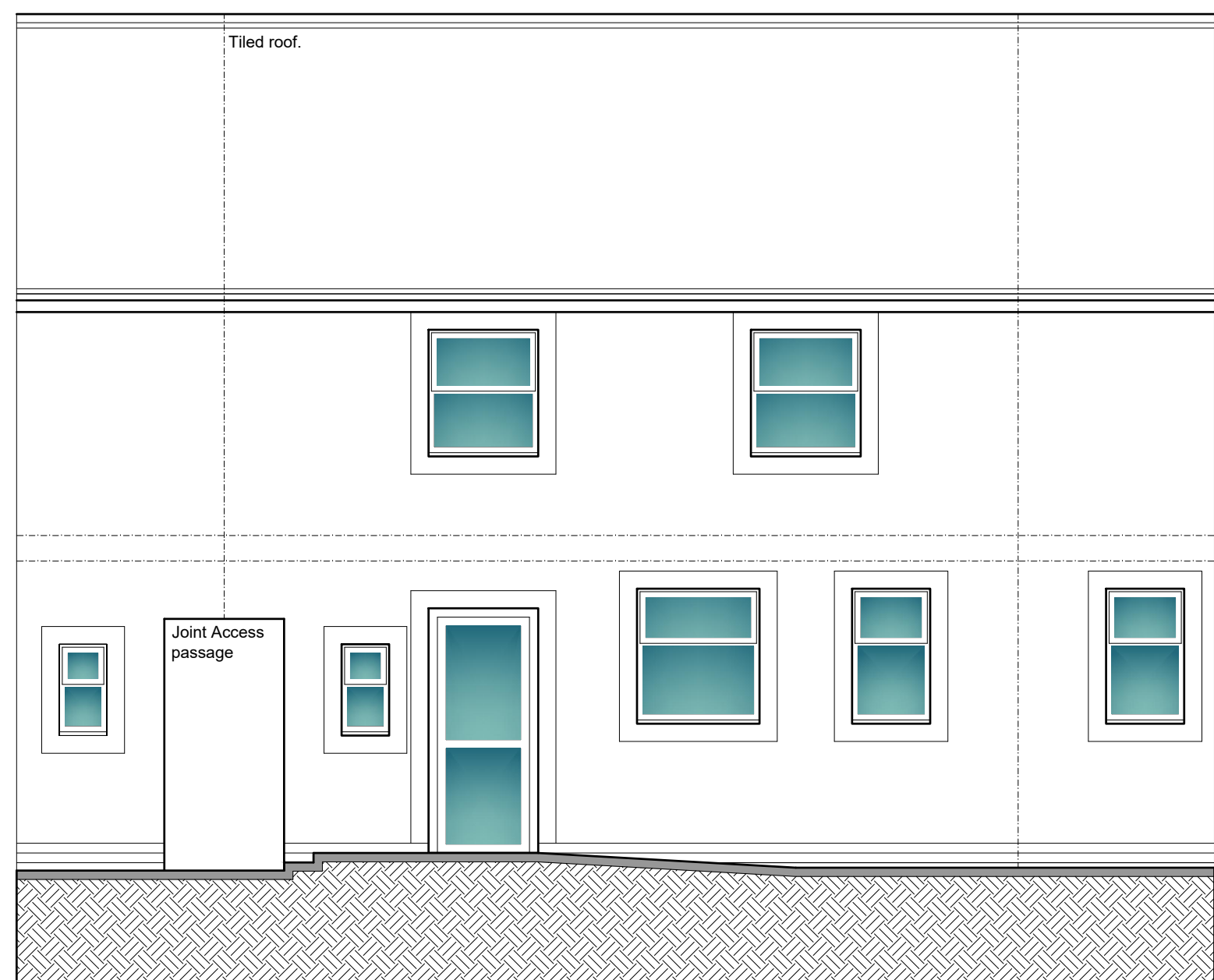
SCALE BAR 1/200 ORIGINAL DRAWING SIZE A3	0.0	2.0	4.0	6.0	8.0	10.0	12.0	14.0	16.0	18.0	20.0 metres		80.0 metres	70.0	60.0	50.0	40.0	30.0	20.0	10.0	0.0	SCALE BAR 1/500
SCALE BAR 1/100	0.0	1.0	2.0	3.0	4.0	5.0	6.0	7.0	8.0	9.0	10.0 metres		800.0 metres	700.0	600.0	500.0	400.0	300.0	200.0	100.0	0.0	SCALE BAR 1/1250
SCALE BAR 1/50	0.0	1.0	2.0	3.0	4.0	5.0 metres																

78 BRANSTY ROAD WHITEHAVEN CUMBRIA CA28 6HB FOR Mr and Mrs Simsek	ALTERATIONS AND EXTENSION	EXISTING BLOCK PLAN & LOCATION PLAN	Scale: Date: DWG No.	1/100 @ A3 JAN 2023 22/0362/01	Geoffrey Wallace Limited FCSD MCIAT Architectural Design and Technology Mobile 07816046756 geoffreywallaceltd@gmail.com
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Arrange a safe plan for the temporary termination and isolation of services in the area of works.
Protect kitchen under for duration of works.

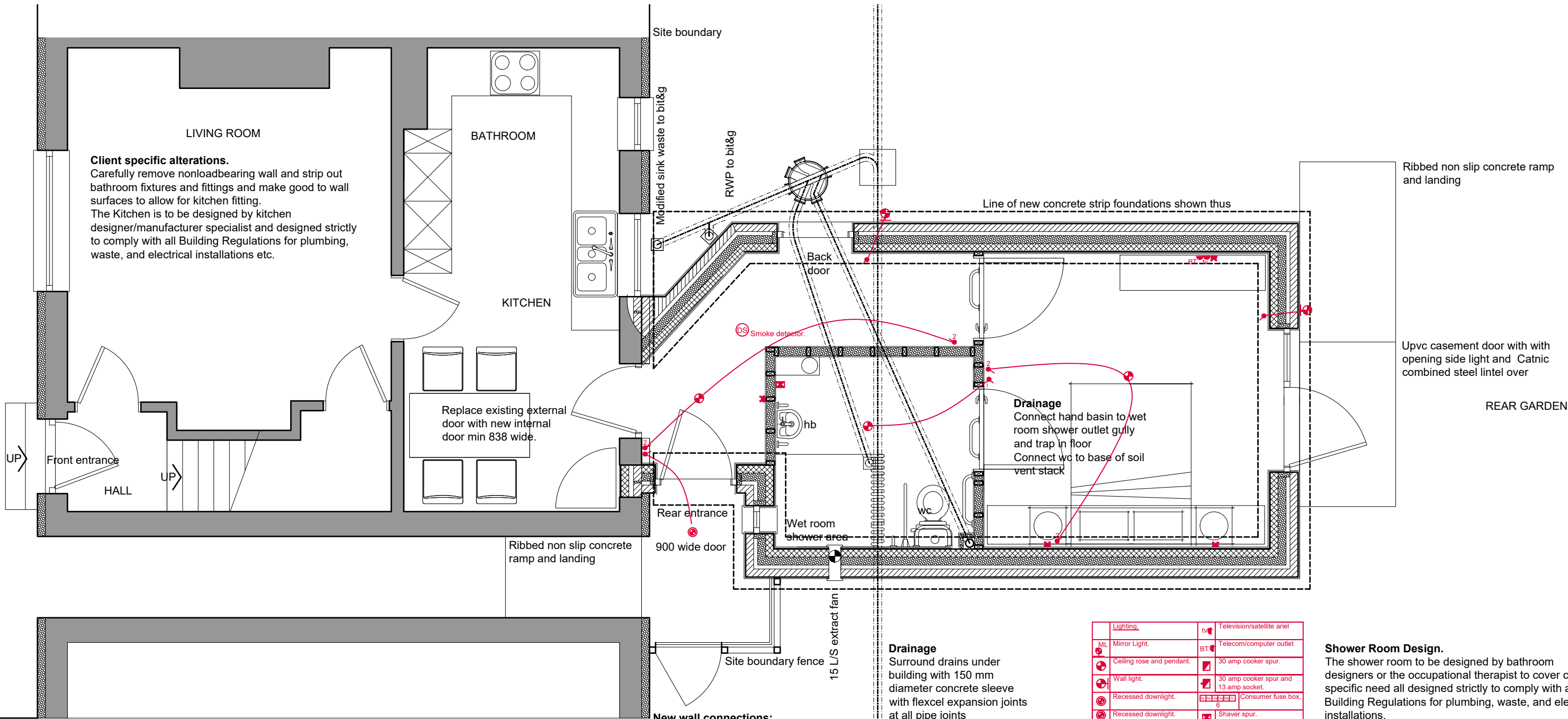


SCALE BAR 1/200 ORIGINAL DRAWING SIZE A3	0.0	2.0	4.0	6.0	8.0	10.0	12.0	14.0	16.0	18.0	20.0 metres		80.0 metres	70.0	60.0	50.0	40.0	30.0	20.0	10.0	0.0	SCALE BAR 1/500	
SCALE BAR 1/100	0.0	1.0	2.0	3.0	4.0	5.0	6.0	7.0	8.0	9.0	10.0 metres		800.0 metres	700.0	600.0	500.0	400.0	300.0	200.0	100.0	0.0	SCALE BAR 1/1250	
SCALE BAR 1/50	0.0	1.0	2.0	3.0	4.0	5.0 metres																	
78 BRANSTY ROAD WHITEHAVEN CUMBRIA CA28 6HB FOR Mr and Mrs Simsek				ALTERATIONS AND EXTENSION								EXISTING GROUND AND FIRST FLOOR PLANS				Scale: Date: DWG No.		1/100 @ A3 JAN 2023 22/0362/02		Geoffrey Wallace Limited <small>FCSD MCIAT</small> Architectural Design and Technology Mobile 07816046756 geoffreywallaceltd@gmail.com			



EXISTING FRONT ELEVATION EXISTING REAR ELEVATION

SCALE BAR 1/200 ORIGINAL DRAWING SIZE A3	0.0	2.0	4.0	6.0	8.0	10.0	12.0	14.0	16.0	18.0	20.0 metres		80.0 metres	70.0	60.0	50.0	40.0	30.0	20.0	10.0	0.0	SCALE BAR 1/500	
SCALE BAR 1/100	0.0	1.0	2.0	3.0	4.0	5.0	6.0	7.0	8.0	9.0	10.0 metres		800.0 metres	700.0	600.0	500.0	400.0	300.0	200.0	100.0	0.0	SCALE BAR 1/1250	
SCALE BAR 1/50	0.0		1.0		2.0		3.0		4.0		5.0 metres												
78 BRANSTY ROAD WHITEHAVEN CUMBRIA CA28 6HB FOR Mr and Mrs Simsek				ALTERATIONS AND EXTENSION								EXISTING ELEVATIONS				Scale: Date: DWG No.		1/50 @ A3 JAN 2023 22/0362/03		<div>Geoffrey Wallace Limited <small>FCSD MCIAT</small> Architectural Design and Technology Mobile 07816046756 geoffreywallaceltd@gmail.com</div>			



Lighting.	TV	Television/satellite ariel
ML Mirror Light.	BT	Telecom/computer outlet
⊕ Ceiling rose and pendant.	⚡	30 amp cooker spur.
⊕ Wall light.	⚡	30 amp cooker spur and 13 amp socket.
⊕ Recessed downlight.	⚡	Consumer fuse box. 6
⊕ Recessed downlight. Mini spot.	⚡	Shaver spur.
⊕ Light switch (450 / 1200 above FFL)	⚡	Shaver spur with light and pull switch.
⊕ 2 way light switch (450 / 1200 above FFL)	⚡	Central heating control point/ programmer.
⊕ Pull cord light switch (Ceiling mounted.)	⚡	Clock / timer.
⊕ Illuminated light switch (450 / 1200 above FFL)	⚡	Doorbell.
⊕ Isolator switch. (Power or lighting.)	⚡	15 l/s extractor fan.
⊕ Power.	⚡	30 l/s extractor fan.
⊕ 5 Amp Lighting Circuit.	⚡	60 l/s extractor fan.
⊕ Single socket. (450mm. min above FFL)	⚡	Radiator
⊕ Double socket. (450mm. min above FFL)	⚡	Insulated external tap.
⊕ Double socket. (Worktop height.)	⚡	Smoke detector.
⊕ Spur switch (worktop height.)	⚡	Heat detector.
⊕ Spur terminal point. (450 mm. min above FFL)		

Shower Room Design.
The shower room to be designed by bathroom designers or the occupational therapist to cover client specific need all designed strictly to comply with all Building Regulations for plumbing, waste, and electrical installations.
All appliances are to be form one suppliers Document M range to meet the total client accessibility requirement.

Building Regulations Only. Named products.
Where products are named in the specification the developer can substitute similar products provided the specification of the products meets or exceeds the selected product specification.

PROPOSED GROUND FLOOR

PLAN D (with First floor extension and client fit out for alterations for removal of bathroom and new kitchen. Modify access to store

SCALE BAR 1/200 ORIGINAL DRAWING SIZE A3	0.0	2.0	4.0	6.0	8.0	10.0	12.0	14.0	16.0	18.0	20.0 metres		80.0 metres	70.0	60.0	50.0	40.0	30.0	20.0	10.0	0.0	SCALE BAR 1/500
SCALE BAR 1/100	0.0	1.0	2.0	3.0	4.0	5.0	6.0	7.0	8.0	9.0	10.0 metres		40.0 metres	35.0	30.0	25.0	20.0	15.0	10.0	5.0	0.0	SCALE BAR 1/2500
SCALE BAR 1/50	0.0		1.0		2.0		3.0		4.0		5.0 metres											

78 BRANSTY ROAD WHITEHAVEN
CUMBRIA CA28 6HB FOR Mr and Mrs
Simsek

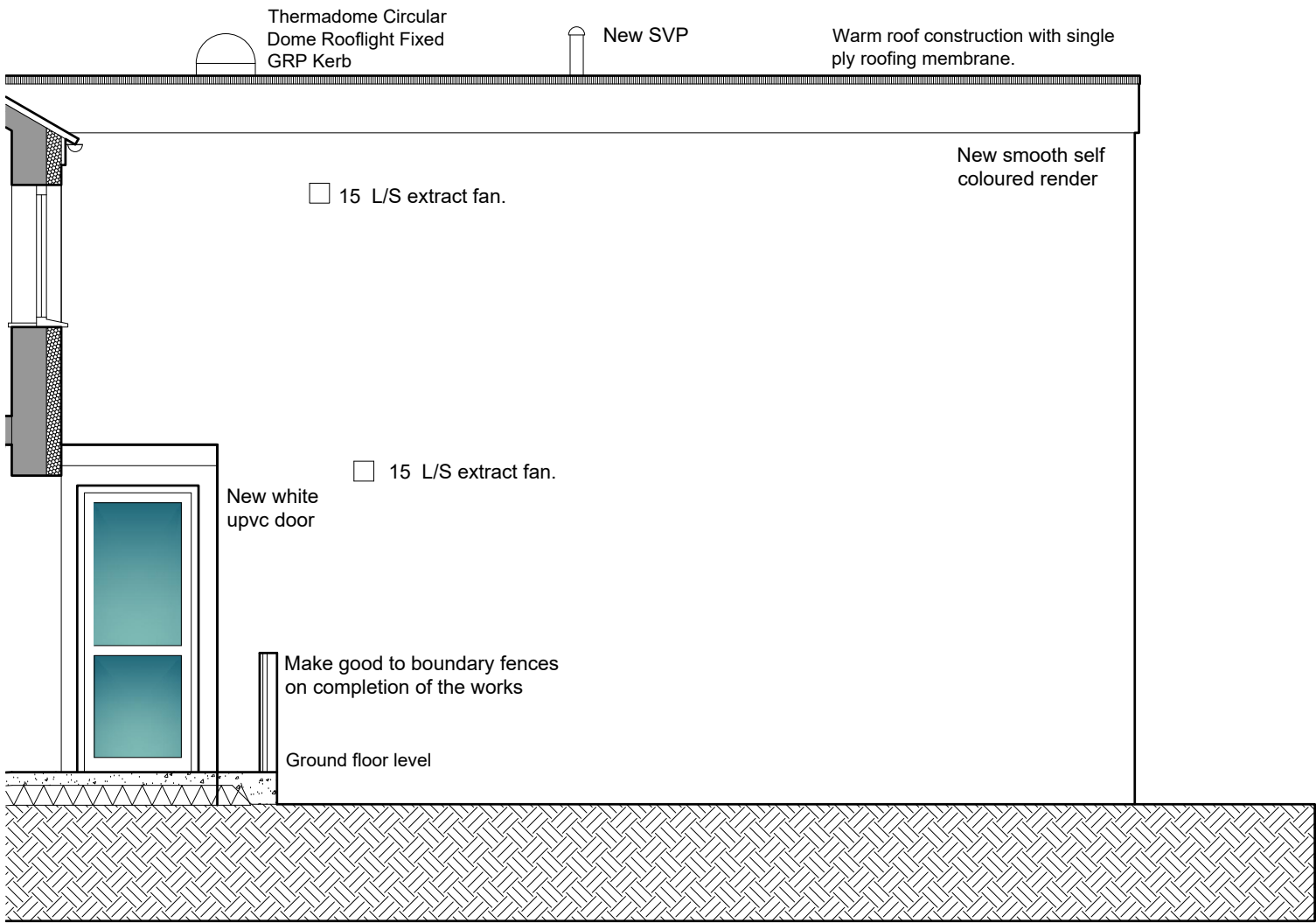
ALTERATIONS AND
EXTENSION

PROPOSED ALTERATIONS
AND EXTENSIONS GROUND
FLOOR PLAN

Scale:
Date:
DWG No.

1/50 @ A3
JAN 2023
22/0362/04

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geoffreywallaceltd@gmail.com



Planning Details.
Finishes:
Roof: Single ply roof membrane
Doors & windows. White upvc to match existing.
Boundaries: All existing boundaries retained.
Walls: Coloured render to match existing.

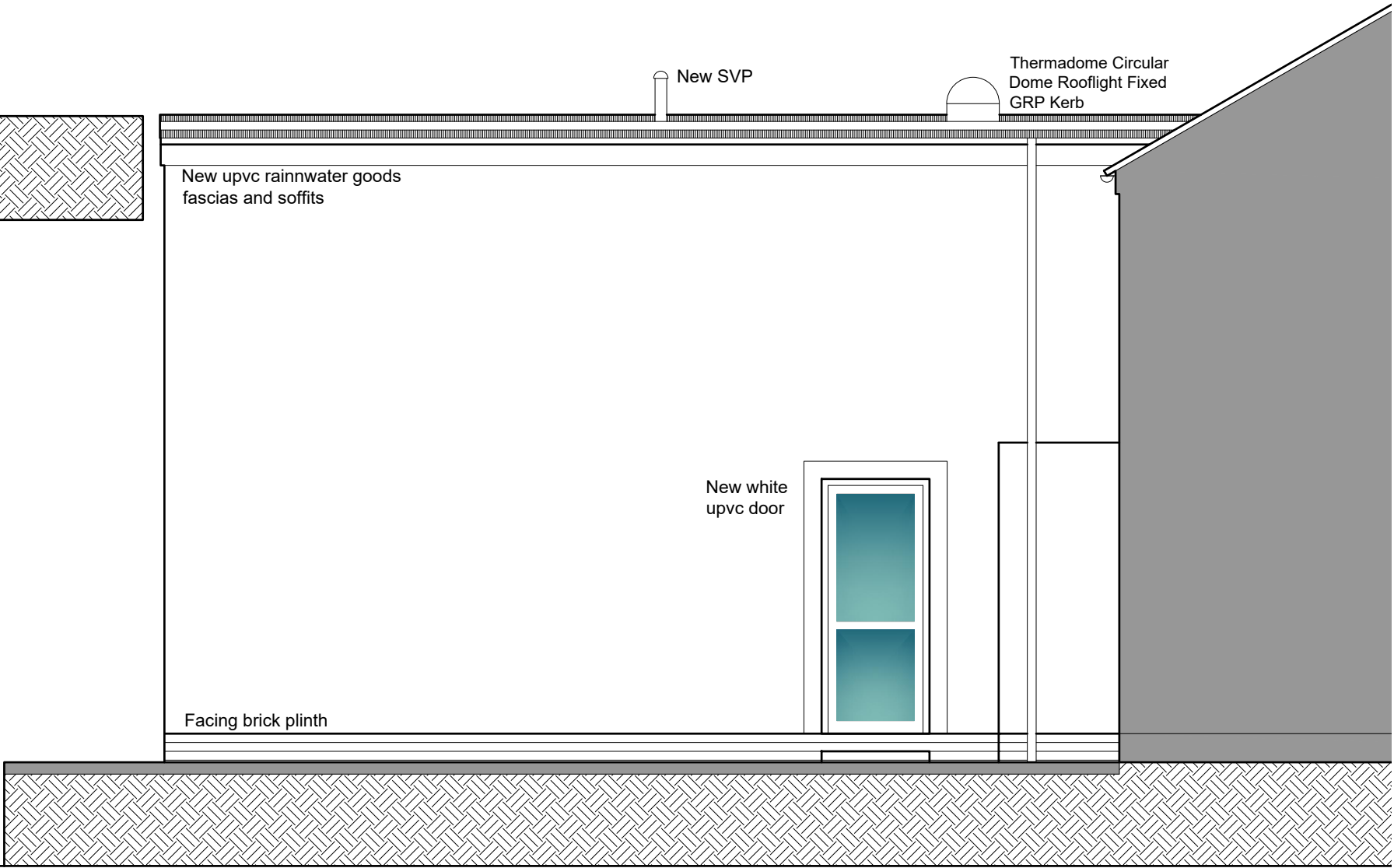
Frontage: 6.750 Metres approximately
Site Area: 190 SQ Metres
House Height. Floor to ridge 5.360 Metres
Extension Height proposed. Floor to ridge 3.325 Metres
House Floor Area:
Living Room: 18.40 Sq Metres
Ground floor: 39.94 Sq Metres
First floor: 46.92 Sq Metres
Extension ground floor area: 24.17 Sq Metres
Extension first floor area: 24.17 Sq Metres

Total existing: **86.86 Sq Metres**
Total proposed: **135.10 Sq Metres**

PROPOSED SIDE ELEVATION

New ramps and footpaths
Excavate passage and around new extension to new reduced level to load bearing virgin ground removing all deleterious materials.
Allow for hard paving and ramps as indicated in solid concrete with non-slip ribbed surface finish on minimum 150 mm blinded and consolidated hardcore. Make good to garden landscaping.
Retain minimum headroom under passage lintels of 2000 mm.

PLAN D (with First floor extension and client fit out for alterations for removal of bathroom and new kitchen. Modify access to store



PROPOSED SIDE ELEVATION

SCALE BAR 1/200 ORIGINAL DRAWING SIZE A3	0.0	2.0	4.0	6.0	8.0	10.0	12.0	14.0	16.0	18.0	20.0 metres		80.0 metres	70.0	60.0	50.0	40.0	30.0	20.0	10.0	0.0	SCALE BAR 1/500
SCALE BAR 1/100	0.0	1.0	2.0	3.0	4.0	5.0	6.0	7.0	8.0	9.0	10.0 metres		400.0 metres	350.0	300.0	250.0	200.0	150.0	100.0	50.0	0.0	SCALE BAR 1/2500
SCALE BAR 1/50	0.0	1.0			2.0		3.0		4.0		5.0 metres											
78 BRANSTY ROAD WHITEHAVEN CUMBRIA CA28 6HB FOR Mr and Mrs Simsek				ALTERATIONS AND EXTENSION								PROPOSED ELEVATIONS				Scale: Date: DWG No.	1/100 @ A3 JAN 2023 22/0362/06		Geoffrey Wallace Limited FCSD MCIAT Architectural Design and Technology Mobile 07816046756 geoffreywallaceltd@gmail.com			

PROPOSED SECTIONAL ELEVATION

New Ground floor to extension.

Ground Floor U Value 0.14 W/M²K

Allow for flooring finish thickness on 65 mm minimum sand cement screed with A146 anti crack mesh 500 gauge Visqueen vapour barrier on minimum 100 mm. Celotex FF4000 floor insulation on concrete beam and block reinforced concrete floor decking built into inner leaf of new external walls and double trimmed adjacent to parent wall. Final design calculations of reinforced concrete beams to be provided to Building Control by the manufacturer.

Ensure minimum airspace under beams of 150 mm and fix telescopic air vents throughout cavity walls to vent sub floor space. Vents to be at maximum 2000 mm centres throughout perimeter of floor.

Fix minimum 25 mm. thick insulation and expansion strip to perimeter of all slabs adjacent to exterior walls. Visqueen Damp Proof Membrane is to overlap D.P.C. in inner leaf of external walls to form a permanent damp proof barrier.

First Floor construction.

25 mm thick high density 15 Kg/M² Weyroc particle board tongued, and grooved decking glued and screwed to 195 mm x 50 mm c16 grade timber floor joist built into inner leaf of new gable cavity wall and outer leaf of existing parent wall at same height as existing house first floor. Fix min 50 mm x 50 mm herringbone strutting at centre span of joists. Form lateral support with BAT MS305 galvanised steel straps fixed into inner leaf of surrounding cavity walls at maximum 2000 mm centres and fixed to minimum 3 joist parallel to the wall or along the joists where perpendicular at the front and back. Insulate between joist with minimum 100 mm Rockwool semi ridged acoustic slab insulation.

PROPOSED END ELEVATION

PLAN D (with First floor extension
and client fit out for alterations for
removal of bathroom and new
kitchen. Modify access to store

[illegible]

78 BRANSTY ROAD WHITEHAVEN
CUMBRIA CA28 6HB FOR Mr and Mrs
Simsek

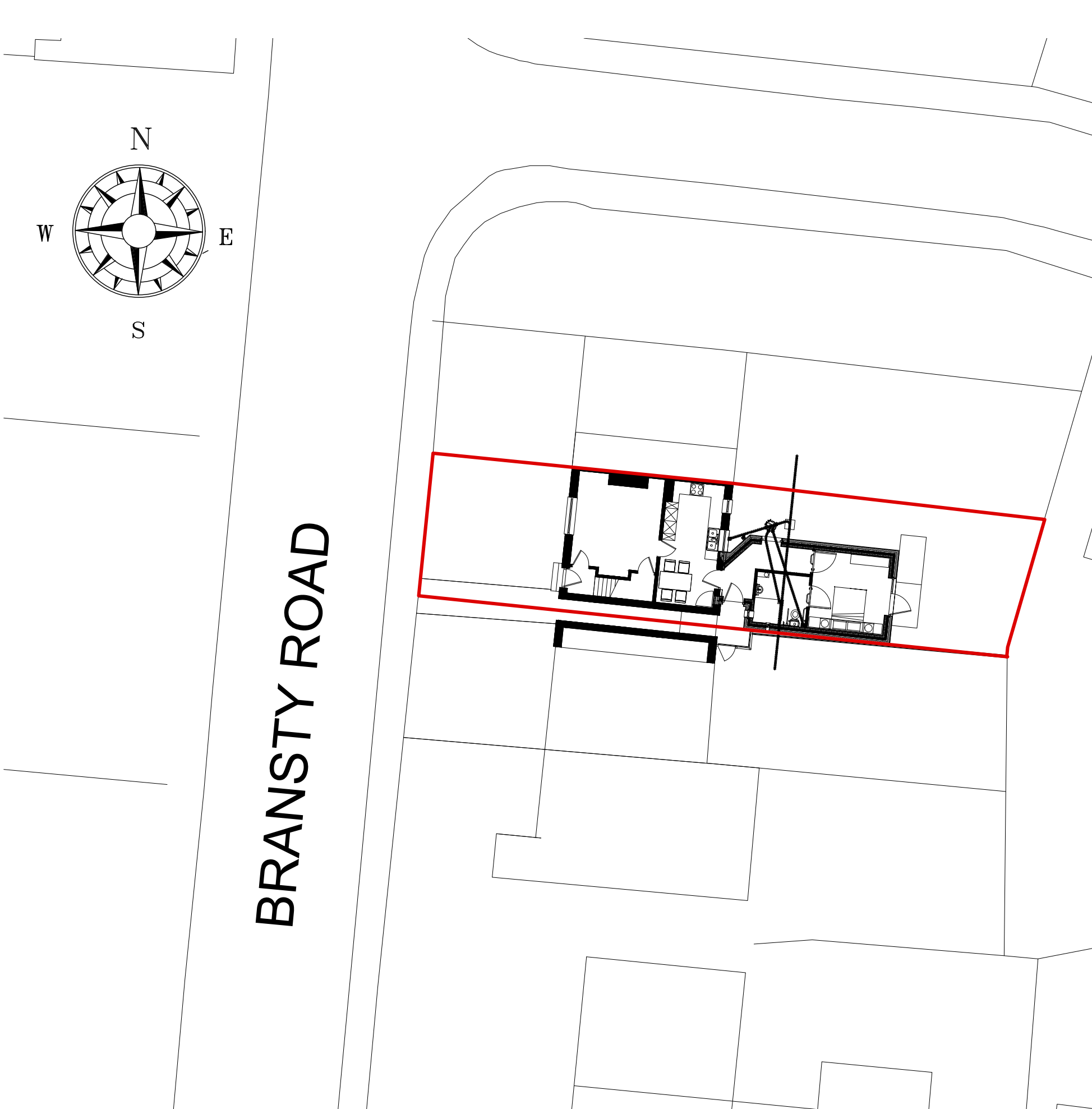
ALTERATIONS AND EXTENSION

PROPOSED SECTIONAL
ELEVATION

Scale:	1/50 @ A3
Date:	JAN 2023
DWG No.	22/0362/07

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Drainage.

Connections and Discharges.

There are existing drainage connections for foul and surface water. These are to be surveyed recorded and investigated for suitable reuse with the approval of Building Control and the service provider (United Utilities).

Where existing drains/sewers pass under the area of new construction, the drains should be excavated for inspection in the presence of Building Control to establish if they are fit for the purpose, should the drains be suitable, they are to be surrounded with a 150 mm diameter concrete sleeve with Flexcell expansion joints at every pipe junction.

Where these drains are sewers under the control of the utility services provider (United Utilities Limited)

The employer is to enter into a Building over agreement with the service provider and meet their specification for building over the sewer.

General Drainage Specification:

All new drains will be designed to comply with BS EN 752.

New soil and surface water drainage: Hepworth Supersleeve or similar spun clay 100/150/225 mm. diameter pipes with u.p.v.c. flexible sealed collars laid in clean square cut trenches at a gradient of not less than 1: 60 falls. Carefully back fill trenches with layered back fill strictly in accordance with the manufacturer's instructions. All fittings including manholes, inspection chambers, and back inlet gullies etc. to be from the same range and supplier. Set all preformed gullies and chambers on 150 mm. concrete bases and surround with 150 mm. sleeves. Fit gullies with plastic or galvanized grills. Fit manholes and inspection chambers with steel rims and covers, as supplied by the manufacturer set in mortar surrounds. Set manhole covers onto preformed r.c. covers where manholes internal size is greater than 450 mm. x 600 mm. which is the minimum acceptable internal dimension for a 900 mm. deep manhole.

Where new drains pass under the area of new construction the drains are to be surrounded to a minimum 150 mm concrete sleeve with Flexcell expansion joints at every pipe junction.

Where drains are less than 1500 mm deep in traffic areas surround pipes in 150 mm concrete sleeve with Flexcell joints at each pipe joint or as otherwise recommended by the pipe manufacturers.

All drain lines are diagrammatic, and the final layout should be agreed on site with the Building Control Department.

Foul Drainage

Kitchen sink washing machine dishwashers etc to modified foul drains new connections to back inlet trapped gullies to new access chambers to existing sewer.

Surface Water Drainage

Connect rainwater to existing drains/sewers.

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removal of bathroom and new
kitchen. Modify access to store

SCALE BAR 1/200 ORIGINAL DRAWING SIZE A3	0.0	2.0	4.0	6.0	8.0	10.0	12.0	14.0	16.0	18.0	20.0 metres	80.0 metres	70.0	60.0	50.0	40.0	30.0	20.0	10.0	0.0	SCALE BAR 1/500
SCALE BAR 1/100	0.0	1.0	2.0	3.0	4.0	5.0	6.0	7.0	8.0	9.0	10.0 metres	800.0 metres	700.0	600.0	500.0	400.0	300.0	200.0	100.0	0.0	SCALE BAR 1/1250
SCALE BAR 1/50	0.0	1.0	2.0	3.0	4.0	5.0	6.0	7.0	8.0	9.0	10.0 metres	80.0 metres	70.0	60.0	50.0	40.0	30.0	20.0	10.0	0.0	

78 BRANSTY ROAD WHITEHAVEN CUMBRIA CA28 6HB FOR Mr and Mrs Simsek	ALTERATIONS AND EXTENSION	PROPOSED BLOCK PLAN PLAN	Scale: Date: DWG No.	1/100 @ A3 JAN 2023 22/0362/09	Geoffrey Wallace Limited FCSD MCIAT Architectural Design and Technology Mobile 07816046756 geoffreywallaceltd@gmail.com
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